



City of Ocala
 Growth Management Department
 201 S.E. 3rd Street, 2nd Floor
 352-629-8421 | www.ocalafl.org

Case File # _____
 COA _____ - _____
 Meeting Date: _____
 Product Approval # _____

Application for a Certificate of Appropriateness (COA)

As required by [Section 94-82\(g\)](#) of the City of Ocala Code of Ordinances, Ocala Historic Preservation Advisory Board (OHPAB) decisions on the COAs will be based on the [Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings](#) the [Ocala Historic Preservation Design Guidelines](#), and the [Ocala Historic Preservation Code](#).

COA Application Procedure:

1. Arrange an informal pre-application conference with Planning staff.
2. Fill out and submit COA application and required material to Planning staff 30 days prior to OHPAB meeting. Please email application packets: historic@ocalafl.org.
3. Attend OHPAB meeting or send a representative with a letter of authorization.
4. Meetings are held the 1st Thursday of each month at 4:00 p.m.
5. Meeting Location: City Council Chambers, 2nd floor of City Hall (110 SE Watula Ave.)

If applicant fails to notify staff and does not attend the meeting, the application may be tabled for one month. If applicant fails to notify staff and does not attend the next monthly meeting, the application may be denied without prejudice.

There is no application fee; however, if work is performed without an approved COA, a fee of \$100 will be assessed.

Parcel #:	2820-000-010	Property Address:	723 E Fort King Street Ocala, FL 34471
Owner:	Denice Bellido de Luna	Owner Address:	723 E Fort King Street Ocala, FL 34471
Owner Phone #:	305-393-5963	Owner Email:	deluna_fabellsouth.net
Will there be an additional meeting representative? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (If yes, representative will need a letter of authorization*)			
If yes, name of representative: _____			
Rep. Phone #:		Rep. Email:	

Project Type:	<input type="checkbox"/> Addition	<input type="checkbox"/> New Construction	<input type="checkbox"/> Site Work
	<input type="checkbox"/> Alteration	<input type="checkbox"/> Reroof	<input type="checkbox"/> Fence
	<input type="checkbox"/> Repair	<input type="checkbox"/> Relocation	<input checked="" type="checkbox"/> Other <u>Shed</u>



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Describe, by list, specific changes you are requesting to do to your property. Include the types of materials to be used, as well as dimensions. A site plan must be provided for additions to buildings, new construction (including garages, sheds, other accessory buildings), fences and site work (including driveways, parking areas and other improvements). The site plan must show setbacks of the proposed new work items from property lines. Attach additional pages as necessary.

8' x 14' Prefab Shed through Superior Sheds

- with 1 - 48" x 72" door

- with 2 - 22" x 36" windows

Shed will sit on concrete slab that is ^{currently} being used as a carport

Required additional materials for submission:

- Completed and signed COA application
- Detailed drawings and specifications for all new materials – windows, doors, siding, roofing materials, fencing etc.
- Site plan
- Copy of property deed or proof of ownership
- Authorization letter for non-property owner representative*
- For New Construction: a set of building plans, no larger than 11 x 17, for structural changes or new construction. This includes all four elevations with drawn to scale dimensions. *
- Please list any additional attachments:

Applicant Signature

April 1, 2026

Date

SUPERIOR SHEDS

THE DOUBLE WIDE

GENERAL NOTES

1. FOUNDATION PLANS ARE NOT PART OF THIS PLAN SET AND ARE GOVERNED BY LOCAL JURISDICTION.
2. BUILDINGS ARE APPROVED FOR RESIDENTIAL LAWN STORAGE ONLY
3. THIS BUILDING IS EXEMPT FROM THE FECC PER SECTIONS R 101.4.2.4, R402.1.
4. REFER TO TIE DOWN DETAILS FOR PROPER INSTALLATION REQUIREMENTS TO MEET CODE.
5. ALL LUMBER FOR CONSTRUCTION WILL BE SYP#2 EXCEPT AS NOTED.
6. GUTTERS SHALL BE SITE INSTALLED PER THE LOCAL AUTHORITY HAVING JURISDICTION AND PERMITTING REQUIREMENTS.
7. ALL WINDOWS AND DOORS TO MEET THE MINIMUM SPECIFICATIONS PER THE APPROVED PLANS AND THE FLORIDA BUILDING CODE.
8. IN ACCORDANCE WITH FBC 1609.1.2, "STORAGE SHEDS THAT ARE NOT DESIGNED FOR HUMAN HABITATION AND THAT HAVE A FLOOR AREA OF 720 SQUARE FEET OR LESS ARE NOT REQUIRED TO COMPLY WITH THE MANDATORY WINDBORNE DEBRIS IMPACT STANDARDS OF THIS CODE".
9. IN ACCORDANCE WITH FBC 1010.1.1, EXCEPTION (10.) BUILDINGS THAT ARE 400 SQ-FT OR LESS AND THAT ARE INTENDED FOR USE IN CONJUNCTION WITH ONE- AND TWO-FAMILY RESIDENCES ARE NOT SUBJECT TO THE DOOR HEIGHT AND WIDTH REQUIREMENTS OF THIS CODE. STRUCTURES 400 SQ-FT OR MORE SHALL HAVE AN 80" MINIMUM DOOR.
10. IN ACCORDANCE WITH FLORIDA STATUTE 553.80(1)(d), LAWN STORAGE BUILDINGS AND STORAGE SHEDS BEARING THE INSIGNIA OF APPROVAL OF THE DEPARTMENT ARE NOT SUBJECT TO 553.842 (FLORIDA PRODUCT APPROVALS) BUT SHALL MEET THE DESIGN WIND LOAD REQUIREMENTS OF THE 2023 FBC 8TH EDITION. SUCH BUILDINGS THAT DO NOT EXCEED 400 SQUARE FEET MAY BE DELIVERED AND INSTALLED WITHOUT NEED OF A CONTRACTOR'S OR SPECIALTY LICENSE.
11. FLAT METAL STRAPS CAN BE BENT AROUND STRUCTURAL MEMBERS OF WALL STUDS, TRUSSES, CHORDS, ETC. TO HELP SECURE THESE MEMBERS, PROVIDED THAT THE ADDED BEND DOES NOT INTERFERE WITH ANY OF THE EXISTING BREAKS/BENDS IN THE STRAP.
12. AS PER FBC SECTION 1626.L EXCEPTION (F): STORAGE SHEDS THAT ARE NOT DESIGNED FOR HUMAN HABITATION AND THAT HAVE A FLOOR AREA OF LESS THAN 720 SQUARE FEET OR LESS ARE NOT REQUIRED TO COMPLY WITH THE MANDATORY WINDBORNE DEBRIS IMPACT STANDARDS OF THIS CODE.
13. COMPONENTS/CLADDING ARE IN COMPLIANCE WITH THE 2023 FBC 8TH EDITION.
14. SHEDS LOCATED IN FLOOD HAZARD AREAS MUST COMPLY WITH THE LOCAL FLOOD ZONE REGULATIONS.
15. IF A WALL IS FRAMED FOR FUTURE HVAC UNITS THAT SHALL BE APPROVED BY THE AHJ AND SHALL COMPLY WITH LOCAL REQUIREMENTS FOR PERMITTING.
16. WINDOWS AND DOORS INSTALLED BY THE CUSTOMER THAT SHALL BE APPROVED BY THE AHJ AND SHALL COMPLY WITH LOCAL REQUIREMENTS FOR PERMITTING.
17. HVHZ COMPONENTS FOR SHEDS REQUIRE THAT INSTALLATION OCCURS PER MANUFACTURER'S INSTRUCTIONS.
18. FLOOD VENTS TO BE PROVIDED AND INSTALLED ON-SITE BY OTHERS PER LOCAL AUTHORITY HAVING JURISDICTION PER ASCE 24-14.

WIND LOAD CRITERIA

1. WIND SPEED (MPH): 140 Vasd/180 Vult
2. RISK CATEGORY: I
3. BUILDING CATEGORY: II
4. ENCLOSURE CLASSIFICATION: ENCLOSED
5. INTERNAL PRESSURE COEFFICIENT: GCpl = 0.18
6. EXPOSURE FACTOR: C
7. WIND DIRECTIONALITY FACTOR (Kd): 0.85
8. GUST RESPONSE FACTOR (Gh): 0.85
9. MAIN FRAME STRUCTURE OVERTURNING LOAD: Pr = -93.0 PSF
10. COMPONENT & CLADDING LOAD
 - a. Pr = ZONE 1: -110.4 PSF, ZONE 2: -145.8 PSF, ZONE 3: -191.4 PSF (GABLED ROOF)
 - b. Pr = ZONE 1: -100.2 PSF, ZONE 2: -130.8 PSF, ZONE 3: -141.0 PSF (HIPPED ROOF)
 - c. PW = ZONE 4: 59.76/-64.8 PSF, ZONE 5: +59.76/-79.8 PSF (WALL)
11. THIS BUILDING IS NOT DESIGNED FOR PLACEMENT ON THE UPPER HALF OF A HILL OR ESCARPMENT EXCEEDING 15 FEET IN HEIGHT.
12. SEISMIC LOAD: N/A
13. FLOOD LOAD: SHEDS LOCATED IN A FLOOD HAZARD AREA MUST COMPLY WITH THE LOCAL FLOOD ZONE REGULATIONS.

TABLE OF CONTENTS	
SHEET	SHEET DESCRIPTION
1	COVER SHEET
2	FLOOR PLAN
3	SIDEWALL FRAMING
4	FLOOR FRAMING
5	ROOF FRAMING
6	CROSS SECTIONS
7	ENDWALL FRAMING
8	ROOF TRUSS
9	HIP TRUSS
10	SCHEDULES
11	SCHEDULES

<p>BUILDING CODE RESIDENTIAL CODE ELECTRICAL CODE</p> <p>BUILDING TYPE MANUFACTURER AGENCY AGENCY PLAN NUMBER CONSTRUCTION TYPE FIRE PROTECTION FIRE SUPPRESSION SYSTEM OCCUPANCY ALLOWABLE # OF STORIES WIND VELOCITY FIRE RATING OF EXTERIOR WALLS FLOOR LIVE LOAD - STANDARD FLOOR LIVE LOAD - OPTIONAL FLOOR DEAD LOAD ROOF LIVE LOAD ROOF DEAD LOAD "R" RATING OF FLOOR, WALL, & ROOF MODULES PER BUILDING SQUARE FOOTAGE HURRICANE PROTECTION USAGE HURRICANE SHELTER USAGE HVHZ APPROVED</p>	<p>FBC, 8TH EDITION (2023) FRBC, 8TH EDITION (2023) 2020 NATIONAL ELECTRICAL CODE (NEC/NFPA 70-20) RESIDENTIAL LAWN STORAGE SHED SUPERIOR SHEDS, LLC INTERTEK (INTERTEK-ATI) SUP070 V-B NO NO UTILITY 1 180 MPH, EXPOSURE C 0 75 PSF 125 PSF 10 PSF 30 PSF 10 PSF N/A 1 719 SQ/FT. MAX. NO NO YES</p>
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THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY HERMES F. NORERO, P.E. ON THE DATE AND/OR TIME STAMP SHOWN USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURES MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



2323 S. VOLUSIA AVENUE
ORANGE CITY, FLORIDA 32763
(877) 439-7433

TITLE: THE DOUBLE WIDE

COVER SHEET

PREPARED BY: BUILDING DROPS, INC.

1900 NE MIAMI COURT, SUITE 2-15
ORANGE CITY, FLORIDA 32763
TEL: (954) 398-8478
FAX: (954) 744-4738
WEB: www.buildingdrops.com

REMARKS	BY	DATE

THE INSTALLATION DETAILS DESCRIBED HEREIN ARE GENERIC AND MAY NOT REFLECT ACTUAL CONDITIONS FOR A SPECIFIC SITE. IF SITE CONDITIONS CAUSE INSTALLATION TO DEVIATE FROM THE REQUIREMENTS DETAILED HEREIN, A LICENSED ENGINEER OR ARCHITECT SHALL PREPARE SITE SPECIFIC DOCUMENTS FOR USE WITH THIS DOCUMENT.

Digitally signed by Hermes F. Norero, P.E.
Reason: I am approving this document
Date: 2024.01.16 10:09:48 -0500'

HERMES F. NORERO, P.E.
FLORIDA P.E. No. 73778
BUILDING DROPS, INC.
1900 NE MIAMI COURT, SUITE 2-15
ORANGE CITY, FLORIDA 32763
FLPE CERT. OF AUTHORIZATION No. 25578

DATE: **09.22.2023**

DWG. BY: **DI** CHK. BY: **HFN**

SCALE: **NTS**

DWG. #: **SUP070**

SHEET: **1**

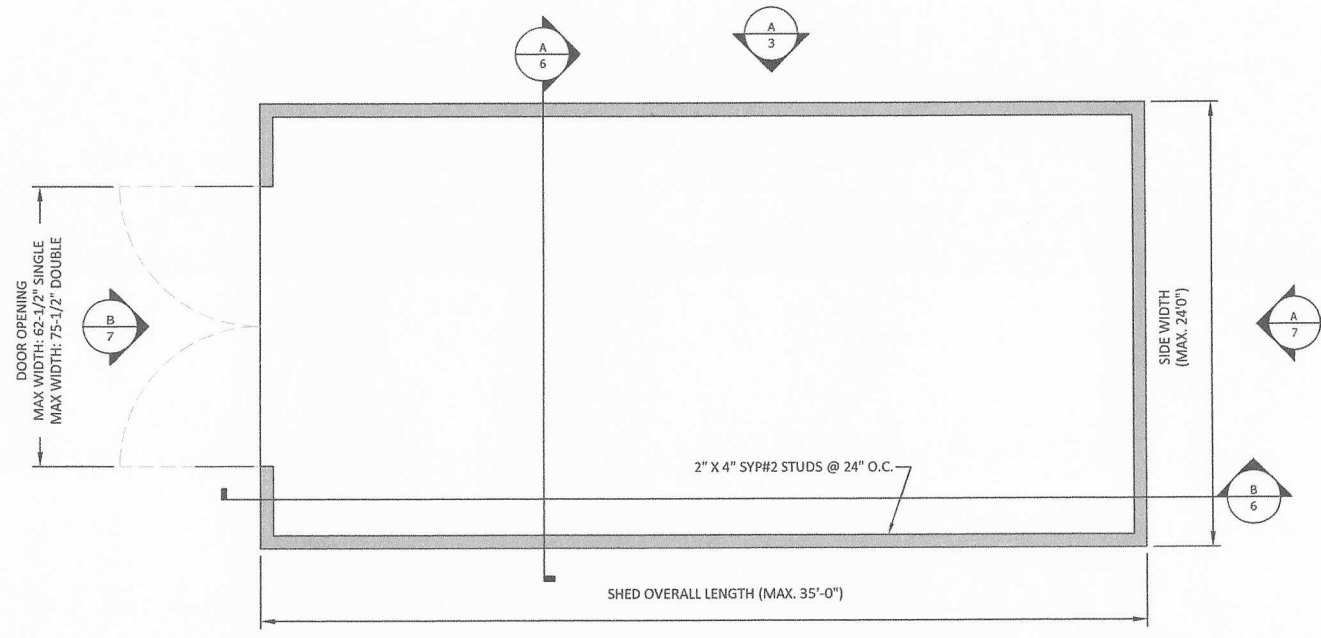
OF 11





2323 S. VOLLUSIA AVENUE
ORANGE CITY, FLORIDA 32763
(877) 439-7433

TITLE: THE DOUBLE WIDE
FLOOR PLAN
PREPARED BY: BUILDING DROPS, INC.
1900 NE MIAMI COURT, SUITE 2-15
MIAMI, FL 33132
PH: (954) 398-8478
FAX: (954) 744-4738
WEB: www.buildingdrops.com



NOTE: SHOWN IS THE 10'-0" X 20'-0"

FLOOR PLAN

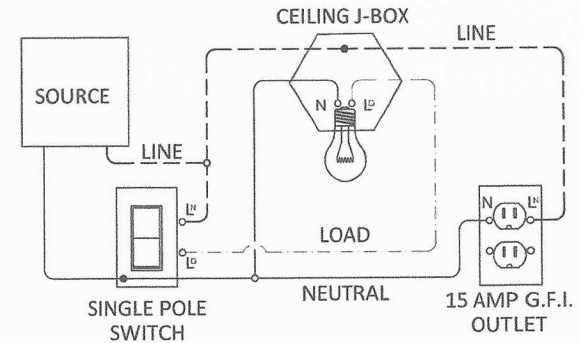
NOTE:
SHEDS TO HAVE A MAXIMUM OF 5 DOORS AND 10 WINDOWS. SUPPLEMENTAL SISTER STUDS TO BE INSTALLED AT EACH DOOR/WINDOW CONNECTION FOR REINFORCEMENT.



- NOTE:
1. MIN. GRADE STUDS: 2" X 4" STUDS TO BE Fb=1200 PSI OR GREATER
 2. MIN. ROOF SHEATHING: 29GA CORRUGATED METAL
 3. MIN. FLOOR SHEATHING: 3/4" PLYWOOD
 4. MIN. WALL SHEATHING: D4 ALUMINUM SIDING

NOTE:
23" SECTIONS OF 29GA CORRUGATED METAL SIDING FASTENED W/ 3/4" #8 HEX HEAD W/ WASHER SELF TAPPING SCREWS @ 6" ON EDGE & 12" IN FIELD.

- ELECTRICAL NOTES & OPTIONS:
- AS PER NEX ARTICLE 330.30(B) SECURING OF MC TYPE CABLE. UNLESS OTHERWISE PROVIDED, CABLES SHALL BE SECURED AT INTERVALS NOT EXCEEDING 6FT. CABLES CONTAINING FOUR OR FEWER CONDUCTORS SIZED NO LARGER THAN 10 AWG SHALL BE SECURED WITHIN 12 IN. OF EVERY BOX, CABINET, FITTING, OR OTHER CABLE TERMINATION.
 - ALL WIRING SHALL BE 14 GAUGE 3-WIRE MC CABLE.
 - ENCASE IN ALL METAL BOXES.
- MAXIMUM NO. OF OUTLETS: 7
MAXIMUM NO. OF LIGHTS: 8

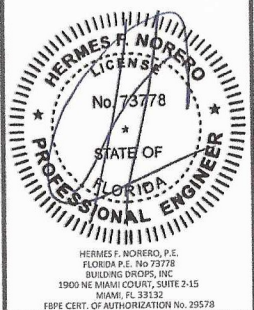


ELECTRICAL WIRING DIAGRAM

SCALE: NOT TO SCALE

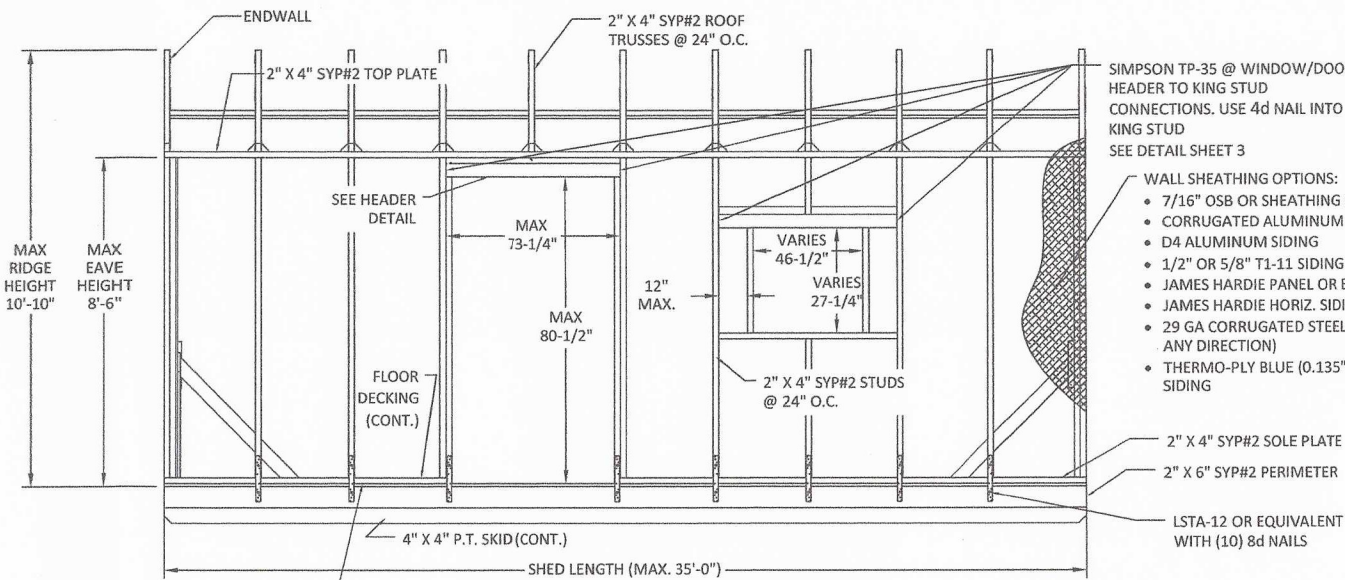
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DATE: 09.22.2023
DWG. BY: DI
CHK. BY: HFN
SCALE: NTS
DWG. #: SUP070
SHEET:

2



NOTE:
WALL FRAMING MEMBERS ARE CONTINUOUS FROM FOUNDATION SILL TO ROOF AND SECURED TO ENSURE A CONTINUOUS LOAD PATH WHERE WALL MEMBERS ARE NOT CONTINUOUS, SHEET METAL CLAMPS, TIES, OR CLIPS SHALL BE FORMED OF GALVANIZED STEEL OF NOT LESS THAN 0.040" NOMINAL THICKNESS.

SIMPSON TP-35 @ WINDOW/DOOR HEADER TO KING STUD CONNECTIONS. USE 4d NAIL INTO KING STUD
SEE DETAIL SHEET 3

WALL SHEATHING OPTIONS:

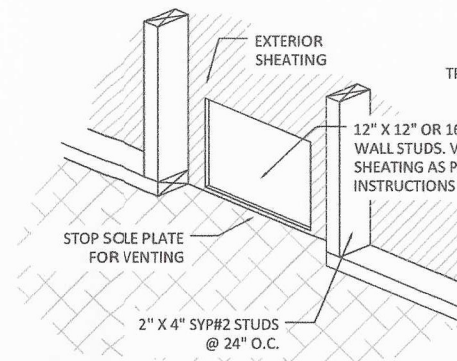
- 7/16" OSB OR SHEATHING EQUIV. OR BETTER
- CORRUGATED ALUMINUM
- D4 ALUMINUM SIDING
- 1/2" OR 5/8" T1-11 SIDING
- JAMES HARDIE PANEL OR EQUIV.
- JAMES HARDIE HORIZ. SIDING LAP OR EQUIV.
- 29 GA CORRUGATED STEEL METAL SIDING (RUN ANY DIRECTION)
- THERMO-PLY BLUE (0.135" THICK) W/ VINYL SIDING



2" X 4" SYP#2 SOLE PLATE
2" X 6" SYP#2 PERIMETER
LSTA-12 OR EQUIVALENT WITH (10) 8d NAILS

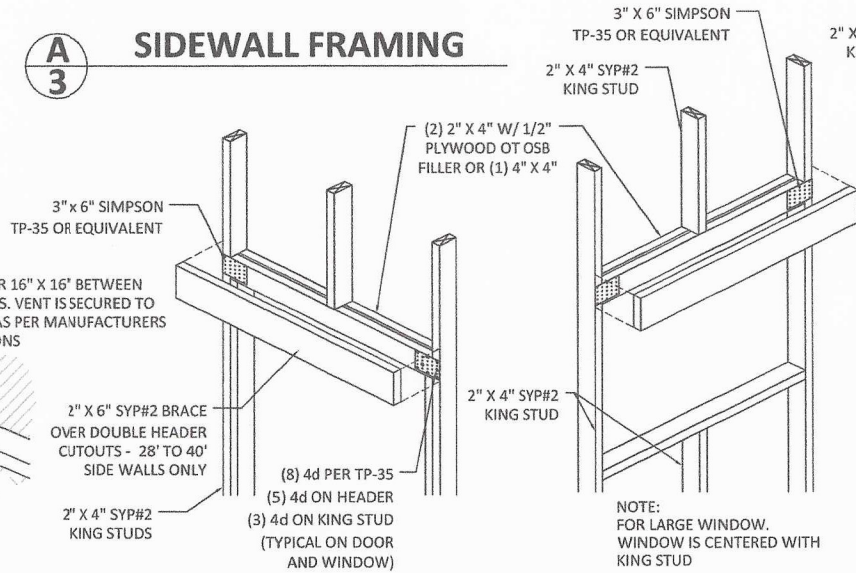
ALL STUDS SECURED TO SOLE PLATE AND FLOOR FRAMING W/ SIMPSON LSTA-12 OR EQUIVALENT STRAP W/ (5) 8d NAILS ON TOP INTO STUD, SECURING INTO RIM JOIST ON BOTTOM W/ (5) 8d NAILS (TYPICAL)

A
3 **SIDEWALL FRAMING**

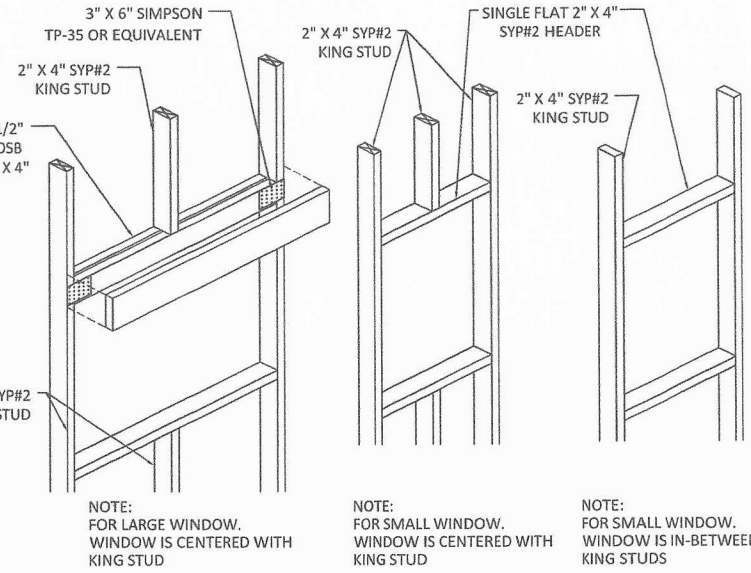


OPTIONAL HYDROVENT DETAIL
SCALE: NTS

FLOOD VENTS TO BE PROVIDED AND INSTALLED ON-SITE BY OTHERS PER LOCAL AUTHORITY HAVING JURISDICTION PER ASCE 24-14.



DOOR DETAIL (TYP)
SCALE: NTS



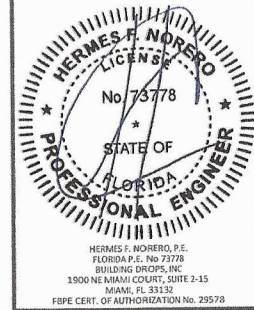
WINDOW DETAILS (TYP)
SCALE: NTS



TITLE: THE DOUBLE WIDE
SIDEWALL FRAMING
PREPARED BY: BUILDING DROPS, INC.
1900 NE MIAMI COURT, SUITE 2-15
MIAMI, FL 33132
PHONE: (954) 939-8478
FAX: (954) 744-4738
WEB: www.buildingdrops.com

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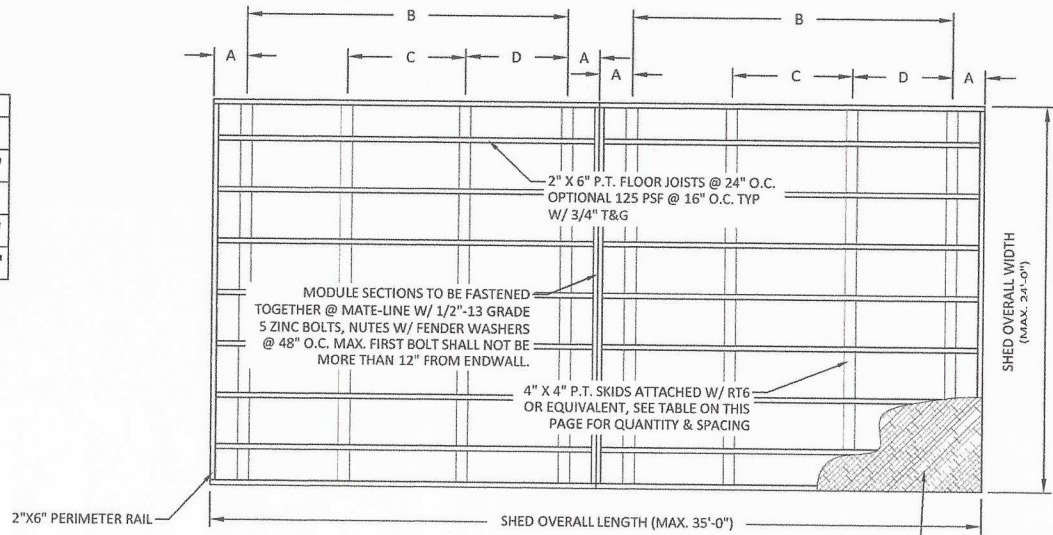
DATE: 09.22.2023
DWG. BY: DI
CHK. BY: HFN
SCALE: NTS
DWG. #: SUP070
SHEET:

TABLE 2: SKID RUNNER SPACING*

WIDTHS	8'-0"	10'-0"	11'-8"	13'-8"
A	0'-9"	1'-7"	2'-8"	1'-10.5"
B	6'-6"	6'-10"	6'-4"	-
C	-	-	-	1'-10.5"
D	-	-	-	4'-0.25"

*VALUES ARE FROM END OF JOIST TO CENTERS OF (2) 4" X 4" SKIDS ONLY. 13'-8" WIDE SHEDS HAVE (4) SKIDS.

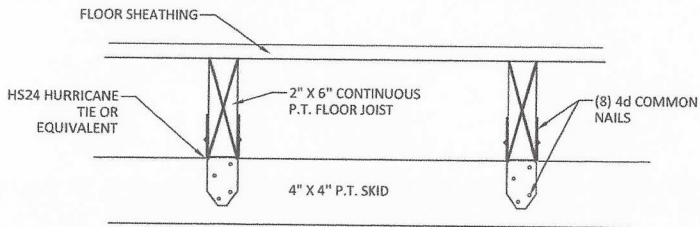
NOTE:
 SHEDS LONGER THAN 27'-6" WILL USE (3) WIDTHS CONNECTED TOGETHER AS SHOWN IN THE FLOOR FRAMING PLAN.



FLOOR FRAMING PLAN

SCALE: 3/8" = 1'-0"

FLOOR SHEATHING:
 - 3/4" PLYWOOD
 - 3/4" P.T. PLYWOOD
 - 3/4" T&G
 - 3/4" P.T. T&G



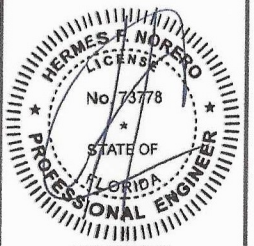
FLOOR JOIST TO SKID CONNECTION

SCALE: NOT TO SCALE

TITLE: THE DOUBLE WIDE
 FLOOR FRAMING
 PREPARED BY: BUILDING DROPS, INC.
 1900 NE MIAMI COURT, SUITE 2-15
 MIAMI, FL 33132
 PH: (305) 441-4728
 FAX: (305) 474-4728
 WEB: www.buildingdrops.com

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 1900 NE MIAMI COURT, SUITE 2-15
 MIAMI, FL 33132
 FPE CERT. OF AUTHORIZATION No. 29578

DATE: 09.22.2023
 DWG. BY: DI
 CHK. BY: HFN
 SCALE: NTS
 DWG. #: SUP070
 SHEET:





2323 S. VOLUSIA AVENUE
ORANGE CITY, FLORIDA 32763
(877) 439-7433

TITLE: THE DOUBLE WIDE

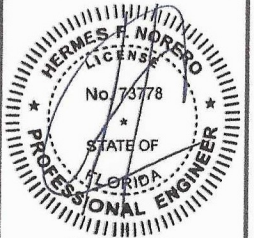
ROOF FRAMING

PREPARED BY:
BUILDING DROPS, INC.
1900 NE MIAMI COURT, SUITE 2-15
MIAMI, FL 33132
TEL: (305) 599-6776
FAX: (305) 599-6778
WEB: www.buildingdrops.com



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DWG. BY: DI CHK. BY: HFN

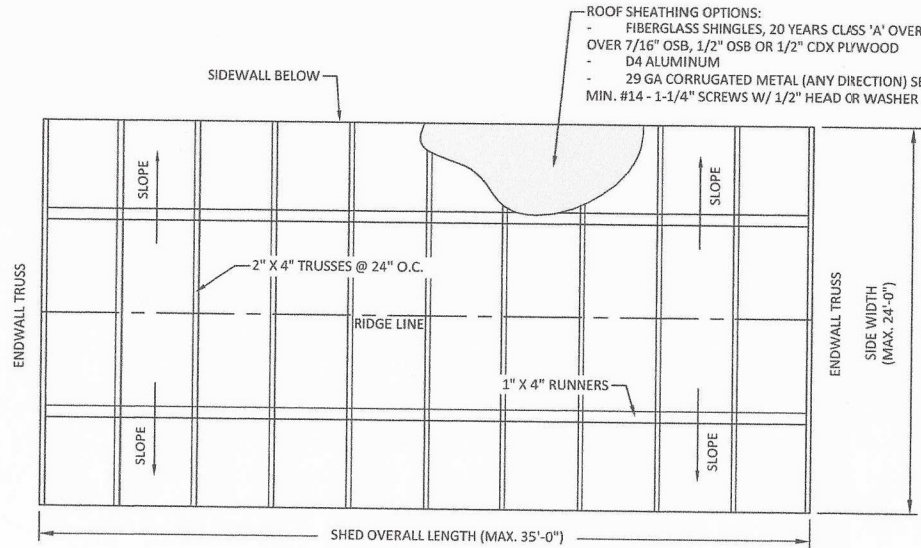
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DWG. #: SUP070

SHEET:

5

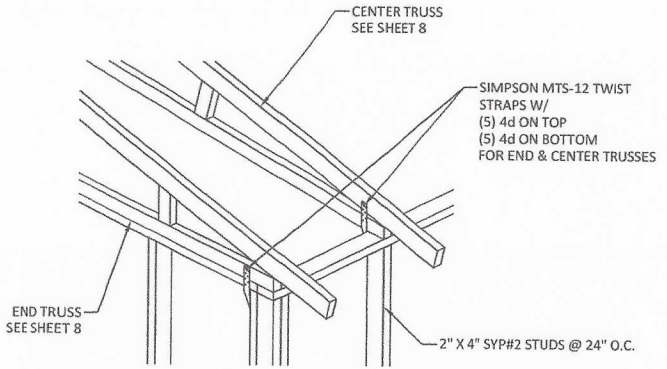
OF 11



ROOF FRAMING PLAN

SCALE: 3/8" = 1'-0"

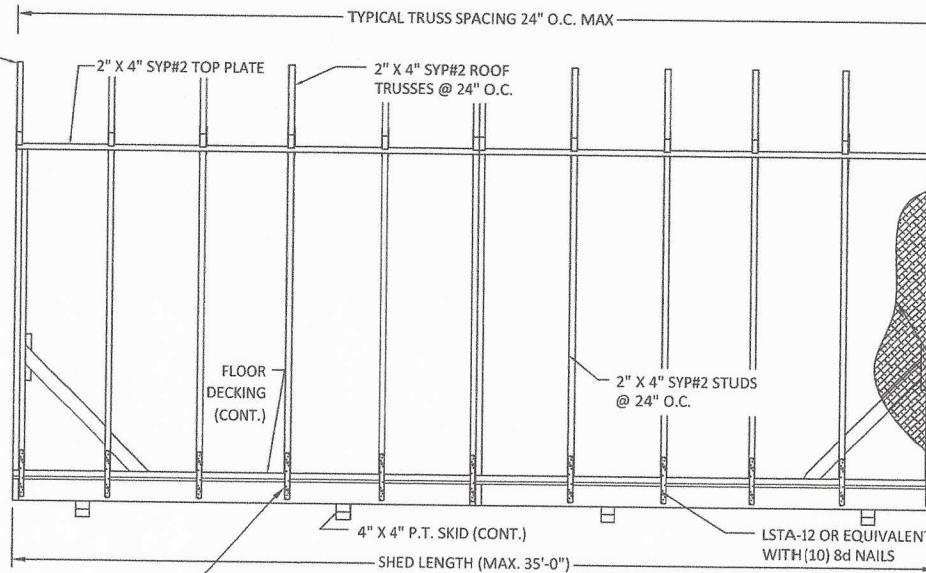
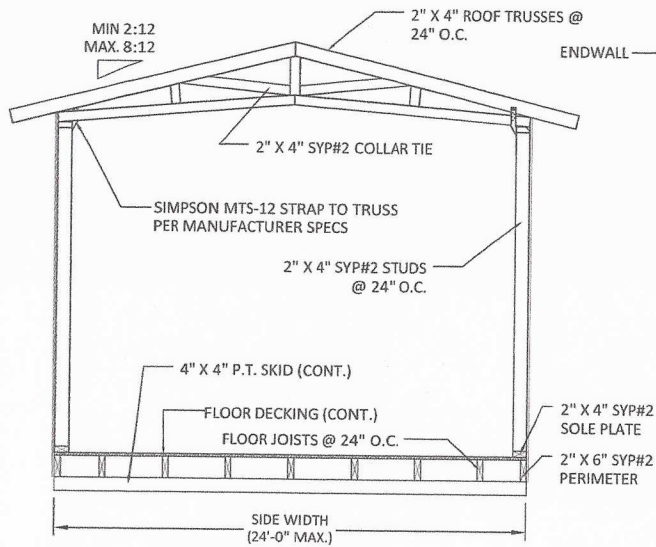
- NOTE:
1. MIN. GRADE STUDS: 2" X 4" STUDS TO BE Fb=1200 PSI OR GREATER
 2. MIN. ROOF SHEATHING: D4 ALUMINUM PANELS
 3. MIN. FLOOR SHEATHING: 3/4" PLYWOOD
 4. MIN. WALL SHEATHING: D4 ALUMINUM SIDING



SHED END WALL & CENTER TRUSS CONNECTION

SCALE: NOT TO SCALE





A
CROSS SECTION A
SCALE: 3/8"=1'-0"

ALL STUDS SECURED TO SOLE PLATE AND FLOOR FRAMING W/ SIMPSON LSTA-12 STRAP OR EQUIVALENT W/ (5) 8d NAILS ON TOP INTO STUD, SECURING INTO RIM JOIST ON BOTTOM W/ (5) 10d NAILS (TYPICAL)

B
CROSS SECTION B
SCALE: 3/8"=1'-0"

- WALL SHEATHING OPTIONS:
- 7/16" OSB OR SHEATHING EQUIV. OR BETTER
 - CORRUGATED ALUMINUM
 - D4 ALUMINUM SIDING
 - 1/2" OR 5/8" T1-11 SIDING
 - JAMES HARDIE PANEL OR EQUIV.
 - JAMES HARDIE HORIZ. SIDING LAP OR EQUIV.
 - 29 GA CORRUGATED STEEL METAL SIDING (RUN ANY DIRECTION)
 - THERMO-PLY BLUE (0.135" THICK) W/ VINYL SIDING

NOTE:
2" X 4" STUDS TO BE Fb= 1200 PSI OR GREATER

NOTE:
WALL FRAMING MEMBERS ARE CONTINUOUS FROM FOUNDATION SILL TO ROOF AND SECURED TO ENSURE A CONTINUOUS LOAD PATH. WHERE WALL MEMBERS ARE NOT CONTINUOUS, SHEET METAL CLAMPS, TIES, OR CLIPS SHALL BE FORMED OF GALVANIZED STEEL OF NOT LESS THAN 0.040" NOMINAL THICKNESS.

SUPERIOR SHEDS
2323 S. VOLUSIA AVENUE
ORANGE CITY, FLORIDA 32763
(877) 439-7433

TITLE: THE DOUBLE WIDE
CROSS SECTIONS

PREPARED BY:
BUILDING DROPS, INC.
1500 NE MIAMI COURT, SUITE 2-15
MIAMI, FL 33132
PH: (954) 959-9478
FAX: (954) 959-9478
WEB: www.buildingdrops.com

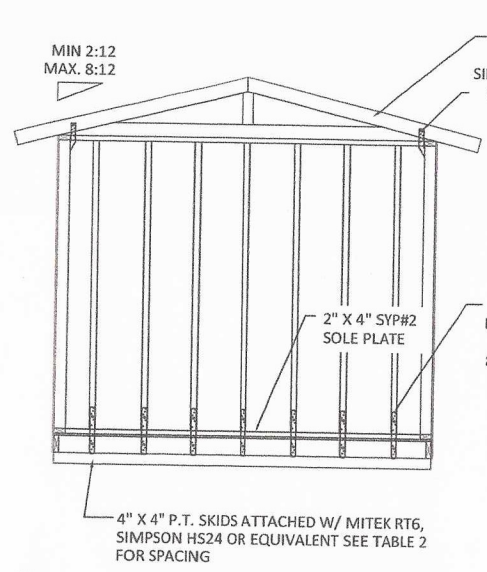
REMARKS	BY	DATE

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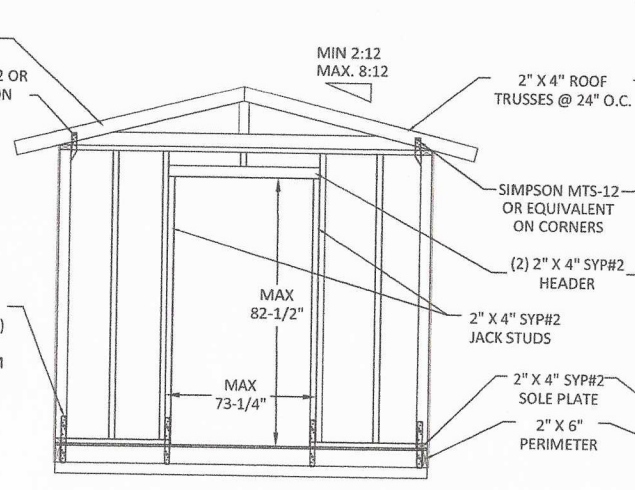
HERMES F. NOREÑO
LICENSED PROFESSIONAL ENGINEER
No. 73778
STATE OF FLORIDA
HERMES F. NOREÑO, P.E.
FLORIDA P.E. No. 73778
BUILDING DROPS, INC.
1900 NE MIAMI COURT, SUITE 2-15
MIAMI, FL 33132
FBPE CERT. OF AUTHORIZATION No. 29578

DATE: 09.22.2023	
DWG. BY: DI	CHK. BY: HFN
SCALE: NTS	
DWG. #: SUP070	
SHEET: 6	

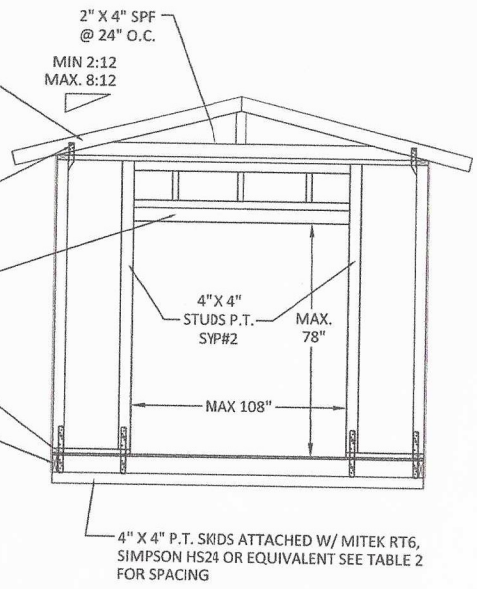




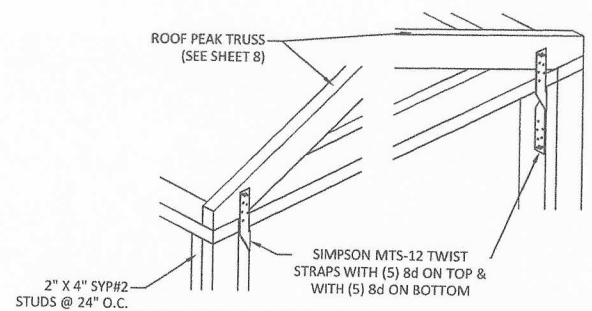
A
7
ENDWALL FRAMING
 SCALE: 3/8"=1'-0"



B
7
ENDWALL FRAMING
 SCALE: 3/8"=1'-0"
 DOOR



C
7
ENDWALL FRAMING
 SCALE: 3/8"=1'-0"
 GARAGE DOOR



ROOF TRUSS TO ENDWALL CONNECTION
 SCALE: NOT TO SCALE

TITLE: THE DOUBLE WIDE
 ENDWALL FRAMING
 PREPARED BY: BUILDING DROPS, INC.
 1500 NE MIAMI COURT, SUITE 2-15
 MIAMI, FL 33132
 PH: (954) 989-9478
 FAX: (954) 989-9479
 WEB: www.buildingdrops.com

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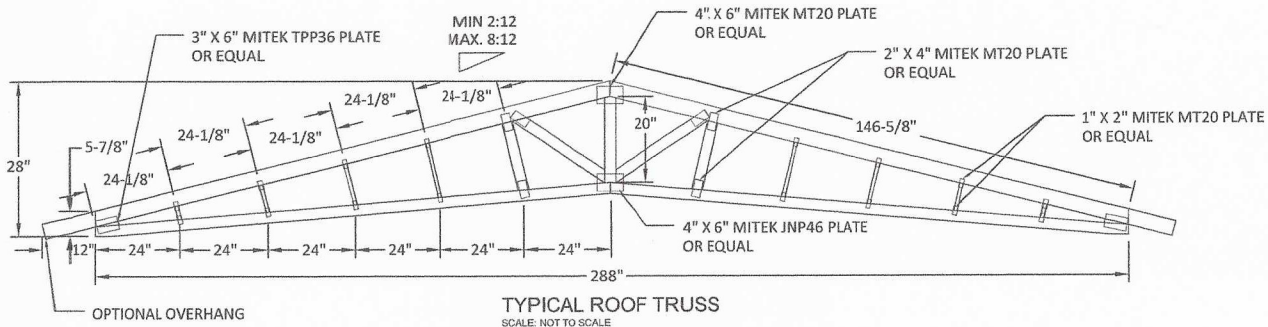
HERMES F. NOHERO, P.E.
 FLORIDA P.E. No. 73778
 BUILDING DROPS, INC.
 1500 NE MIAMI COURT, SUITE 2-15
 MIAMI, FL 33132
 FBPE CERT. OF AUTHORIZATION No. 29578

DATE:	09.22.2023	
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SCALE:	NTS	
DWG. #:	SUP070	
SHEET:	7	

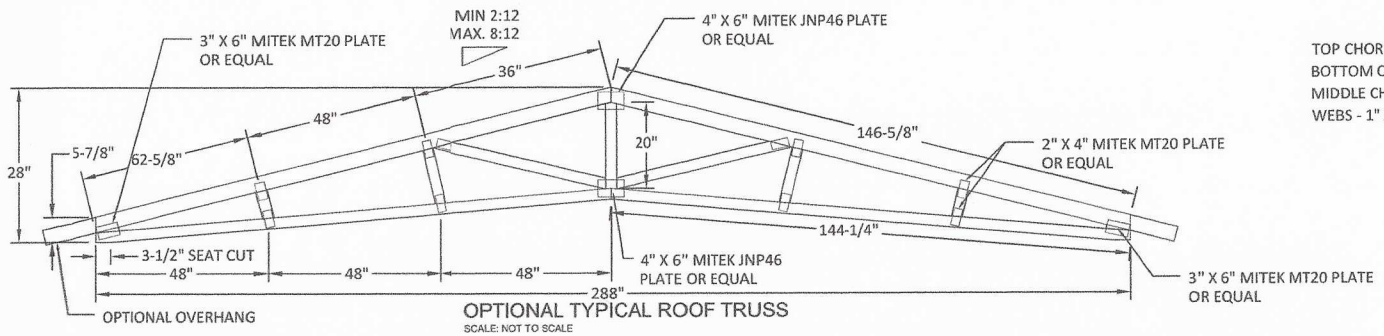
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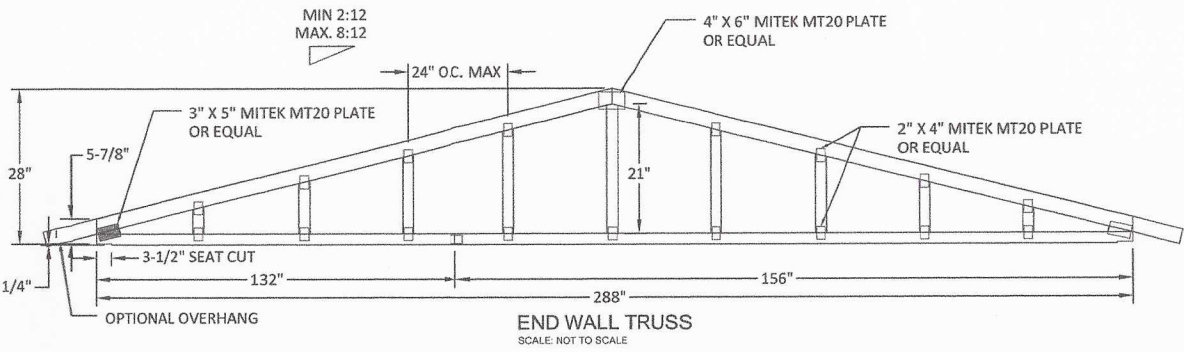
2933 S. VOLUSIA AVENUE
ORANGE CITY, FLORIDA 32763
(877) 439-7433



TOP CHORD - 2" X 4" SELECT SPF
BOTTOM CHORD - 2" X 3" SELECT SPF
MIDDLE CHORD - 2" X 3" SELECT SPF
WEBS - 1" X 2" SELECT SPF



TOP CHORD - 2" X 4" SELECT SPF
BOTTOM CHORD - 2" X 3" SELECT SPF
MIDDLE CHORD - 2" X 3" SELECT SPF
WEBS - 1" X 2" SELECT SPF

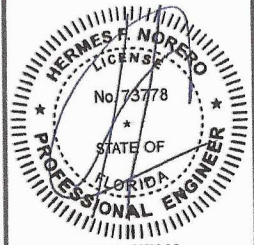


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MIDDLE CHORD - 2" X 3" SELECT SPF

TITLE: THE DOUBLE WIDE
ROOF TRUSS
PREPARED BY: BUILDING DROPS, INC.
1900 NE MIAMI COURT, SUITE 2-15
MIAMI, FL 33133
PH: (954) 999-8478
FAX: (954) 744-4738
WEB: www.buildingdrops.com

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HERMES F. NORERO, P.E.
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MIAMI, FL 33132
FBPE CERT. OF AUTHORIZATION No. 29578

DATE: 09.22.2023
DWG. BY: DI
CHK. BY: HFN
SCALE: NTS
DWG. #: SUP070
SHEET:





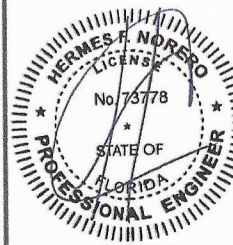
2323 S. VOLUSIA AVENUE
ORANGE CITY, FLORIDA 32763
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BUILDING DROPS, INC.
1500 NE MIAMI COURT, SUITE 2-15
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FAX: (954) 744-4738
WEB: www.buildingdrops.com



TITLE:	THE DOUBLE WIDE
REMARKS	BY DATE

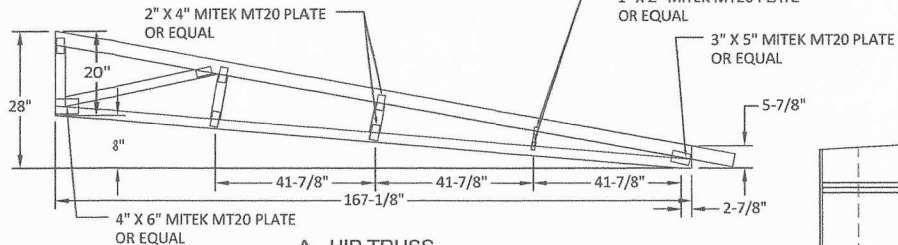
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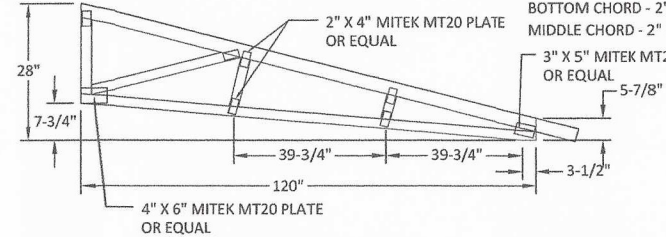
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SCALE:	NTS
DWG. #:	SUP070
SHEET:	9

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BOTTOM CHORD - 2" X 3" SELECT SPF
MIDDLE CHORD - 2" X 3" SELECT SPF
WEBS - 1" X 2" SELECT SPF



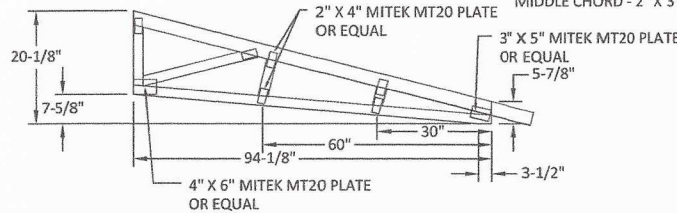
A - HIP TRUSS
SCALE: NOT TO SCALE

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BOTTOM CHORD - 2" X 3" SELECT SPF
MIDDLE CHORD - 2" X 3" SELECT SPF

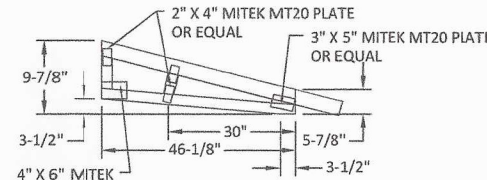


B - CENTER HIP TRUSS
SCALE: NOT TO SCALE

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BOTTOM CHORD - 2" X 3" SELECT SPF
MIDDLE CHORD - 2" X 3" SELECT SPF

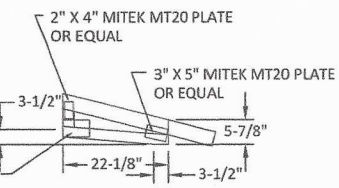


C - BRIDGE TRUSS
SCALE: NOT TO SCALE



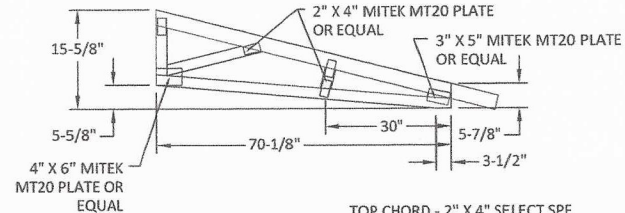
E - BRIDGE TRUSS
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BOTTOM CHORD - 2" X 3" SELECT SPF
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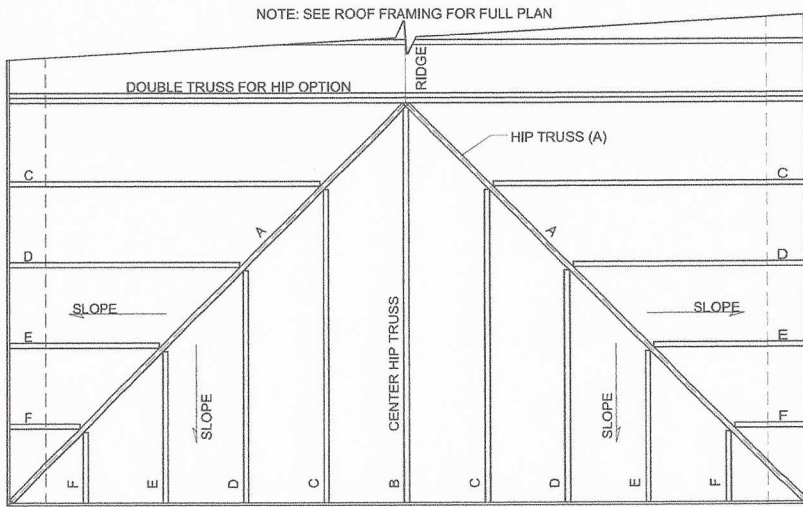
F - BRIDGE TRUSS
SCALE: NOT TO SCALE

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BOTTOM CHORD - 2" X 3" SELECT SPF
MIDDLE CHORD - 2" X 3" SELECT SPF



D - BRIDGE TRUSS
SCALE: NOT TO SCALE

TOP CHORD - 2" X 4" SELECT SPF
BOTTOM CHORD - 2" X 3" SELECT SPF
MIDDLE CHORD - 2" X 3" SELECT SPF



NOTE: SEE ROOF FRAMING FOR FULL PLAN



ALTERNATE FASTENING SCHEDULE		
CONNECTION	FASTENING	
ALT 31-33. WOOD STRUCTURAL PANELS AND PARTICLEBOARD SUBFLOOR, ROOF AND WALL SHEATHING (TO FRAMING)	1/2" AND LESS	2" X 0.092" RING SHANK NAIL 5" FROM EDGE, 10" O.C.

STRAP & FASTENER SCHEDULE *						
	PART#/DESC.	UPLIFT	WALL FASTENER	RAFTER FASTENER	PLATE FASTENER	
RAFTER (B)	H1	400	-	6 - 8d X 1.5"	4 - 5d	
	H11Z	750	-	6 - 16d X 2.5"	6 - 16d X 2.5"	
	H2A	495	5 - 8d X 1.5"	5 - 8d X 1.5"	2 - 8d X 1.5"	
	H2.5A	535	-	5 - 8d	5 - 5d	
	H2.5	410	5 - 8d	5 - 8d	-	
	H2.5T	545	5 - 8d	5 - 8d	-	
	H2A	495	7 - 8d X 1.5"	5 - 8d X 1.5"	-	
	H3	320	4 - 8d	4 - 8d	-	
	H4	235	4 - 8d	4 - 8d	-	
	HS	265	4 - 8d	4 - 8d	-	
	LTS-12	620	6 - 10d X 1.5"	6 - 10d X 1.5"	-	
	LTS-16	620	6 - 10d X 1.5"	6 - 10d X 1.5"	-	
	LTS-18	620	6 - 10d X 1.5"	6 - 10d X 1.5"	-	
	LTS-20	620	6 - 10d X 1.5"	6 - 10d X 1.5"	-	
	MTS-12	860	7 - 10d X 1.5"	7 - 10d X 1.5"	-	
	MTS-16	860	7 - 10d X 1.5"	7 - 10d X 1.5"	-	
	MTS-18	860	7 - 10d X 1.5"	7 - 10d X 1.5"	-	
	MTS-20	860	7 - 10d X 1.5"	7 - 10d X 1.5"	-	
	PORCH	PART#/DESC.	UPLIFT	COLUMN FASTENER	RAFTER FASTENER	
		A21	245	2 - 10d X 1.5"	2 - 10d X 1.5"	
A23		585	4 - 10d X 1.5"	4 - 10d X 1.5"		
A33		750	4 - 10d	4 - 10d		
BTM PLATE	PART#/DESC.	UPLIFT	WALL FASTENER	FLOOR FASTENER		
	LSTA-18	1110	7 - 10d	7 - 10d		
HEADER (D)	PART#/DESC.	UPLIFT	STUD FASTENER	HEADER FASTENER		
	TP-35	N/R	5'-3" X 0.131"	5'-3" X 0.131"		
	HP40,41,80,81	4725	5'-3" X 0.131"	5'-3" X 0.131"		
TIE-DOWNS	PART#/DESC.	UPLIFT	WALL FASTENER	FLOOR FASTENER		
	20GA. 1-1/4" WIDE 5/8" X 30" ANCHOR	4725	7 - 10d X 1.5"	-		

A. ALL STRAPS CAN BE SUBSTITUTED WITH AN EQUIVALENT BRAND MEETING SAME STRENGTHS.
B. RAFTER TIES TO STUD WALL TO BE AT EVERY CONNECTION FOR 24" O.C. & CAN EVERY OTHER FOR 16" O.C. BUT IS REQUIRED ON CORNERS AND STUDS ADJACENT TO CORNERS.
C. ONLY NEEDED ON ALUMINUM & VINYL SHEATHING WALLS.
D. HEADERS OVER 6'-0" SPAN.

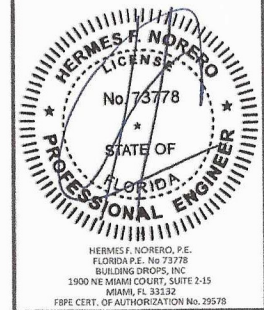
PRODUCT OPTIONS				
PRODUCT CAT.	SUB. CATEGORY	MANUFACTURER	MODEL / DESC.	STATE OF FL APPROVAL #:
PANEL WALLS	SIDING	JAMES HARDIE	5/16" CEDAR	FL#: 13223.1
PANEL WALLS	SIDING	JAMES HARDIE	5/16" STUCCO	FL#: 13223.2
PANEL WALLS	SIDING	ADVANCED ALUM.	x	FL#: -
PANEL WALLS	SIDING	PLY GEM	x	FL#: -
PANEL WALLS	SIDING	ADVANCED ALUM.	x	FL#: -
PANEL WALLS	SIDING	SIMPSON LUMBER	x	FL#: -
EXTERIOR DOORS	SWINGING EXT	EAGAN	E1HDL	FL#: 12820-R3
EXTERIOR DOORS	SWINGING EXT	CROFT	200 9-LITE	FL#: -
EXTERIOR DOORS	ROLL-UP	JANUS INT'L	x	FL#: -
WINDOWS	SINGLE HUNG	CROFT	VERT SLIDER	FL#: 10853-R5
WINDOWS	SINGLE HUNG	CROFT	VERT SLIDER	FL#: 15527-R5
WINDOWS	SINGLE HUNG	CROFT	VERT SLIDER	FL#: 16082-R3
WINDOWS	SINGLE HUNG	CROFT	VERT SLIDER	FL#: 16153-R1
WINDOWS	HORIZ. SLIDER	CROFT	HORIZ. SLIDER	FL#: 27202
WINDOWS	HORIZ. SLIDER	CROFT	HORIZ. SLIDER	FL#: 28822
WINDOWS	HORIZ. SLIDER	CROFT	HORIZ. SLIDER	FL#: 30848



TITLE: THE DOUBLE WIDE
SCHEDULES
PREPARED BY: BUILDING DROPS, INC.
1900 NE MIAMI COURT, SUITE 2-15
MIAMI, FL 33132
PH: (954) 969-8878
FAX: (954) 744-4738
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SCALE:	NTS
DWG. #:	SUP070
SHEET:	10

OF 11



FASTENING SCHEDULE (FBC TABLE 2304.10.1)		
CONNECTION	FASTENING	CONNECTION
1. JOIST TO SILL OR GIRDER	3 - 8d COMMON (2-1/2" X 0.131") 3 - 3" 14 GAUGE STAPLES	TOE NAIL
2. BRINGING TO JOIST	2 - 8d COMMON (2-1/2" X 0.131") 2 - 8d COMMON (2-1/2" X 0.131") 2 - 3" 14 GAUGE STAPLES	TOE NAIL EACH END
3. 1" X 6" SUBFLOOR OR LESS TO EACH JOIST	2 - 8d COMMON (2-1/2" X 0.131")	FACE NAIL
4. WIDER THAN 1" X 6" SUBFLOOR TO EACH JOIST	3 - 8d COMMON (2-1/2" X 0.131")	FACE NAIL
5. 2" SUBFLOOR TO JOIST OR GIRDER	2 - 16d COMMON (3-1/2" X 0.162")	BLIND AND FACE NAIL
6. SOLE PLATE TO JOIST OR BLOCKING	16d (3-1/2" X 0.135") AT 16" O.C. 3" X 0.131" NAILS AT 8" O.C. 3" 14 GAUGE STAPLES AT 12" O.C.	TYPICAL FACE NAIL
SOLE PLATE TO JOIST AT BRACED WALL PANEL	3 - 16d COMMON (3-1/2" X 0.135") AT 16" O.C. 4 - 3" X 0.131" NAILS AT 16" O.C. 4 - 3" 14 GAUGE STAPLES AT 16" O.C.	BRACED WALL PANEL
7. TOP PLATE TO STUD	2 - 16d COMMON (3-1/2" X 0.162") 3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	END NAIL
8. STUD TO SOLE PLATE	4 - 8d COMMON (2-1/2" X 0.131") 4 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	TOE NAIL
	2 - 16d COMMON (3-1/2" X 0.162") 3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	END NAIL
9. DOUBLE STUDS	16d (3-1/2" X 0.135") AT 24" O.C. 3" X 0.131" NAILS AT 8" O.C. 3" 14 GAUGE STAPLES AT 8" O.C.	FACE NAIL
10. DOUBLE TOP PLATES	16d (3-1/2" X 0.135") AT 16" O.C. 3" X 0.131" NAILS AT 8" O.C. 3" 14 GAUGE STAPLES AT 8" O.C.	TYPICAL FACE NAIL
DOUBLE TOP PLATES	8 - 16d COMMON (3-1/2" X 0.135") AT 16" O.C. 12 - 3" X 0.131" NAILS AT 16" O.C. 12 - 3" 14 GAUGE STAPLES AT 16" O.C.	LAP SPLICE
11. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE	3 - 8d COMMON (2-1/2" X 0.131") 3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	TOE NAIL
12. RIM JOIST TO TOP PLATE	8d COMMON (2-1/2" X 0.131") AT 6" O.C. 3" X 0.131" NAILS AT 6" O.C. 3" 14 GAUGE STAPLES AT 6" O.C.	TOE NAIL
13. TOP PLATES, LAPS AND INTERSECTIONS	2 - 16d COMMON (3-1/2" X 0.162") 3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	FACE NAIL
14. CONTINUOUS HEADER, TWO PIECES	16d COMMON (3-1/2" X 0.162")	16" O.C. ALONG EDGE
15. CEILING JOISTS TO PLATE	3 - 16d COMMON (3-1/2" X 0.131") 5 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	TOE NAIL
16. RIM JOIST TO TOP PLATE	4 - 8d COMMON (2-1/2" X 0.131")	TOE NAIL
17. CEILING JOISTS, LAPS OVER PARTITIONS	3 - 16d COMMON (3-1/2" X 0.135") MIN. 4 - 3" X 0.131" NAILS 4 - 3" 14 GAUGE STAPLES	FACE NAIL
18. CEILING JOISTS TO PARALLEL RAFTERS	3 - 16d COMMON (3-1/2" X 0.135") MIN. 4 - 3" X 0.131" NAILS 4 - 3" 14 GAUGE STAPLES	FACE NAIL
19. RAFTER TO PLATE	3 - 8d COMMON (2-1/2" X 0.131") 3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	TOE NAIL
20. 1" DIAGONAL BRACE TO EACH STUD & PLATE	2 - 8d COMMON (2-1/2" X 0.131") 2 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	FACE NAIL

FASTENING SCHEDULE (FBC TABLE 2304.10.1)		
CONNECTION	FASTENING	CONNECTION
21. 1" X 8" SHEATHING TO EACH BEARING	3 - 8d COMMON (2-1/2" X 0.131")	FACE NAIL
22. WIDER THAN 1" X 8" SHEATHING TO EA. BEARING	3 - 8d COMMON (2-1/2" X 0.131")	FACE NAIL
23. BUILT-UP CORNER STUDS	16d COMMON (3-1/2" X 0.162") MIN. 3" X 0.131" NAILS 3" 14 GAUGE STAPLES	24" O.C. 16" O.C. 16" O.C.
24. BUILT-UP GIRDER AND BEAMS	20d COMMON (4" X 0.192") AT 32" O.C. 3" X 0.131" NAILS AT 24" O.C. 3" 14 GAUGE STAPLES AT 24" O.C. 2 - 20d COMMON (4" X 0.192") 3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES FACE NAIL AT ENDS AND AT EACH SPLICE AT EACH BEARING
25. 2" PLANKS	16d COMMON (3-1/2" X 0.162")	FACE NAIL
26. COLLAR TIE TO RAFTER	3 - 10d COMMON (3" X 0.148") MIN. 4 - 3" X 0.131" NAILS 4 - 3" 14 GAUGE STAPLES	FACE NAIL
27. JACK RAFTER TO HIP	3 - 10d COMMON (3" X 0.148") 4 - 3" X 0.131" NAILS 4 - 3" 14 GAUGE STAPLES	TOE NAIL
	2 - 16d COMMON (3-1/2" X 0.162") 3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	FACE NAIL
28. ROOF RAFTER TO 2-BY RIDGE BEAM	2 - 16d COMMON (3-1/2" X 0.162") 3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	TOE NAIL
	2 - 16d COMMON (3-1/2" X 0.162") 3 - 3" X 0.131" NAILS 3 - 3" 14 GAUGE STAPLES	FACE NAIL
29. JOIST TO BAND JOIST	3 - 16d COMMON (3-1/2" X 0.135") 4 - 3" X 0.131" NAILS 4 - 3" 14 GAUGE STAPLES	FACE NAIL
30. LEDGER STRIP	3 - 16d COMMON (3-1/2" X 0.162") 4 - 3" X 0.131" NAILS 4 - 3" 14 GAUGE STAPLES	FACE NAIL AT EACH JOINT
31. WOOD STRUCTURAL PANELS AND PARTICLEBOARD (B) SUBFLOOR, ROOF AND WALL SHEATHING (TO FRAMING)	1/2" AND LESS 6d (C,I,Q) 2-3/8" X 0.113" NAIL(N) 1-3/4" 16 GAUGE(O) 19/32" TO 3/4" 8d(D) OR 6d (E) 2-3/8" X 0.113" NAIL(N) 2" 16 GAUGE (P)	6" O.C. EDGES AND INTERMEDIATE, 4" O.C. AT COMPONENT AND CLADDING EDGE STRIP # ZONE 3 (REFER TO FIG. 30.4-1 OF ASCE 7)
SINGLE FLOOR (COMBINATION SUBFLOOR-UNDERLAYMENT TO 19/32" TO 3/4" FRAMING)	7/8" TO 1" 8d(C) 1-1/8" TO 1-1/4" 10d(D) OR 8d(D)	
	3/4" AND LESS 6d(C) 7/8" TO 1" 8d(C) 1-1/8" TO 1-1/4" 10d(D) OR 8d(D)	
32. PANEL SIDING (TO FRAMING) (Q)	1/2" OR LESS 6d(F) 5/8" 8d(F)	
33. FIBERBOARD SHEATHING (G,Q)	1/2" AND LESS NO. 11 GAUGE ROOFING NAIL(H) 6d COMMON NAIL (2" X 0.113") NO. 16 GAUGE STAPLE (I) NO. 11 GAUGE NAIL(H) 8d COMMON 25/32" NAIL (2 1/2" X 0.131") NO. 16 GAUGE STAPLE (I)	6" O.C. EDGES AND INTERMEDIATE
34. INTERIOR PANELING	1/4" 4d(J) 3/8" 6d(K)	6" O.C. EDGES AND INTERMEDIATE

NOTES:

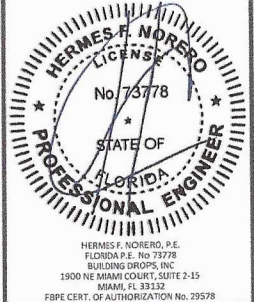
- A. COMMON OR BOX NAILS ARE PERMITTED TO BE USED EXCEPT WHERE OTHERWISE STATED.
- B. NAILS SPACED AT 6 INCHES ON CENTER ON CENTER AT EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS EXCEPT 6 INCHES AT SUPPORTS WHERE SPANS ARE 48 INCHES OR MORE. FOR NAILING OF WOOD STRUCTURAL PANEL AND PARTICLEBOARD DIAGRAMS AND SHEAR WALLS, REFER TO SECTION 2305. NAILS FOR WALL SHEATHING ARE PERMITTED TO BE COMMON, BOX OR CASING.
- C. COMMON OR DEFORMED SHANK (6d - 2 1/2" x 0.113"; 8d - 2-1/2" x 0.131"; 10d - 3" x 0.148"). D. COMMON (6d - 2" x 0.113"; 8d - 2-1/2" x 0.131"; 10d - 3" x 0.148").
- D. DEFORMED SHANK (6d - 2" x 0.113"; 8d - 2-1/2" x 0.131"; 10d - 3" x 0.148").
- E. CORROSION-RESISTANT SIDING (6d - 1-7/8" x 0.106"; 8d - 2-3/8" x 0.128") OR CASING (6d - 2" x 0.099"; 8d - 2-1/2" x 0.113") NAIL
- F. FASTENERS SPACED 3 INCHES ON CENTER AT EXTERIOR EDGES AND 6 INCHES ON CENTER AT INTERMEDIATE SUPPORTS, WHEN USED AS STRUCTURAL SHEATHING. SPACING SHALL BE 6 INCHES ON CENTER ON THE EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS, WHEN USED FOR NON STRUCTURAL SHEATHING.
- G. CORROSION-RESISTANT ROOFING NAILS WITH 7/16" DIAMETER HEAD AND 1-1/2" LENGTH FOR 1/2" SHEATHING AND 1-3/4" LENGTH FOR SHEATHING.
- H. CORROSION-RESISTANT STAPLES WITH NOMINAL 7/16" CROWN OR 1" CROWN AND 1-1/4" LENGTH FOR 1/2" FOR 25/32" SHEATHING PANEL SUPPORTS AT 16" (20" IF STRENGTH AXIS IS THE LONG DIRECTION OF THE PANEL, UNLESS OTHERWISE MARKED).
- I. PANEL SUPPORTS AT 24 INCHES. CASING OR FINISH NAILS SPACED AT 6 INCHES ON PANEL EDGES, 12 INCHES AT INTERMEDIATE SUPPORTS.
- J. FOR ROOF SHEATHING APPLICATIONS, 8d NAILS (2-1/2" x 0.113") ARE THE MINIMUM REQUIRED FOR WOOD STRUCTURAL PANELS.
- K. STAPLES SHALL HAVE A MINIMUM CROWN WIDTH OF 7/16".
- L. FOR ROOF SHEATHING APPLICATIONS, FASTENERS SPACED AT 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS.
- M. FASTENERS SPACED AT 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS FOR SUBFLOOR AND SHEATHING 3 INCHES ON CENTER AT EDGES, 6 INCHES AT INTERMEDIATE SUPPORTS FOR ROOF SHEATHING.
- N. FASTENERS SPACED AT 4 INCHES ON CENTER AT EDGES, 8 INCHES AT INTERMEDIATE SUPPORTS.
- O. SEE FASTENER ALTERNATE SCHEDULE.
- P. FASTENERS MUST BE INSTALLED WITH EVEN SPACING BETWEEN THEM ACROSS ATTACHING MEMBER.



TITLE: THE DOUBLE WIDE SCHEDULES
 PREPARED BY: BUILDING DROPS, INC.
 1500 NE MIAMI COURT, SUITE 2-15
 MIAMI, FL 33132
 PH: (954) 398-8478
 FAX: (954) 744-4738
 WEB: www.buildingdrops.com

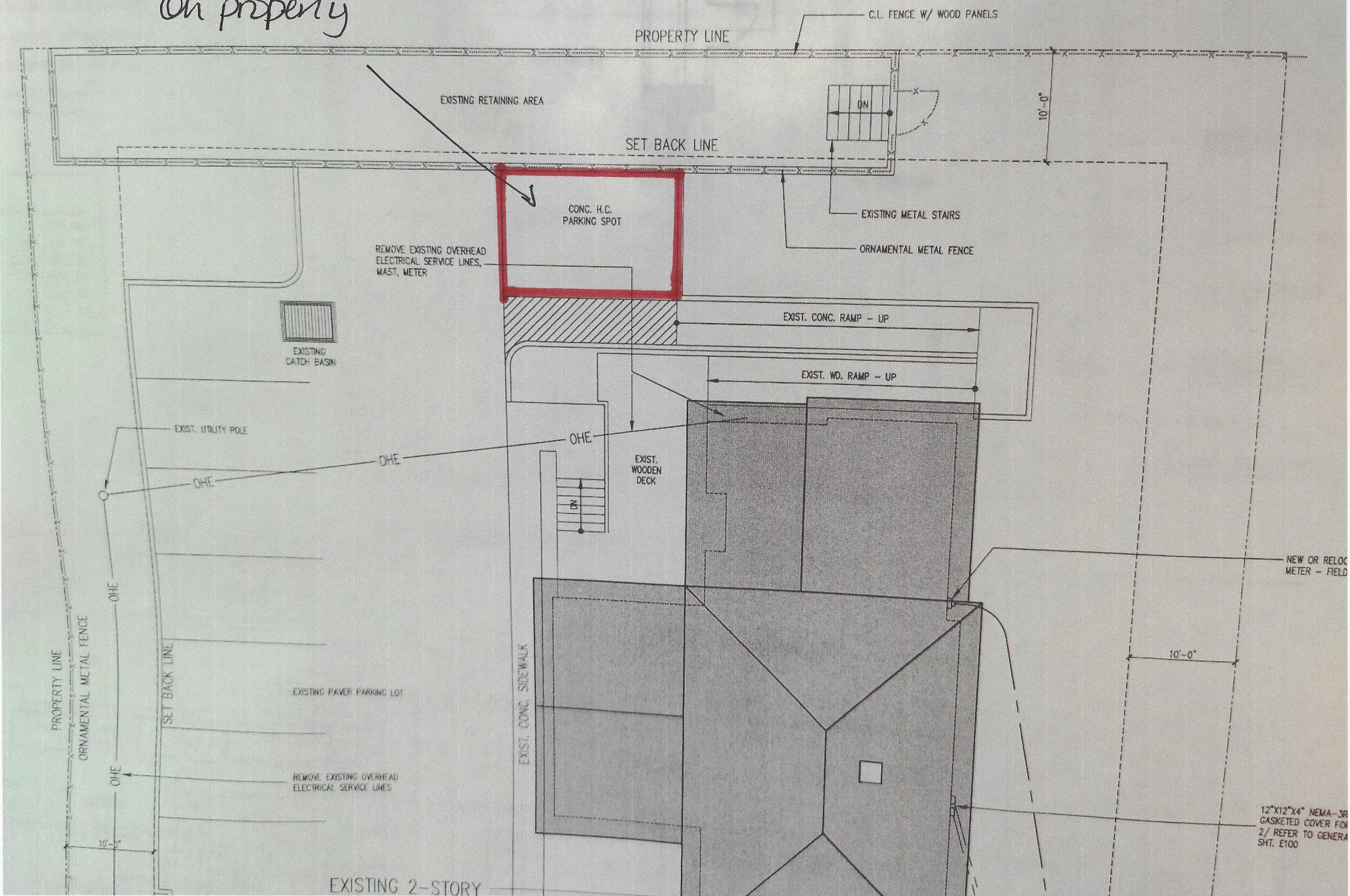
REMARKS	BY	DATE

THE INSTALLATION DETAILS DESCRIBED HEREIN ARE GENERAL AND MAY NOT REFLECT ACTUAL CONDITIONS FOR A SPECIFIC SITE. IF SITE CONDITIONS CAUSE INSTALLATION TO DEVIATE FROM THE REQUIREMENTS SET FORTH HEREIN, A LICENSED ENGINEER OR ARCHITECT SHALL PREPARE SITE SPECIFIC DOCUMENTS FOR USE WITH THIS DOCUMENT.



DATE: 09.22.2023
 DWG. BY: DI
 CHK. BY: HFN
 SCALE: NTS
 DWG. #: SUP070
 SHEET: 11 OF 11

Placement of shed on property





Total Quality. Assured.

Intertek-PSI
1748 33rd Street
Orlando, FL 32839

Tel +1 407 304 5560
Fax +1 407 304 5561
intertek.com/building

January 17, 2024

Mr. Thomas Campbell
Florida Department of Business and Professional Regulation
Codes & Standards Office
2601 Blair Stone Road
Tallahassee, Florida 32399-0772

RE: Manufacturer: Superior Sheds
Agency Plan Number: SUP070-23

Dear Mr. Campbell,

Architectural Testing Inc., an Intertek company ("Intertek-ATI"), part of Intertek¹ Building Science Solutions, in pursuant to the requirements of the Florida Department of Business and Professional Regulations, the above referenced documents have been reviewed for compliance with:

2023 Florida Building Code, 8th Edition
2020 National Electrical Code (NFPA-70)

This approval covers the factory build structure only. Any alterations to the factory-built structure, on site, voids the approval. This plan is subject to the following:

- This plan is Approved for High Velocity Hurricane Zone (i.e. Broward and Miami/Dade Counties)
- Signed and sealed plans are on file with Intertek-ATI
- Chapter 633 Plan Review and Inspection shall be conducted by the local fire and safety inspector
- Items installed on-site are subject to review and approval by the local authority having jurisdiction.
- This review includes products for compliance with 553.8425 or FAC Chapter 61G20-3

If you have any questions or require my assistance in any way, please do not hesitate to contact me.

Respectfully submitted,

Ryan Knowles, SMP-64
Manager, Industrialized Buildings
Building Science Solutions

CC: Mr. Hector Llamas – hllamas@superiorsheds.com

^[1] Intertek is a brand name representing the Intertek Group plc legal entities, including but not limited to, Intertek Testing Services NA Inc., Professional Service Industries, Inc. ("INTERTEK-PSI"), Architectural Testing Inc. ("INTERTEK-ATI"), and MT Group Inc. ("INTERTEK-MT").



Halsey Beshears, Secretary

Ron DeSantis, Governor

June 12, 2025

Hector Llamas

Superior Sheds, Inc.
2323 S. Volusia Ave
Orange City, FL 32763

RE: Manufacturer Certification, ID MFT-113; Expiration Date: June 10, 2028

Dear Hector Llamas

It is my pleasure to inform you that Superior Sheds, Inc., located at 2323 S. Volusia Ave, Orange City, FL 32763, has been approved under the Manufactured Buildings Program, as provided for under Chapter 553, Part I, Florida Statutes, to manufacture Storage Sheds, Manufactured Buildings, Panelized Buildings for installation in Florida.

Construction or modification on a manufactured building cannot begin until the Third Party Agency has approved the plans in accordance with the current Florida Building Code. Your Third Party Agency is a contractor for the Department and has statutory authority and responsibilities that must be met to maintain approved status. You may expect and demand quality plans review and inspections.

Each Code change will make your plans obsolete until they have been reviewed, approved and indicated [on the cover page of the plans] for compliance with the Code by your Third Party Agency for plans review. Please ensure that your plans are in compliance and are properly posted on our website. All site-related installation issues are subject to the local authority having jurisdiction.

The Department's contractor will make unannounced monitoring visits at least once each year. You must grant complete access to your manufacturing facility and records to remain in compliance with the rules and regulations of this program.

Your certification is approved for three years from this date. You will receive a renewal notice by Email generated by the BCIS (www.floridabuilding.org) for online renewal. If you have questions you may contact Robert Lorenzo at 850-717-1835 or our FAX at 850-414-8436.

Please visit our website at www.floridabuilding.org to see valuable information on the Florida Manufactured Buildings Program. A copy of this letter must accompany applications for local building permits.

Sincerely,



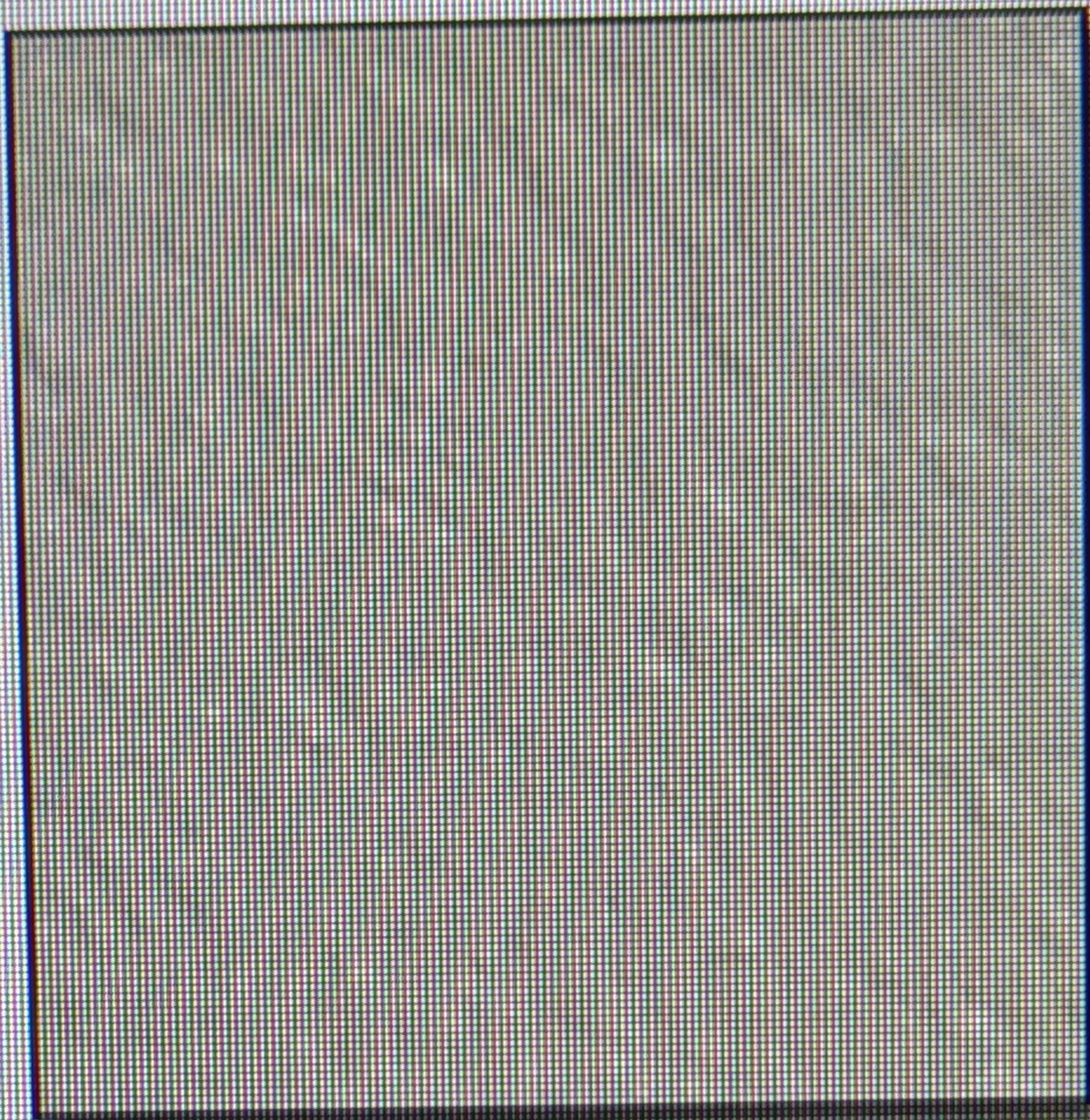
Robert Lorenzo
Manufactured Buildings Program

cc: Intertek-ATI (Architectural Testing, Inc.)

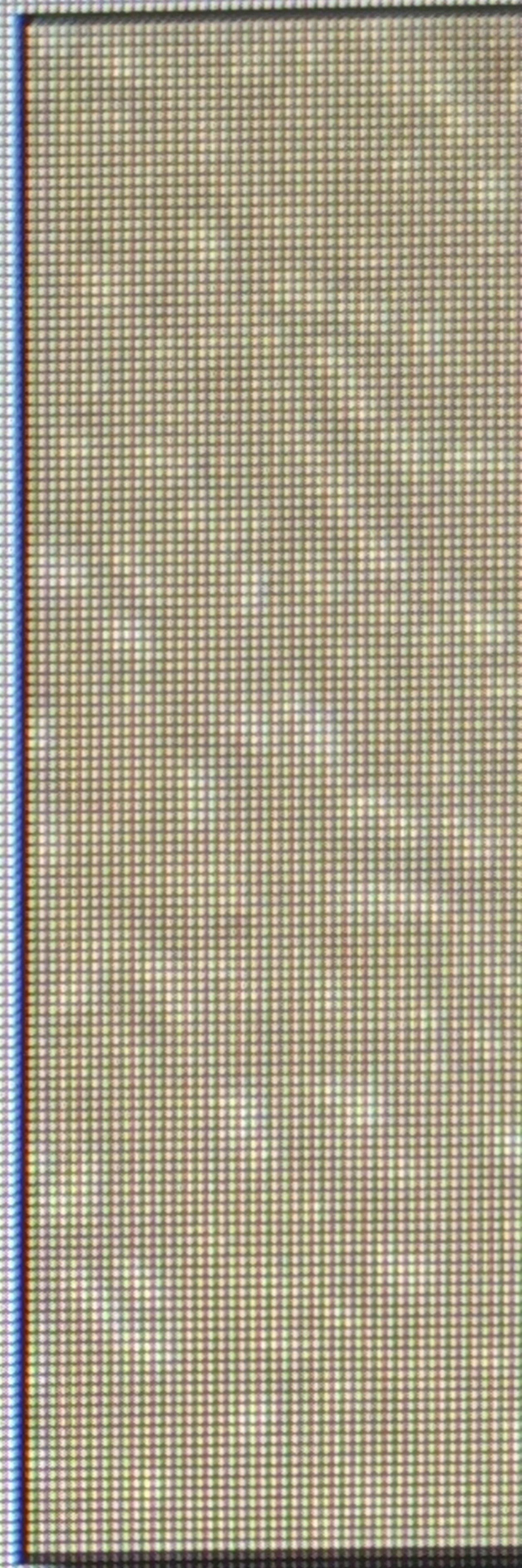




02D



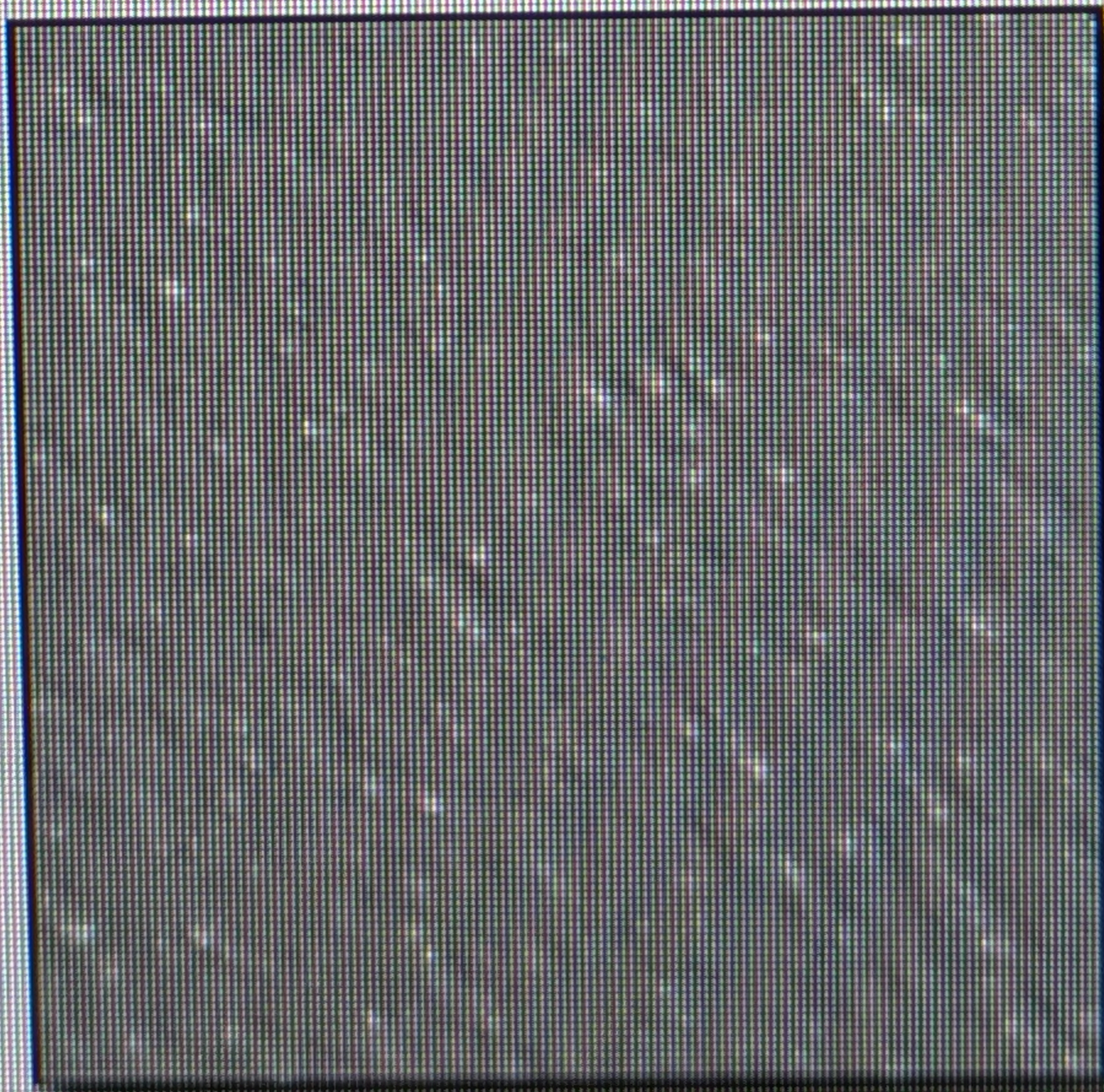
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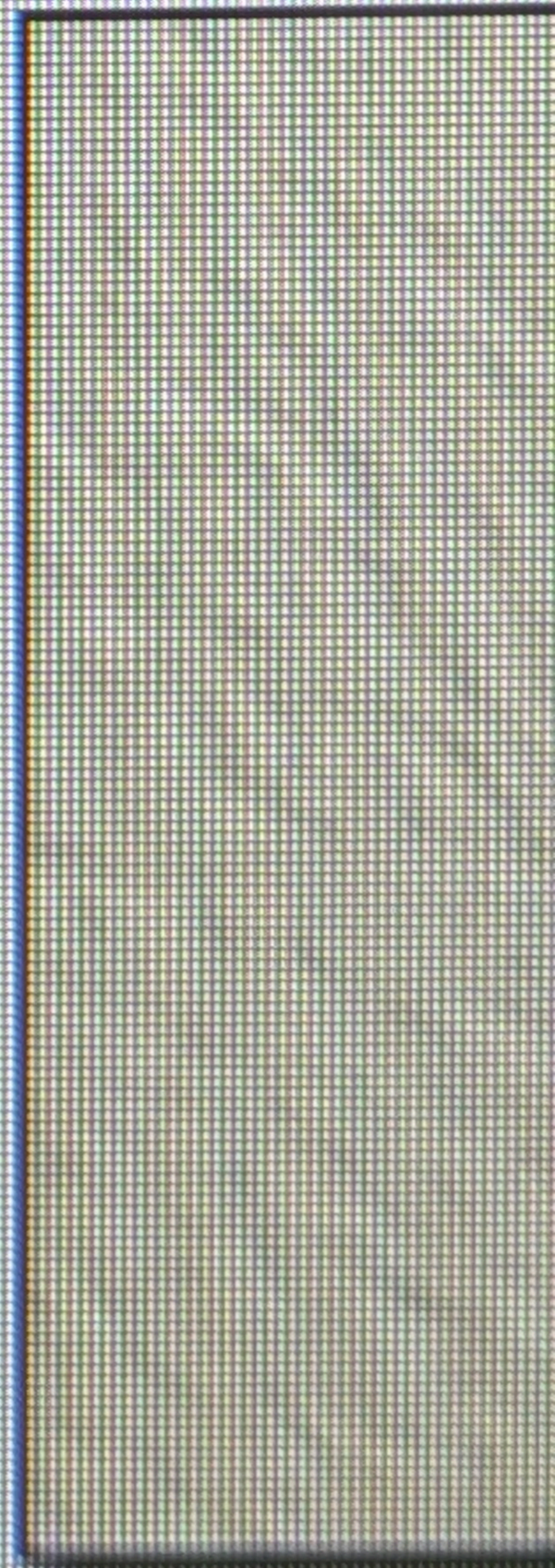
Beige #F



13



Charcoal #A4A9AB



Cream #