

AGENCY	PERMIT #	SUBMITTED	STATUS

DATE	REVISIONS	BY

REVIEWED

For Code Compliance
City of Ocala Growth Management

PD25-0003
Kinward at Heathbrook
6/2/2026

THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH ALL CODES WHICH THE CITY OF OCALA ENFORCES. IF THERE ARE ANY ERRORS OR OMISSIONS MADE BY THE PERSON(S) REVIEWING THE PLANS, THIS DOES NOT PRECLUDE THE ENFORCEMENT OF THESE CODES AND NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL THE SAID CODE VIOLATION(S) ARE CORRECTED.

PLANNED DEVELOPMENT (PD) PLANS FOR KINWARD AT HEATHBROOK

LEGAL DESCRIPTION

COMMENCE AT THE SOUTHEAST CORNER OF THE SOUTHEAST 1/4 OF SECTION 4, TOWNSHIP 16 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA; THENCE NORTH 00° 37' 42" EAST 40.19 FEET TO THE NORTH RIGHT OF WAY LINE OF SOUTHWEST 66TH STREET (A MAINTENANCE RIGHT OF WAY); THENCE ALONG SAID NORTH RIGHT OF WAY SOUTH 89° 25' 18" WEST, 1544.34 FEET TO THE POINT OF BEGINNING; SAID POINT ALSO BEING THE SOUTHWEST CORNER OF 'HEATH BROOK HILLS' SUBDIVISION AS RECORDED IN PLAT BOOK 7, PAGES 120 AND 121, OF PUBLIC RECORDS OF MARION COUNTY, FLORIDA; THENCE CONTINUE ALONG SAID NORTH RIGHT OF WAY SOUTH 89° 25' 18" WEST, 436.94 FEET; THENCE NORTH 00° 31' 20" EAST, 499.53 FEET; THENCE NORTH 89° 43' 12" WEST, 219.96 FEET; THENCE SOUTH 00° 32' 25" WEST, 499.87 FEET TO THE AFOREMENTIONED NORTH RIGHT OF WAY OF WILLIAMS ROAD (SW 66TH STREET); THENCE ALONG SAID RIGHT OF WAY, NORTH 89° 44' 43" WEST, 1103.74 FEET; THENCE DEPARTING SAID NORTH RIGHT OF WAY, NORTH 00° 29' 25" EAST, 694.35 FEET TO THE SOUTHEASTERLY RIGHT OF WAY OF STATE ROAD 200; SAID POINT BEING ON A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 23002.31 FEET, A CENTRAL ANGLE OF 00° 49' 55" AND A CHORD BEARING AND DISTANCE OF NORTH 40° 24' 29" EAST, 333.97 FEET; THENCE NORTHEASTERLY ALONG SAID CURVE 333.98 FEET; THENCE ALONG SAID RIGHT OF WAY SOUTH 49° 42' 28" EAST, 16.16 FEET TO A POINT ON A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 22818.31 FEET, A CENTRAL ANGLE OF 00° 14' 59" AND A CHORD BEARING AND DISTANCE OF NORTH 40° 25' 02" EAST, AT 99.50 FEET; THENCE NORTHEASTERLY ALONG SAID CURVE AND SAID RIGHT OF WAY, 99.50 FEET; THENCE CONTINUE ALONG SAID RIGHT OF WAY NORTH 49° 27' 28" WEST, 17.00 FEET TO A POINT ON A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 22835.31, A CENTRAL ANGLE OF 00° 19' 14" AND A CHORD BEARING AND DISTANCE OF NORTH 40° 42' 09" EAST, AT 127.74 FEET; THENCE NORTHEASTERLY ALONG SAID CURVE AND RIGHT OF WAY OF STATE ROAD 200, 127.74 FEET; THENCE DEPARTING SAID RIGHT OF WAY OF STATE ROAD 200, SOUTH 48° 11' 23" EAST 652.19 FEET; THENCE NORTH 41° 48' 37" EAST 412.06 FEET TO THE SOUTHERLY RIGHT OF WAY OF TARTAN ROAD, SAID POINT BEING ON A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 730.00 FEET; A CENTRAL ANGLE OF 42° 22' 44" AND A CHORD BEARING AND DISTANCE OF SOUTH 68° 22' 46" EAST, AT 527.72 FEET; THENCE SOUTHEASTERLY ALONG SAID CURVE AND RIGHT OF WAY OF TARTAN ROAD, 539.94 FEET TO A CORNER OF 'HEATHBROOK SOUTH B-2' SUBDIVISION AS RECORDED IN PLAT BOOK 7, PAGES 116 THROUGH 119 OF PUBLIC RECORDS OF MARION COUNTY, FLORIDA; SAID POINT ALSO BEING THE NORTHWESTERLY CORNER OF THE AFOREMENTIONED 'HEATH BROOK HILLS' SUBDIVISION AND ON A CURVE CONCAVE EASTERLY HAVING A RADIUS OF 1080.00 FEET, A CENTRAL ANGLE OF 05° 44' 39" AND A CHORD BEARING AND DISTANCE OF SOUTH 14° 53' 05" EAST, AT 108.23 FEET; THENCE SOUTHERLY ALONG SAID CURVE AND WEST BOUNDARY LINE OF SAID 'HEATH BROOK HILLS' SUBDIVISION, 108.28 FEET TO THE POINT OF TANGENCY; THENCE SOUTH 17° 45' 25" EAST, 356.11 FEET; THENCE SOUTH 00° 00' 12" WEST, 365.81 FEET TO THE POINT OF BEGINNING.



SECTION 4; TOWNSHIP 16 SOUTH; RANGE 21 EAST
MARION COUNTY, FLORIDA

Sheet List Table

Sheet Number	Sheet Title
PD00	COVER SHEET
PD01	SITE PLAN
PD02	OPEN SPACE PLAN

SITE DATA

- | | | |
|-----|---|---|
| 1. | PARCEL ID NUMBER: | 2389-100-009 |
| 2. | ZONING: | PLANNED DEVELOPMENT (PD) |
| 3. | FUTURE LAND USE: | LOW INTENSITY (LI) |
| 4. | EXISTING FLOOD ZONE: | ZONES X, A, AND AE
PANEL #12083C0702E
EFFECTIVE DATE APRIL 19, 2017 |
| 5. | BUILDING TYPE: | RESIDENTIAL |
| 6. | BUILDING USE: | SINGLE-FAMILY ATTACHED |
| 7. | PHASE I: | 17 BUILDINGS (92 UNITS) |
| 8. | PHASE II: | 9 BUILDINGS (54 UNITS) |
| 9. | TOTAL PROPOSED UNITS: | 146 |
| 10. | PROPOSED DENSITY: | 4.53 UNITS / AC (146 UNITS / 32.22 AC) |
| 11. | REQUIRED PARKING
(1 SPACES PER UNIT) | 146 SPACES (1 * 146 UNITS) |
| | PROVIDED GARAGE PARKING | 146 SPACES |
| | PROVIDED DRIVEWAY PARKING | 146 SPACES |
| | PROVIDED AMENITY CENTER PARKING | 11 SPACES |
| | PROVIDED OFFSTREET PARKING | 62 SPACES |
| | TOTAL PARKING
(INCLUDES 4 HANDICAP SPACES) | 365 SPACES |
| 12. | TRAFFIC CALCULATIONS:
HEATH BROOK DRI TRIP ASSIGNMENT - 6/20/18 | |
| | (PER EXHIBIT C OF THE DRI DO) | 0.62 NET TRIPS |
| | DISCOUNT PER APPROVED DRI TRAFFIC STUDY | 22% |
| | TOTAL NET TRIPS (146 UNITS * 0.4836) | 71 NET TRIPS |
| | TRAFFIC STATEMENT: THE PROJECT GENERATES LESS THAN
100 NET NEW PEAK HOUR TRIPS | |

OWNER
KEYS AT OCALA II, LLC
6654 78TH AVENUE N
PINELLAS PARK, FL 33781

DEVELOPER
EISENHOWER PROPERTY GROUP, LLC
111 S ARMENIA AVE
TAMPA, FL 33609

ENGINEER
CLYMER FARNER BARLEY, INC.
2100 SE 17TH STREET, STE 202
OCALA, FL 34471
BEAU CLYMER, PE
FL LIC. NO. 99053
(352) 913-2360

SURVEYOR
CLYMER FARNER BARLEY SURVEYING, LLC
2100 SE 17TH STREET, STE 202
OCALA, FL 34471
GARY L. MILAM, PSM
FL LIC. NO. 5058
(352) 913-2360

**CFB**

**CLYMER
FARNER
BARLEY**

CLYMER FARNER BARLEY, Inc.
4450 NE 83RD RD, MIDDLETON, FL 34762
(352) 748-3126



For Code Compliance
City of Ocala Growth Management
PD25-0003
Kinward at Heathbrook
6/2/2026

1500

103



CFB
CLYMER
FARNER
BARTLEY

SITE PLAN

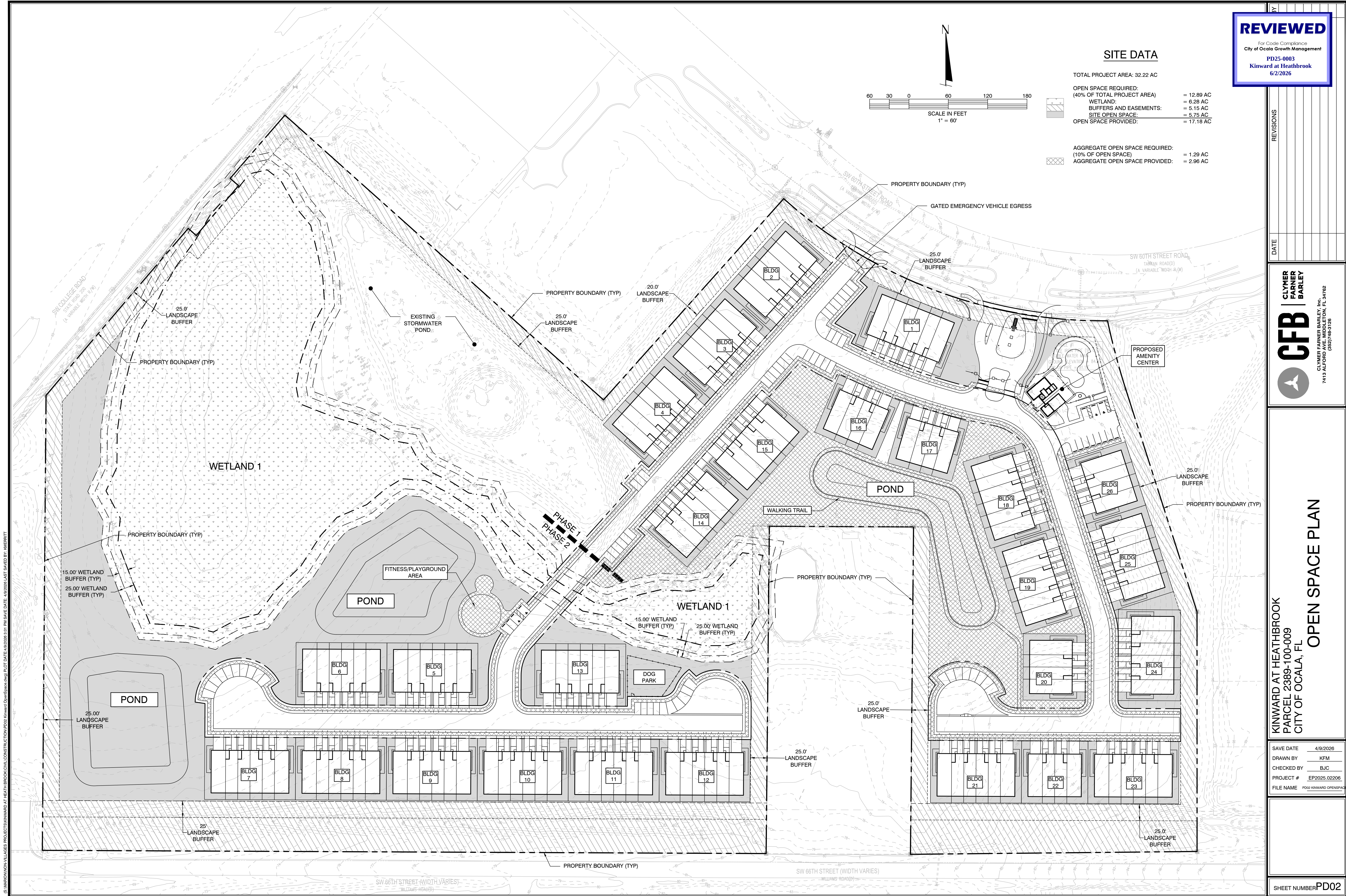
KINWARD AT HEATHBROOK
PARCEL 2389-100-009
CITY OF OCAIA FL

SAVE DATE	4/9/2026
DRAWN BY	KFM
CHECKED BY	BJC
PROJECT #	EP2025.02206
FILE NAME	PD01 KINWARD SITEPLAN

SHEET NUMBER PD01

S:\MARION\ONLY\IMAGES PROJECTS\KINWARD AT HEATH BOOK\CIVIL\CONSTRUCTION\RD01 Kinward SitePlan.dwg) PLOT DATE: 4/9/2026 3:56 PM SAVE DATE: 4/9/2026 | AST SAVED BY: KMEERRITT

IS: MARION VILLAGES PROJECTS\KINWARD AT HEATH BROOK\CIVIL\CONSTRUCTION\PD02 Kinward OpenSpace.dwg PLOT DATE: 4/9/2026 3:01 PM SAVE DATE: 4/9/2026 LAST SAVED BY: KMERITT



SITE DATA

TOTAL PROJECT AREA: 32.22 AC

OPEN SPACE REQUIRED:
(40% OF TOTAL PROJECT AREA) = 12.89 AC

WETLAND: = 6.28 AC

BUFFERS AND EASEMENTS: = 5.15 AC

SITE OPEN SPACE: = 5.75 AC

OPEN SPACE PROVIDED: = 17.18 AC

AGGREGATE OPEN SPACE REQUIRED:
(10% OF OPEN SPACE) = 1.29 AC

AGGREGATE OPEN SPACE PROVIDED: = 2.96 AC

REVISIONS

DATE

CFB CLYMER FARNER BARLEY

CLYMER FARNER BARLEY, INC.
7413 ALFORD AVE. MIDDLETON, FL 34762
(882)748-3126

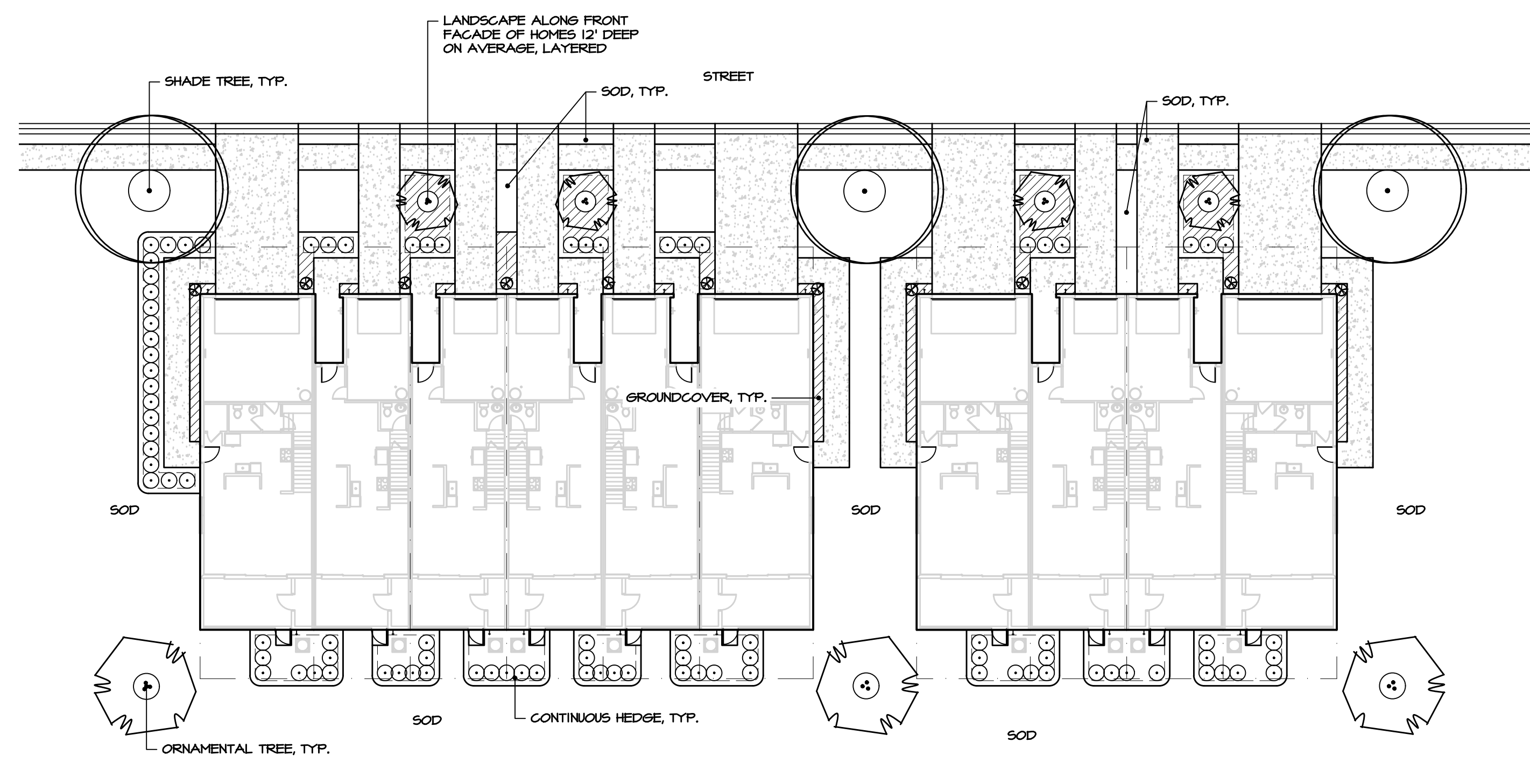
KINWARD AT HEATHBROOK
PARCEL 2389-100-009
CITY OF OCALA, FL

OPEN SPACE PLAN

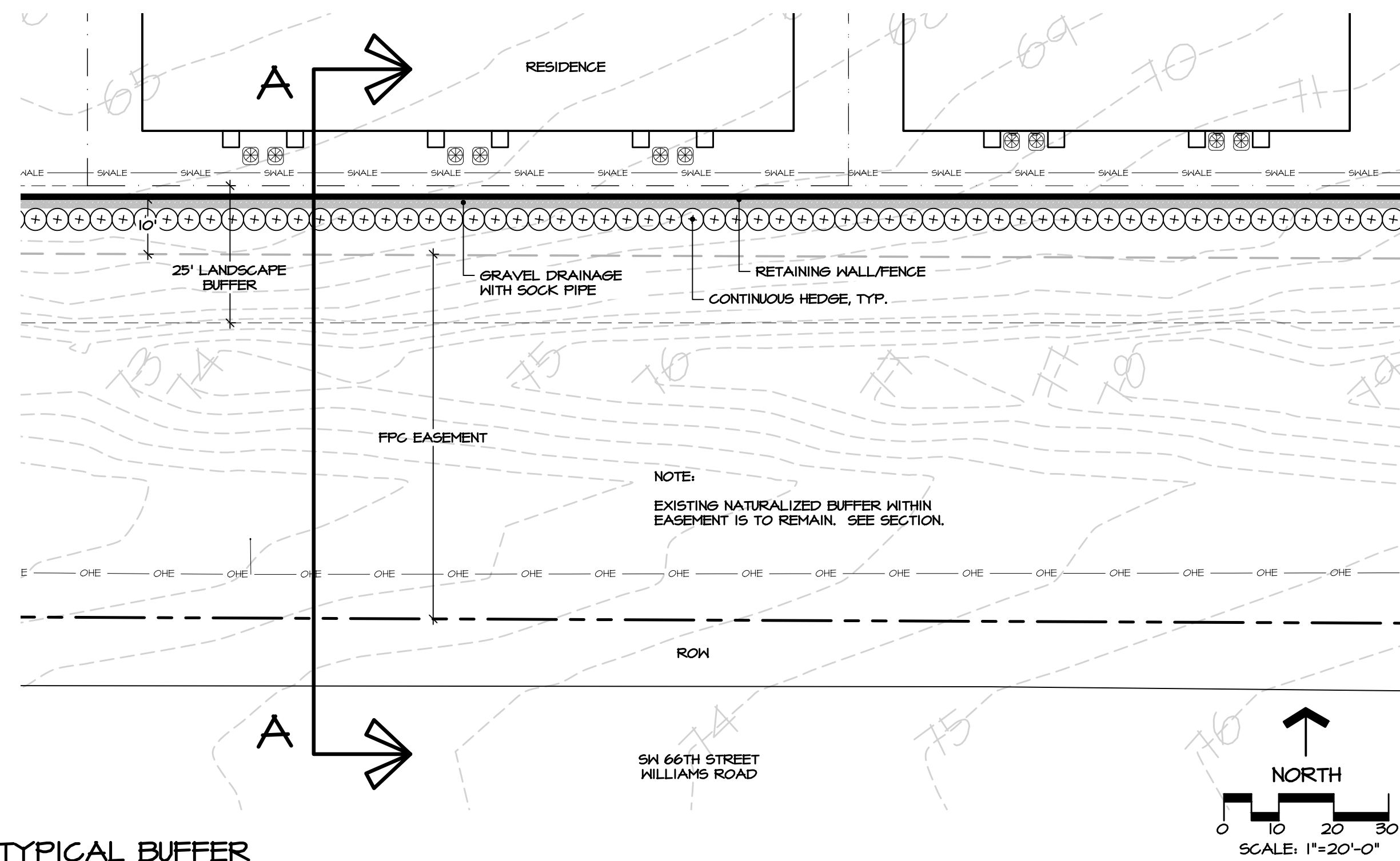
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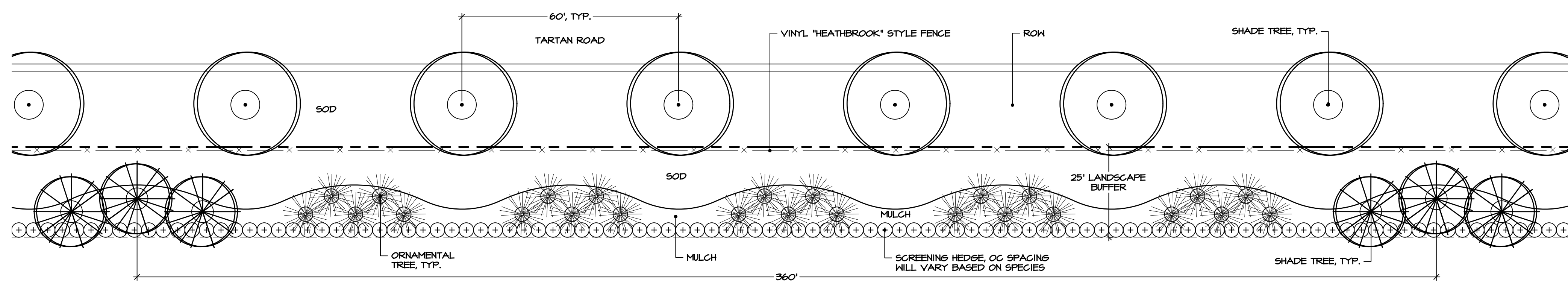
SCALE: 1"=60'



UNIT TYPICAL LANDSCAPE FOR 4 AND 6 UNIT BUILDINGS
SCALE: 1" = 20'



TYPE I TYPICAL BUFFER



TYPE 2 TYPICAL BUFFER (FRONTAGE TARTAN ROAD)
SCALE: 1" = 20'

PROPOSED LANDSCAPE MATERIALS SCHEDULE

(SAMPLE LIST OF MATERIALS THAT MAY BE USED FOR THIS PROJECT)

ALL REQUIRED SHADE TREES SHALL BE 3.5" CAL MIN.
ALL REQUIRED ORNAMENTAL TREES SHALL BE 30 GALLON MIN, 6-8' IN HEIGHT.
ALL REQUIRED SHRUB MATERIAL SHALL BE 3 GALLON MIN.

Shrubs/Groundcover/Accent Plants

African Iris, white
Annuals, seasonal
Arabesque Miscanthus
Bamboo
Blueberry Flax Lily
Confederate Jasmine
Ceanothus
Cordgrass
Crimson Lily, red
Curly Leaf Ligustrum
Desert Candle
Dwarf Bamboo
Dwarf Burford Holly
Dwarf Confederate Jasmine
Dwarf Mexican Petunia, purple
Dwarf Nandina
Dwarf Nalters Viburnum
Dwarf Yaupon Holly
Emerald Goddess Linole
Evergreen Paspalum
Golden Dewdrop
Green Fountain Grass
Indian Hawthorn, white
Japanese Yew
Ligustrum
Lily-of-the-Nile
Mixed Annuals & Perennials
Muhly Grass
Pampas Grass
Parson's Juniper
Plumbago
Santanderia Viburnum
Saw Palmetto
Society Garlic
Sweet Viburnum
Trailing Lantana, purple

Ornamental Trees

Bottlebrush
Crape Myrtle
Holly, various
Japanese Blueberry
Ligustrum Tree
Little Gem Magnolia
Pindo Palm
Sabal Palm

Shade Trees

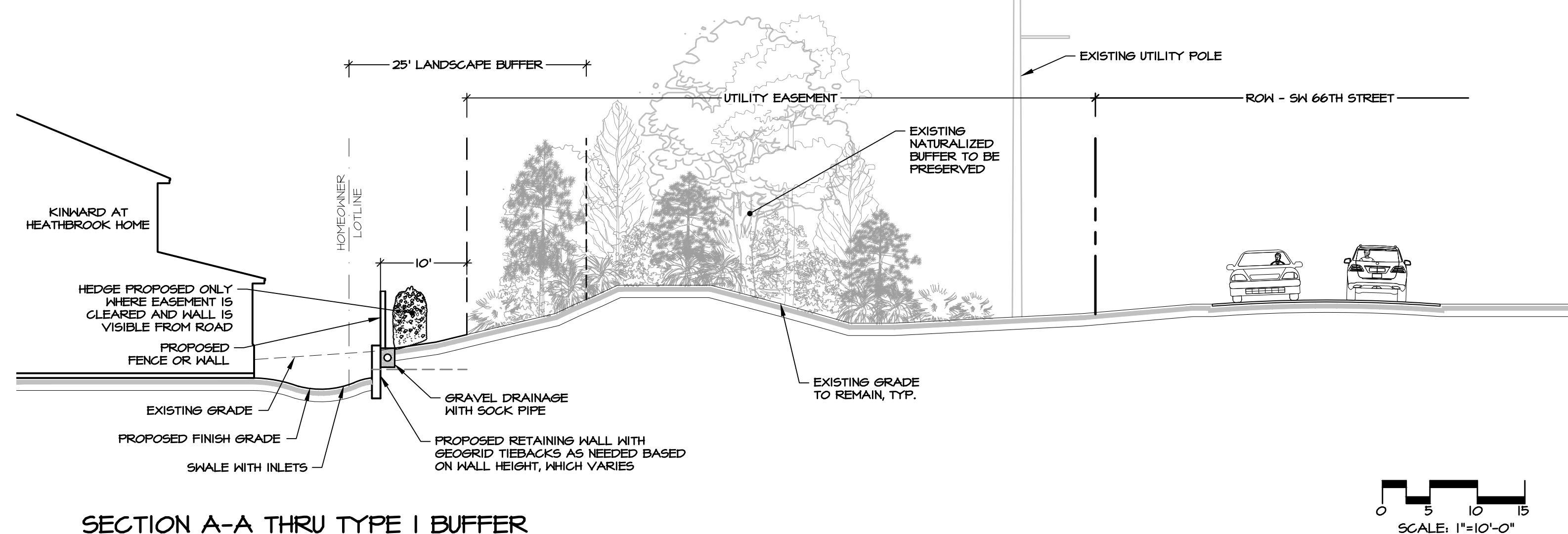
Bald Cypress
Live Oak
Pine, various species
Red Maple
Shumard Oak
Southern Magnolia

Sod

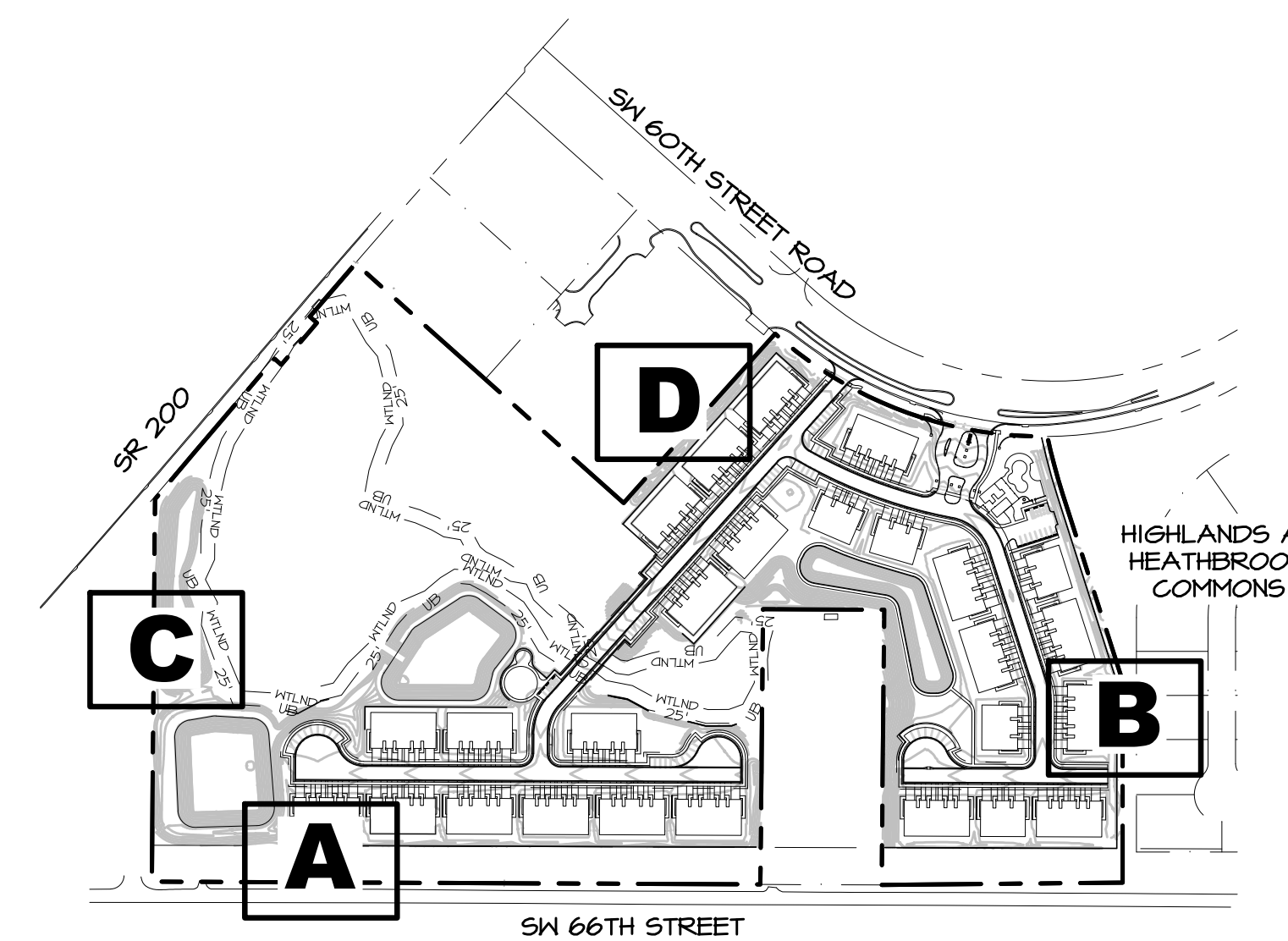
SOD = Irrigated St Augustine
SODI = Unirrigated Bahia

NOTES:

1. A FENCE OR WALL AT LEAST SIX (6) FEET IN HEIGHT WILL BE CONSTRUCTED ALONG PORTIONS OF THE BUFFER.
2. BERMS WILL BE PROVIDED WHERE REQUIRED AND IF COMPATIBLE WITH SITE GRADING



SECTION A-A THRU TYPE I BUFFER



LOCATION MAP, NOT TO SCALE

REVIEWED

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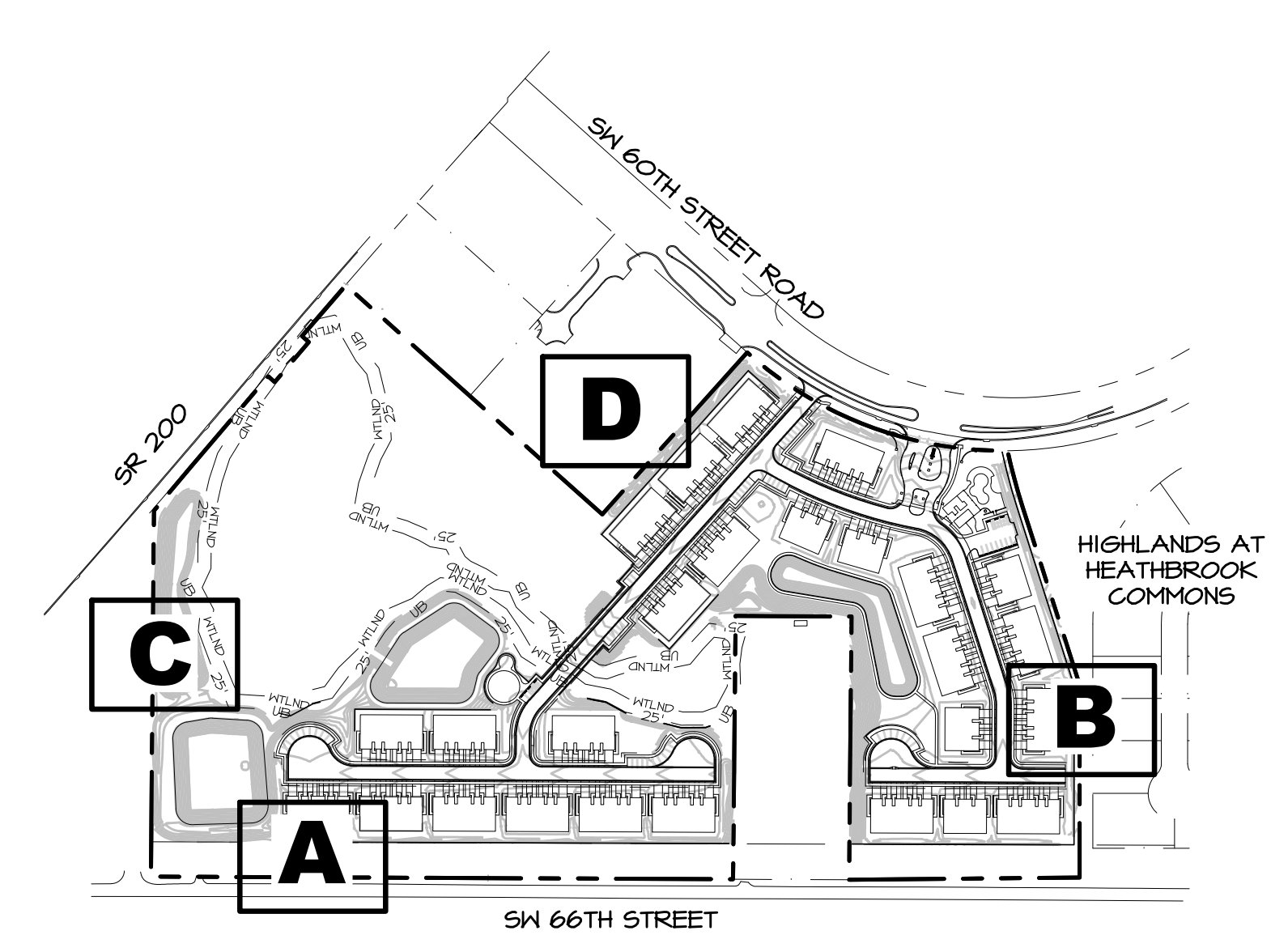
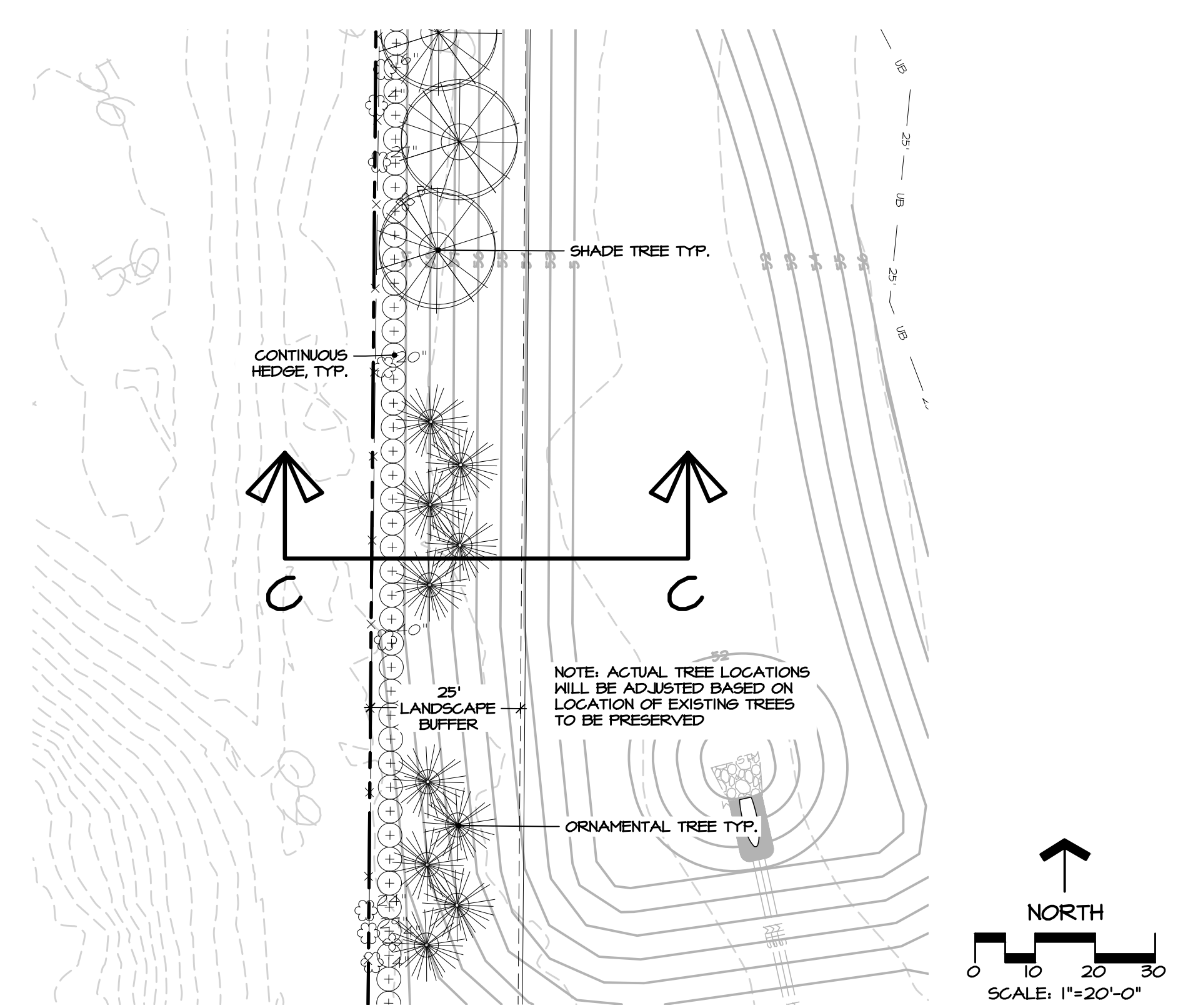
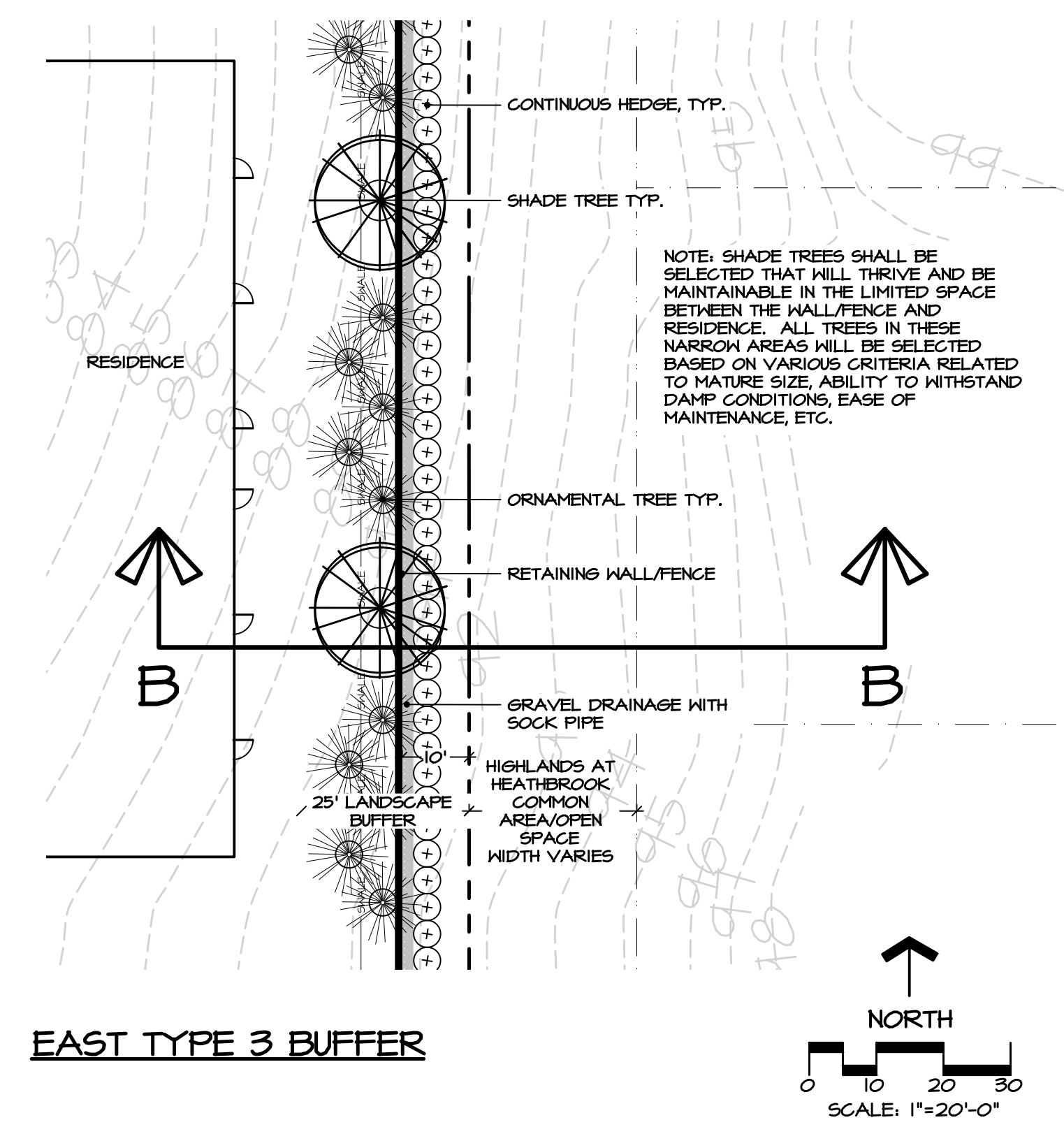
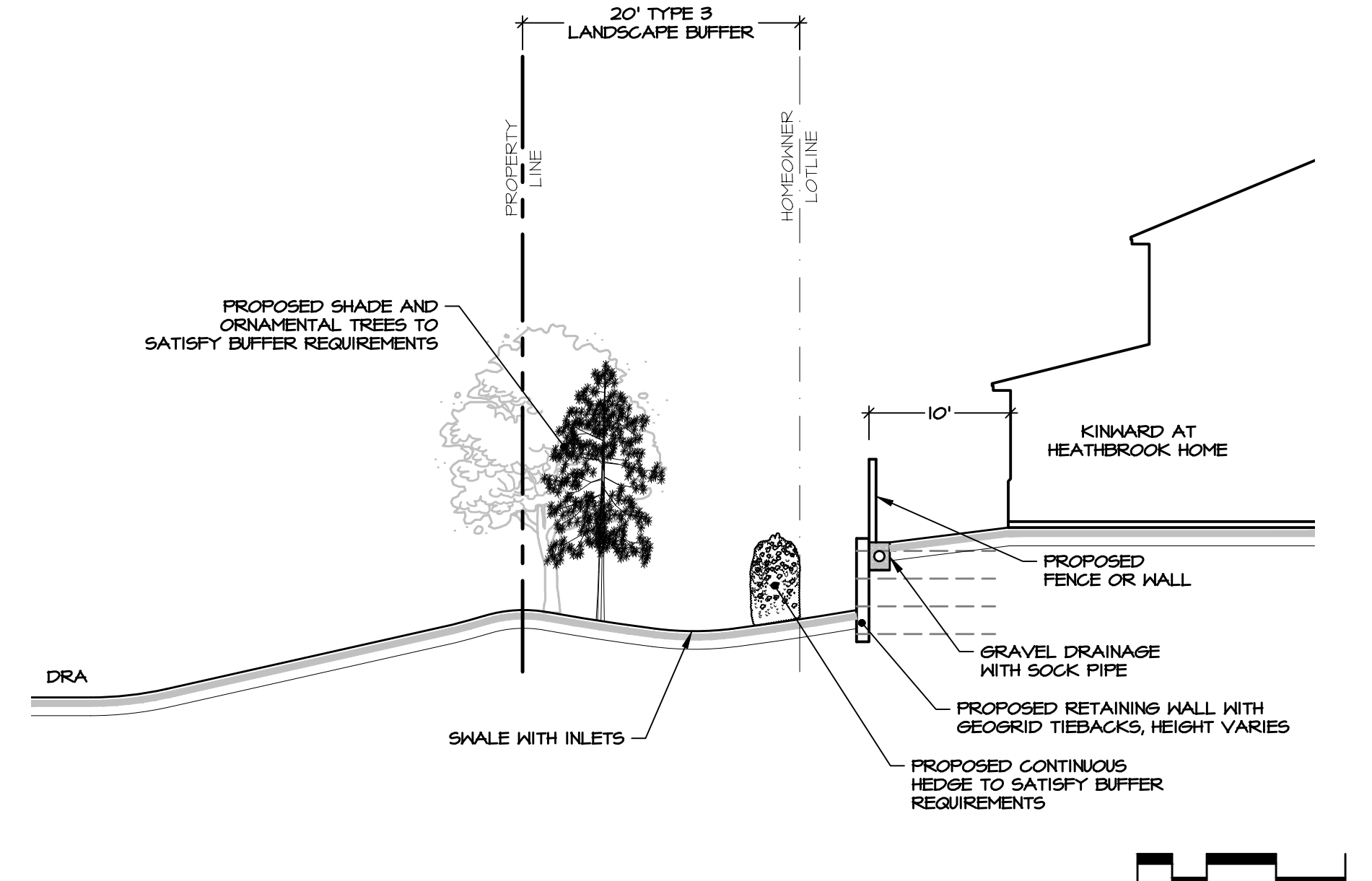
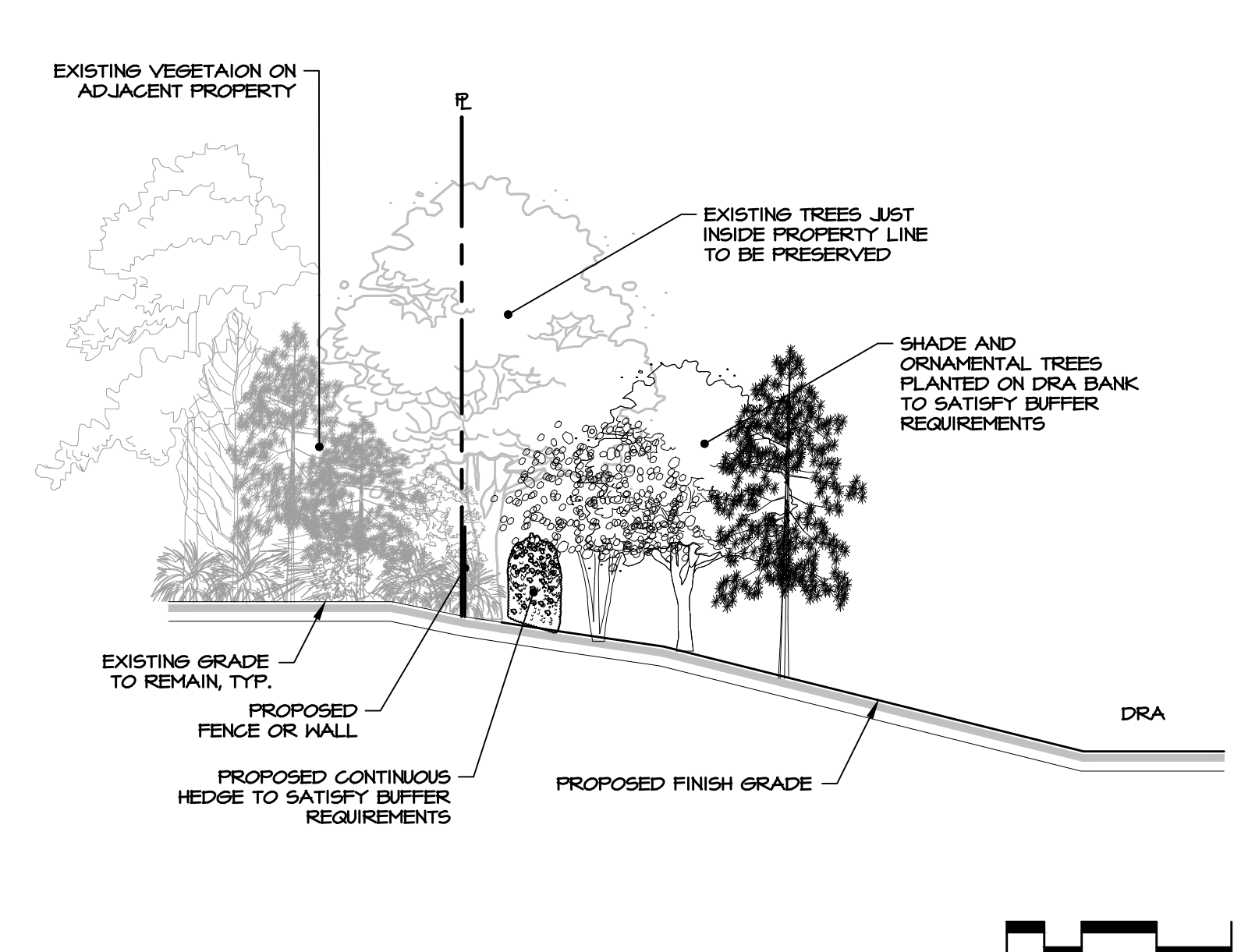
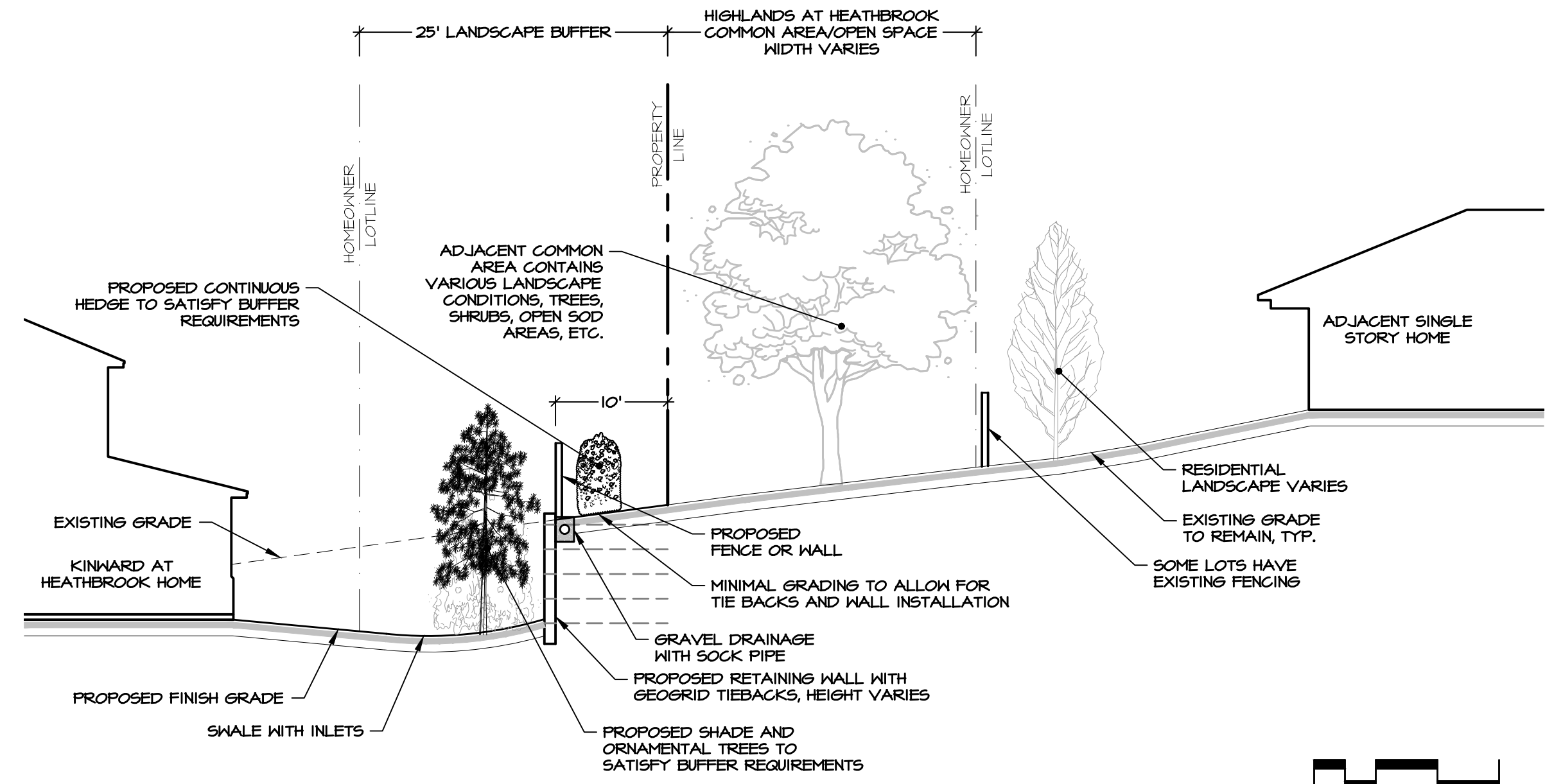
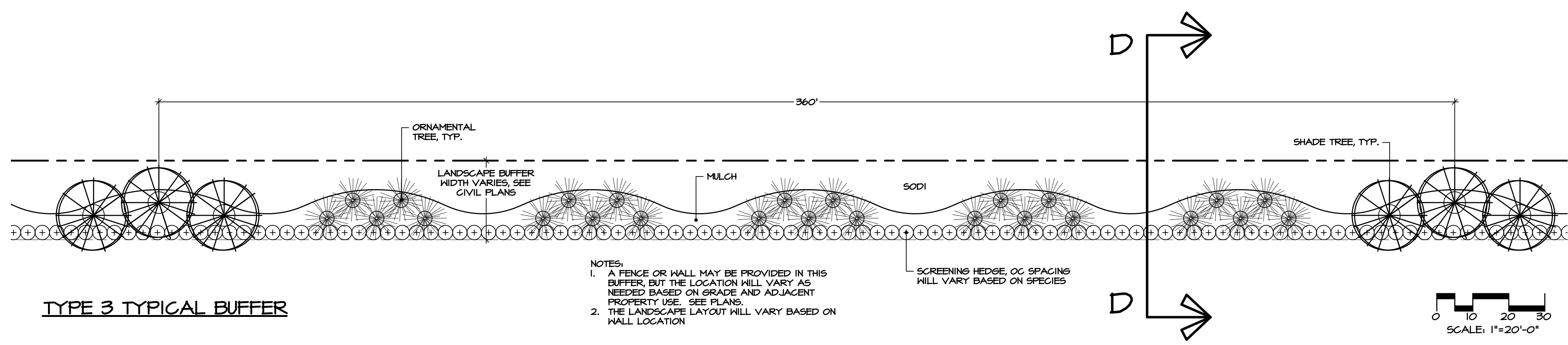
MPA Michael Pape & Associates, PA
LAND PLANNING • SITE DESIGN • LANDSCAPE ARCHITECTURE
2351 SE 17th Street, Ocala, FL • 352.351.3500 • www.MPA-PA.com

KINWARD AT HEATHBROOK
OCALA, FLORIDA
UNIT TYPICAL LANDSCAPE AND
LANDSCAPE BUFFER PLAN

DATE 4/13/26
OWN BY ABT
CHKD BY SMS

SHEET 5 OF 7

NOT FOR CONSTRUCTION

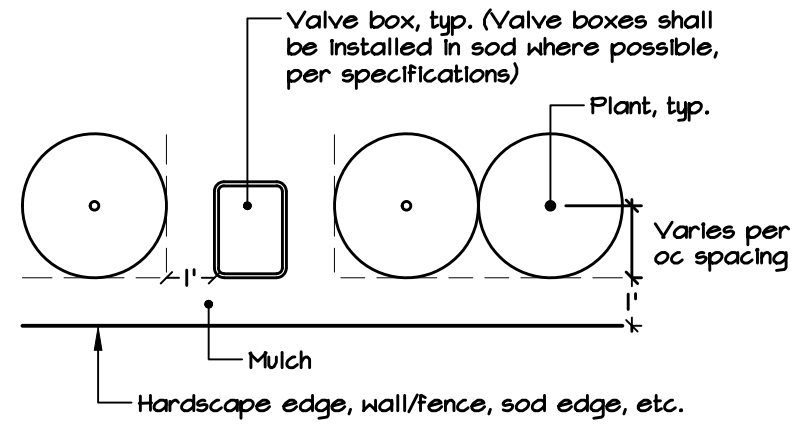


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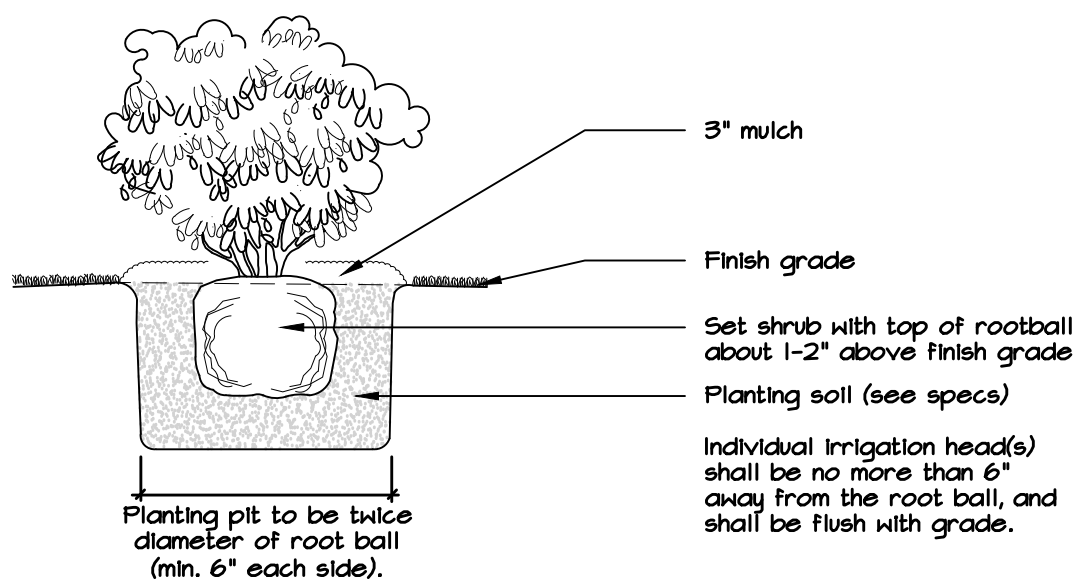
KINWARD AT HEATHBROOK
OCALA, FLORIDA
UNIT TYPICAL LANDSCAPE AND
LANDSCAPE BUFFER PLAN

DATE 4/13/26
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SHEET 6 OF 1

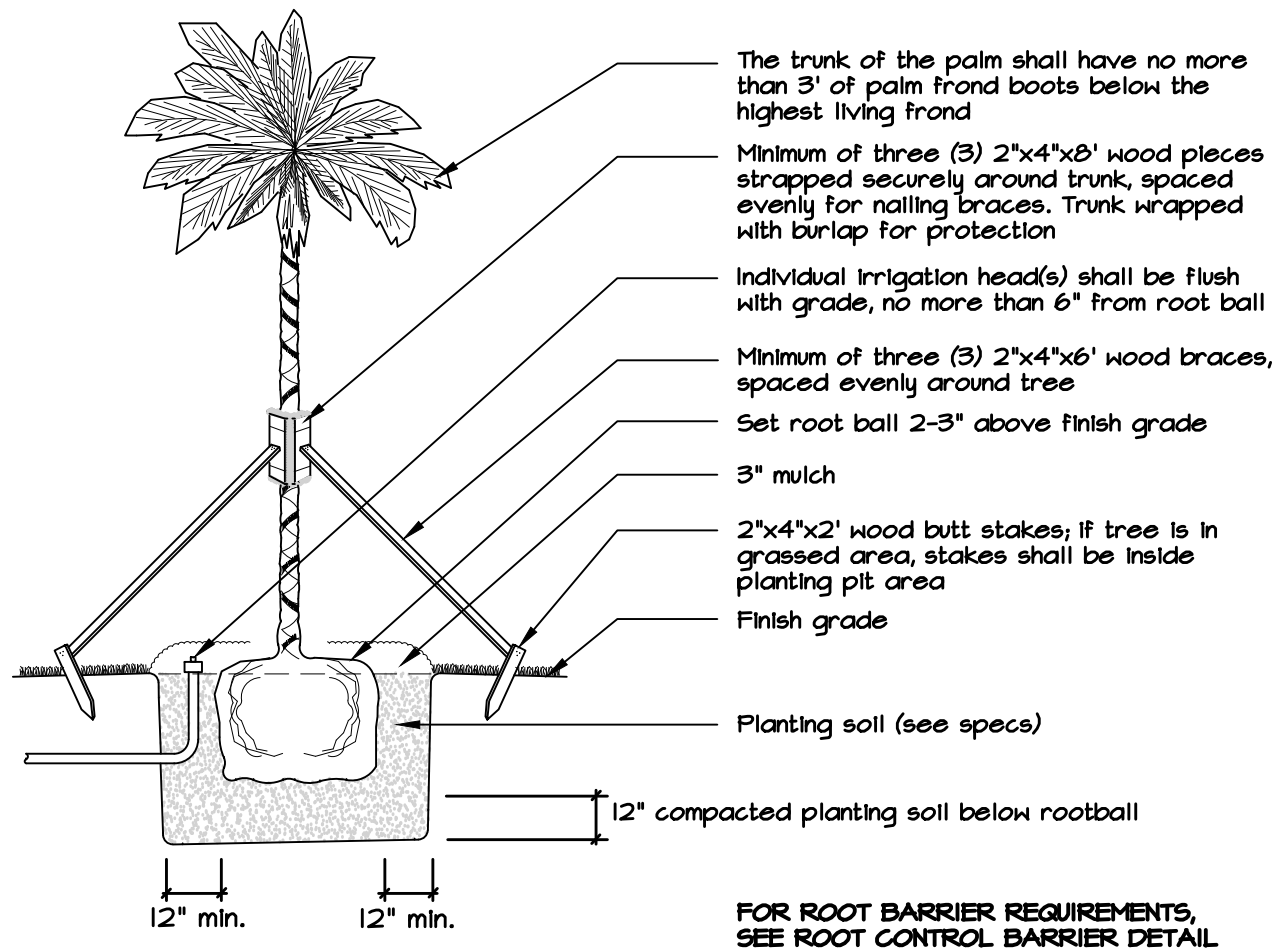


As shown on plan, all shrubs and groundcovers adjacent to curb/pavement, rec. trail, wall/fence, building foundation, valve box/utility vault, sod, etc., shall be installed with the plant center spaced an additional 1" from the edge, unless otherwise noted

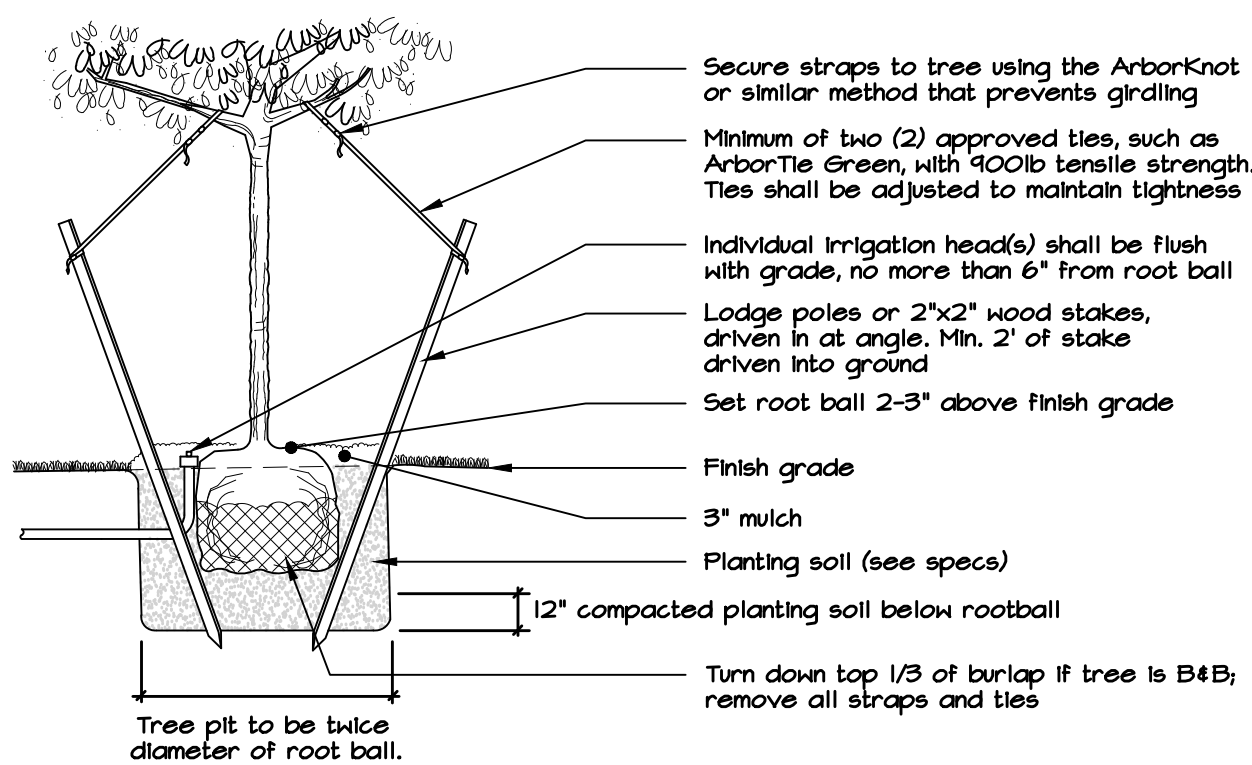
OFFSET DETAIL N.T.S.



SHRUB INSTALLATION DETAIL

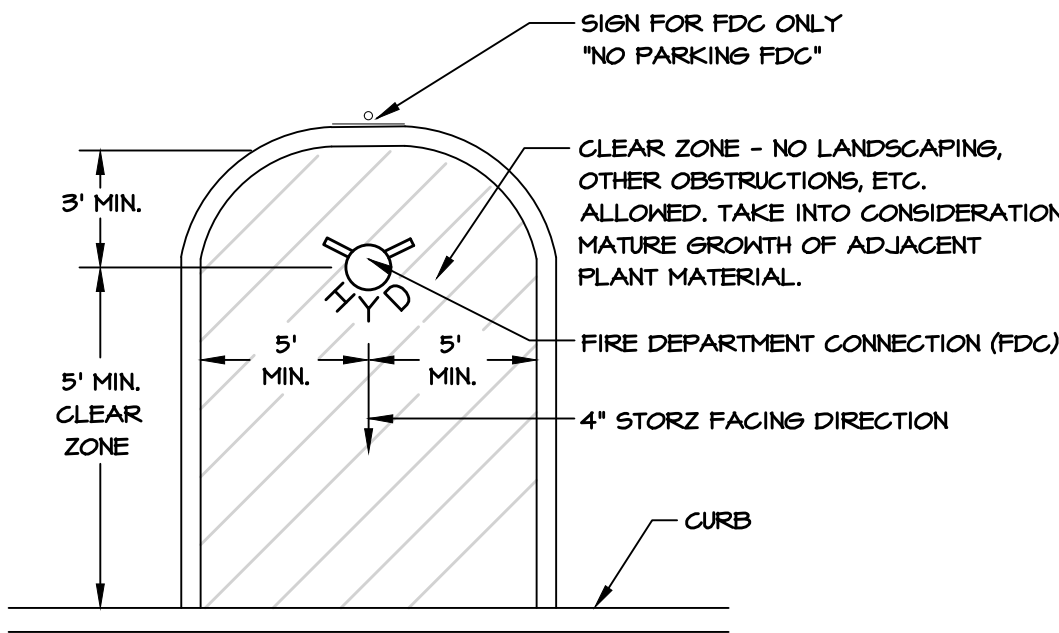


PALM INSTALLATION DETAIL

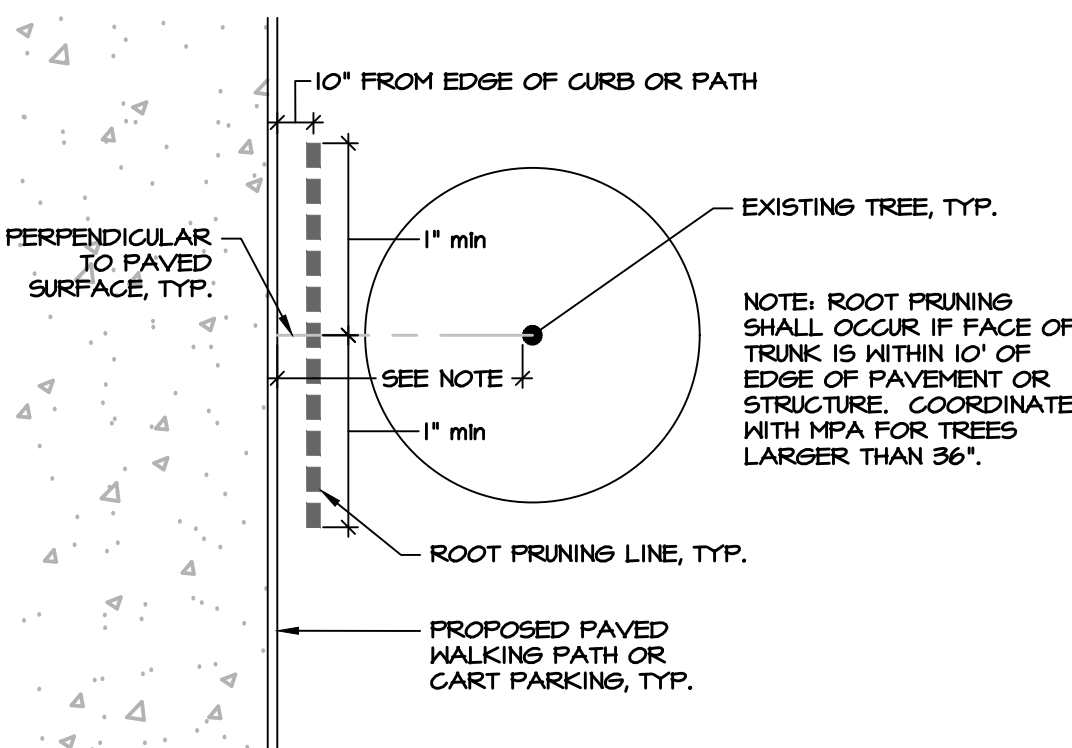


TREE INSTALLATION DETAIL

FOR MULTI-TRUNK TREES, TREES LESS THAN 3" CAL., OR CONTAINER TREES UP TO 30 GAL.



FIRE HYDRANT / REMOTE FIRE DEPARTMENT CONNECTION (FDC) CLEAR ZONE DETAIL N.T.S.



TYPICAL ROOT PRUNING PLAN SCALE: 1" = 10'

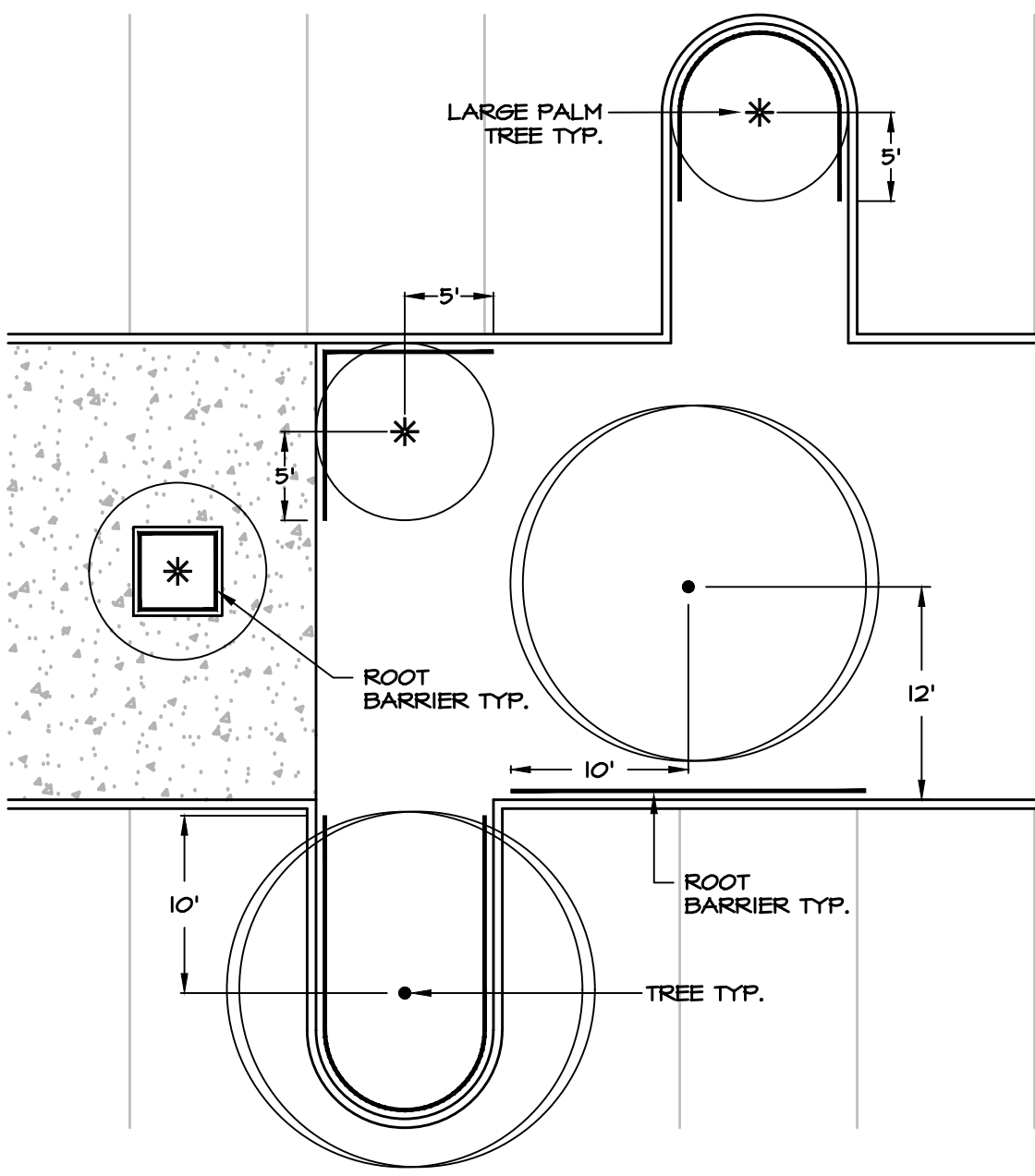
NOTES:

TREE SPECIES WITH LARGE SURFACE ROOT SYSTEMS SHALL BE PROVIDED WITH ROOT CONTROL BARRIER BASED ON THE FOLLOWING STANDARDS: TREES WITHIN 12' OF THE EDGE OF PAVEMENT OR LARGE PALMS WITHIN 5' OF THE EDGE OF PAVEMENT.

TREES INCLUDE, BUT ARE NOT LIMITED TO: LIVE OAK, MAGNOLIA, SYCAMORE, RED MAPLE

LARGE PALMS INCLUDE, BUT ARE NOT LIMITED TO: SABAL PALM, LARGE DATE PALM SPECIES, PINO PALM, WASHINGTON PALM

THE ROOT CONTROL BARRIERS SHALL UTILIZE 24" DEPTH ABS (HARD PLASTIC) INTERLOCKING PANELS, AS BY NDS PRODUCTS, DEEP ROOT, ROOT CONTROL, INC., OR OTHER APPROVED EQUAL PRODUCT. APPROVAL FOR PROPOSED EQUAL PRODUCTS SHALL BE SECURED FROM MPA PRIOR TO BIDDING.

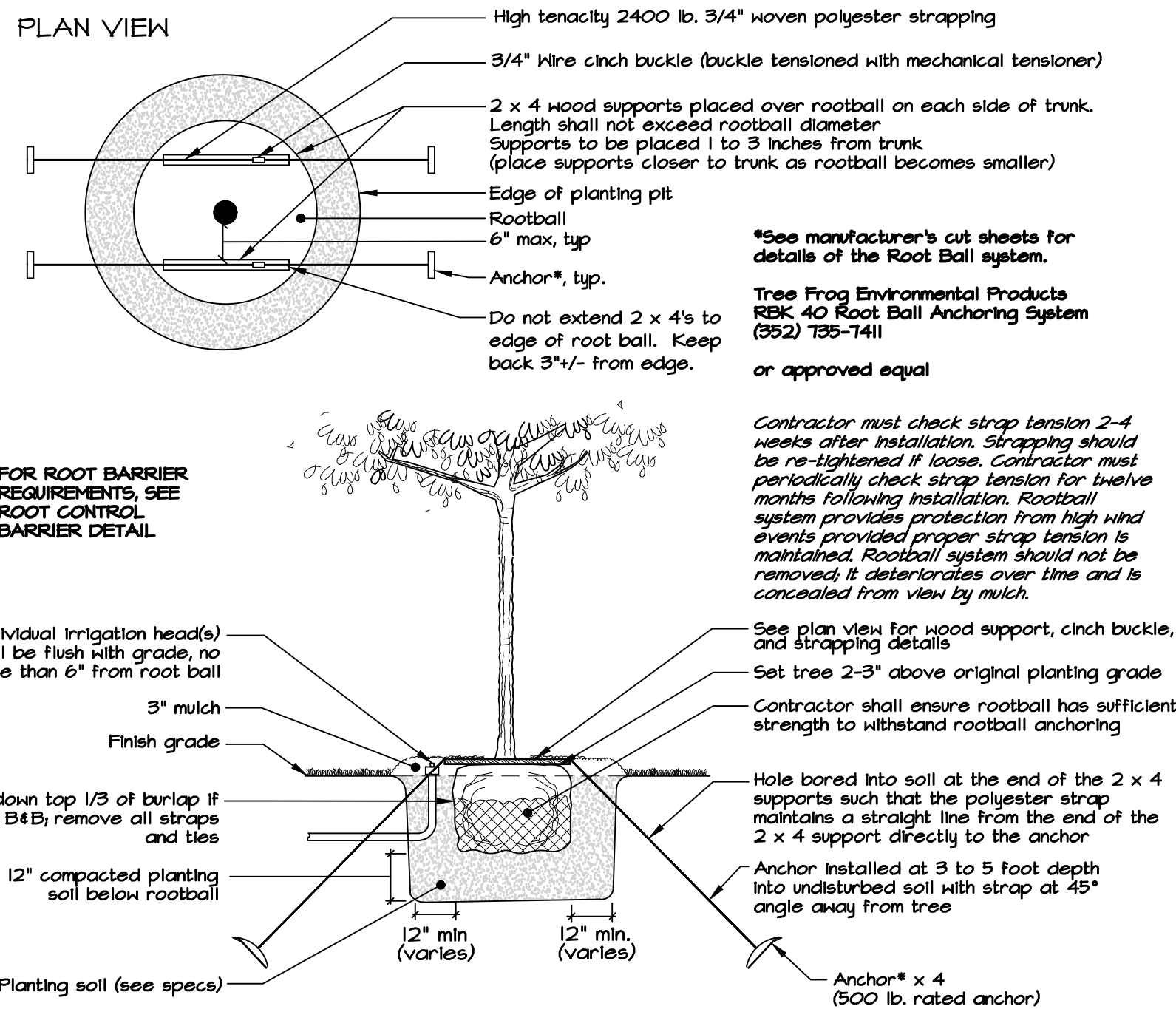


ROOT CONTROL BARRIER DETAIL 1" = 10'

IRRIGATION SPECIFICATIONS

All landscaped and sodded areas are to be fully irrigated with an automatic irrigation system, excluding those areas deemed natural or low-intensity landscapes. To ensure minimum installation standards, the following standards are to be observed:

- Michael Pape & Associates, P.A. is responsible for ensuring that the work meets all requirements stipulated and implied in the Plans and Specifications. Any work that does not is subject to rejection, and replacement by the contractor at his own cost.
- The Contractor shall be responsible for providing all labor, material, and accessories required for a complete and properly operating irrigation system that provides 100% coverage under normal wind conditions.
- All irrigation systems shall be designed with maximum attention to water conservation techniques. These shall include, but are not limited to: separation of zones for turf, beds, and annuals; use of pressure regulating heads and valves; triangular spacing of heads for efficient 100% coverage; use of drip and low volume heads; provision of rain sensors; and use of in-head check valves for low heads to prevent loss of water.
- All irrigation components shall be installed in accordance with the manufacturer's specifications.
- All work shall be installed in accordance with the regulations of the local, county, or other governing authorities. Fees for all permits, inspections, and impact fees required shall be included as work required.
- The water source shall be as shown on the plans. The system shall include all labor, equipment, materials, permits, fees, and taxes to provide a complete and properly operating system meeting the following performance requirements and provisions:
 - Include a backflow prevention device as necessary to meet local code provisions
 - Documentation and submittal of actual water supply performance prior to commencing installation.
 - Provide complete submittals for approval prior to commencing work
 - Warranty all work for 1 year minimum
- The system shall be fully automatic.
- All zone pipe shall be class 160 PVC or better. PVC mains shall be schedule 40 PVC. Spray and rotor heads shall not be combined on the same zones. All pop-up rotors shall be connected to the supply lines with swing joints or flex hose, as shall all spray heads located next to drives or roads. If All PVC fittings shall be Schedule 40, Type I, NSF approved conforming to the ASTM-D2466 requirements. Any pipe installed and subsequently removed shall not be reinstalled.
- All lines shall be visually inspected for leaks by conducting an operation test prior to backfilling of trenches.
- All pipe and control tubing routed under roads and paved areas shall be sleeved and placed in a minimum of 24 inches below grade and backfilled with clean sand. No rock shall come in contact with the PVC pipe.
- Irrigation piping shall be installed in trenches with a minimum of 12" of cover, except where existing conditions require less cover. The irrigation contractor shall exercise care in digging and work so as not to damage existing facilities; the irrigation contractor shall be responsible for any damage caused by his representatives or his work. Where trenching is required within the drip line of trees to be preserved, this work shall be routed under or around major roots by hand digging.
- Irrigation heads shall be set so that the final level of ground around the heads conforms to the surrounding grades, or as otherwise specified. Risers are considered unsightly and hazardous and shall be prohibited in any situation where 12" pop-ups, underdrains, or other coverage methods can be used. Where risers are used, they shall be schedule 40 PVC and all visible equipment shall be painted with flat brown or black enamel paint so as to blend with the surrounding material.
- The use of barbed insertion type fittings (couplings, tees, elbows, etc.) between the sprinkler and the PVC service is prohibited.
- Separate zones shall be provided covering annuals for independent operation.
- All remote control valves shall be installed in a rectangular Ametek-type valve box, amply sized for access. Valves shall be placed in unobstructive turf areas rather than in concrete. Refer to the Details for additional installation requirements. All box covers shall be clearly stenciled in white enamel with 1" letters as to their components (e.g., EV - gate valve; BV - ball valve, etc.) and zone designation (as applicable). The valves shall also be tagged with plastic tags with the zone designation either pre-printed or labeled with indelible ink.
- Control wires shall be UFAL direct burial, sized as necessary, with Spears DS-400 connectors. All wire colors shall be consistent for each line. Splices shall be minimized, and any splices shall be installed in 8" round valve boxes with 8" of gravel for drainage, and 2' min of coiled wire. Two spare controller wires shall be run in such a manner that both would be available for back up use at any valve, if necessary. Any control wires which cannot be installed with the mainline shall be run in conduit, 12" deep min.
- A #14/1 UF1 locator wire shall be installed in all mainline trenches. This wire shall be taped to the mainline at no more than 10' intervals, using fiber-reinforced strapping tape. This wire shall be installed from valve to valve, including gate valves, and looped generously within the valve box.
- Rain sensors shall be mounted in an obscure but unobstructed location.
- The irrigation system should be timed to operate during non-business hours, and in accordance with any applicable water management district restrictions.
- The irrigation contractor shall adjust all heads and automatic equipment upon completion of installation to provide optimum performance.
- After completion, testing, and adjustment of the system, the irrigation contractor shall instruct the parcel developer's maintenance personnel in the operation and maintenance of the system.
- Warranty: The Contractor shall warrant the installation workmanship for a period of one year from date of completion and acceptance of the job. The Contractor shall further see to the fulfillment of all manufacturer's warranties and shall provide manufacturer warranty and operational information to the Owner. Reproducible as-is, as shown on the original plan showing dimensioned locations of all system components, shall be required for final payment.



TREE INSTALLATION DETAIL

FOR 3-4" CAL., 45-100 GAL. TREES OR B&B TREES UP TO 40" DIAMETER ROOTBALL

LANDSCAPE SPECIFICATIONS

- Michael Pape & Associates, P.A. is responsible for ensuring that the work meets all requirements stipulated and implied in the Plans and Specifications. Any work that does not is subject to rejection, and replacement by the contractor at his own cost.
- All plants shall be Florida No. 1 or better, as outlined under Grades and Standards for Nursery Plants, Division of Plant Industries, State of Florida, current edition.
- All work shall be performed in accordance with standard and accepted nursery practices in a workmanlike manner; the Contractor shall be responsible for notifying the Landscape Architect of any conditions which would adversely affect the completed work.
- The Contractor shall report any detrimental soil, drainage, conflicts or other any conditions which would affect the health and performance of the landscaping.
- The Contractor shall be responsible for following all applicable codes and regulations concerning the work, whether or not they are stipulated in the bid documents.
- The contractor shall report and repair any damage caused by his work or actions, and maintain the jobsite in a clean, professional, and workmanlike manner.
- The contractor shall coordinate with all other aspects of the job affecting the finished character of the landscaping - particularly the drainage system - to achieve proper results, including adjustments to plant locations if required.
- The Contractor shall be responsible for fine grading, 3/4". In all areas of the site to be landscaped. The Contractor is responsible for ensuring that surface drainage is not affected or hindered in any manner due to any reason.
- The Contractor shall be responsible for the thorough removal of existing vegetation and grass in the areas to be planted, including application(s) of appropriate herbicides before and after plant installation. A pre-emergent herbicide approved by the Landscape Architect shall be applied in accordance with the manufacturer's instructions for all plant beds.
- The Contractor shall be responsible for the proper location, layout, and orientation of trees and planting beds.
- Limerock, debris, and other unsuitable materials shall be removed from the planting areas, and clean sandy fill used to bring all areas to proper grade. Soil used for planting shall consist of two parts of the existing soil and one part domestic peat moss (or sandy fill in heavy soils). Fertilizer shall be AgriForm tablets or approved equal, incorporated into all shrub and tree planting pits per the manufacturer's instructions. Backfill shall consist of equal parts clean sandy fill and potting soil mix, well mixed.
- Beds for plant material 3 gallon or smaller shall be amended first by rototilling the planted areas to a depth of 6-8". 3" of organic planting soil mix shall then be thoroughly amended into the previously rototilled area to a depth of 6-8". If necessary, existing soil shall be removed so that the finished bed area is at the appropriate elevation in respect to adjacent landscape, lawn, and hardscape areas, and to adjacent structures. This measure shall be included in the line item cost for Site Preparation.
- Terra-Sorb, or approved equal, shall be incorporated into the planting soil of all trees in sandy soils only at the manufacturer's rates. Broadcast 1/2 throughout the planting pit; mix 1/2 with backfill.
- Refer to the Details for tree and plant installation requirements. Care shall be taken to insure that all plants are set properly and the finish grade conforms to adjacent lawns, walks, pavement, etc. All plant beds and tree rings shall be top-dressed with 3" pine straw mulch.
- The Landscape Architect reserves the right to field locate or review flagged locations of any or all proposed plantings. Locations of trees and plants shall be coordinated with irrigation head locations to insure proper coverage, including minor adjustments of plant and head locations as needed.
- Any tree which shows signs of stress shall be replaced immediately at no charge to the Owner.
- Trees shall be staked and guyed in accordance with the details provided.
- No substitutions shall be permitted without prior approval from the Landscape Architect.
- All site areas which are not built upon or paved shall be landscaped, sodded, seeded, and/or mulched, unless left in a natural, undisturbed state.
- Sod shall be clean and weed-free as indicated in the areas shown on the plan. Sod shall be installed in a level, clean manner without noticeable grade differences, rough edges, or gaps. Sod shall be rolled, and staked as necessary to prevent erosion.
- The Contractor shall be responsible for surveying any property lines, easements, or other boundaries if required to control the proper location of work within the project.
- The Contractor shall be responsible for the thorough repair of existing grade, turf, landscaping, etc. damaged in the course of work.
- The Contractor is entirely responsible for the work until the job is in full and exact compliance and conformity with provisions expressed or implied in the plans and Specifications and as otherwise directed and determined by the Landscape Architect.
- The Contractor is responsible for maintenance of the project during construction and shall bear all risk of loss, theft or damage to the project until all punchlist items are satisfactorily resolved and the job is officially turned over. Plantings shall be maintained by watering, removing dead branches, resetting plants to proper grades and upright positions, staking to ensure vertical growth, weeding, mowing, and any other operations necessary to complete maintenance, including the replacement of any material that exhibits visible and unsightly evidence of "shocking" without full recovery prior to job completion and final inspection.
- Warranty: All new plant material, except seed, sod and trees, shall be guaranteed for 90 days, and shall be alive and in satisfactory growth for each specific plant at the end of the warranty period. Trees, Palms, and specimen plants shall be guaranteed for a period of 1 year and sod for a period of 60 days. Seeded areas shall have adequate germination and coverage within 90 days, contingent upon sufficient rainfall or watering by owner. The warranty period shall commence upon the date of release of the retainage for the job, or for any defined phase of the job.
- At the end of the warranty period, and at any time during that period, any plant material that has died or is not in satisfactory condition as determined by the Owner and/or the Landscape Architect, shall be removed and replaced with new healthy material of the original specified size and type within 10 calendar days. Excluded are replacements of plants due to acts of God, theft, vandalism, or acts of negligence on the part of others, and due to deleterious soil and/or drainage conditions which the contractor documented to the attention of the Owner and Landscape Architect at the time of installation. The new material shall be guaranteed as outlined above, commencing the date that the job is accepted. The Contractor shall be responsible for the cost of all material and labor.

REVIEWED

For Code Compliance
City of Ocala Growth Management

PD25-0003
Kinward at Heathbrook
6/2/2026

MPA Michael Pape & Associates, PA
LAND PLANNING • SITE DESIGN • LANDSCAPE ARCHITECTURE
2351 SE 17th Street • Ocala, FL • 352.351.3500 • www.MPA-LA.com

KINWARD AT HEATHBROOK
OCALA, FLORIDA
PLAN DATA AND DETAILS

DATE 4/13/26

DWN BY ABT

CHKD. BY SMS

SHEET 7 OF 17