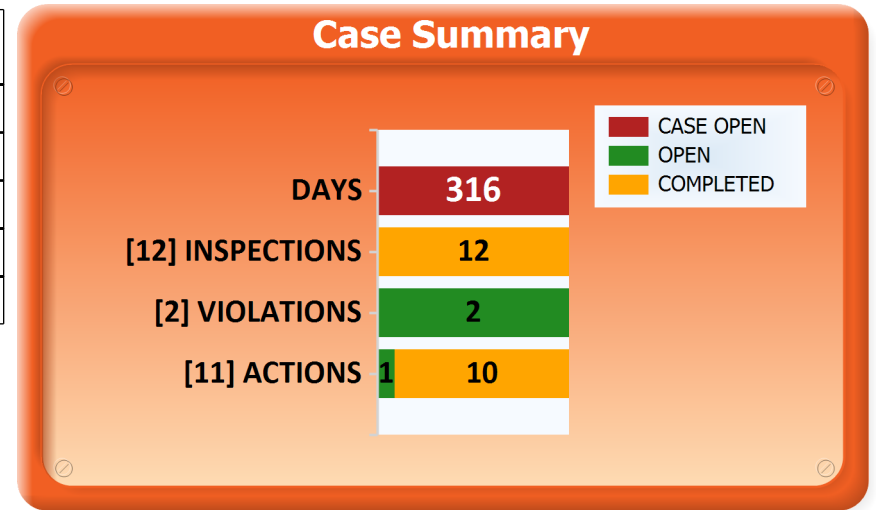


# OCALA Case Details - No Attachments

City of Ocala

**Case Number**  
**CE25-0514**

Description: Unpermitted removal of trees and site plan violations.		Status: HEARING	
Type: COMMERCIAL		Subtype: MISC ORDINANCE VIOLATION	
Opened: 6/12/2025	Closed:	Last Action: 4/29/2026	Flw Up: 4/20/2026
Site Address: 1015 SE 17TH ST OCALA, FL 34471			
Site APN: 2937-010-008		Officer: OSIAS FERREIRA	
Details:			



#### ADDITIONAL SITES

#### LINKED CASES

#### CONTACTS

NAME TYPE	NAME	ADDRESS	PHONE	FAX	EMAIL
RESPONDENT 1	ROC HOLDINGS OF OCALA LLC	1500 SE MAGNOLIA EXT STE 104 OCALA, FL 34471			
RESPONDENT 2	MCGRAW, JON	35 SE 1ST AVENUE SUIT 102 OCALA, FL 34471			
RESPONDENT 3	KARL SIEBUHR M.D	1015 SE 17TH ST SUITE 100 OCALA, FL 34471			

#### FINANCIAL INFORMATION

DESCRIPTION	ACCOUNT	QTY	AMOUNT	PAID	PAID DATE	RECEIPT #	CHECK #	METHOD	PAID BY	CLTD BY
CERTIFIED POSTAGE	001-359-000-000-06-35960	6	\$53.16	\$0.00						
RECORDING COSTS	001-359-000-000-06-35960	1	\$18.75	\$0.00						

# OCALA Case Details - No Attachments

City of Ocala

Case Number  
**CE25-0514**

DESCRIPTION	ACCOUNT	QTY	AMOUNT	PAID	PAID DATE	RECEIPT #	CHECK #	METHOD	PAID BY	CLTD BY
REGULAR POSTAGE	001-359-000-000-06-35960	3	\$2.22	\$0.00						
Total Paid for CASE FEES:			\$74.13	\$0.00						
ADMIN POSTING	001-359-000-000-06-35960	1	\$2.46	\$0.00						
CERTIFIED MAIL	001-359-000-000-06-35960	6	\$14.76	\$0.00						
HEARING	001-359-000-000-06-35960	1	\$12.30	\$0.00						
PREPARE NOTICE	001-359-000-000-06-35960	2	\$12.30	\$0.00						
REGULAR MAIL	001-359-000-000-06-35960	3	\$7.38	\$0.00						
Total Paid for CHRONOLOGY FEES - ADMINISTRATIVE:			\$49.20	\$0.00						
CONTACT	001-359-000-000-06-35960	2	\$6.48	\$0.00						
FIELD POSTING	001-359-000-000-06-35960	1	\$8.10	\$0.00						
Total Paid for CHRONOLOGY FEES - INSPECTORS:			\$14.58	\$0.00						
STAFF RECOMMENDATION	001-359-000-000-06-35960	1	\$22.06	\$0.00						
Total Paid for CHRONOLOGY FEES - SUPERVISORS:			\$22.06	\$0.00						
INSPECTORS	001-359-000-000-06-35960	12	\$194.52	\$0.00						
Total Paid for INSPECTION FEES:			\$194.52	\$0.00						
<b>TOTALS:</b>			<b>\$354.49</b>	<b>\$0.00</b>						

## VIOLATIONS

VIOLATION TYPE	USER NAME	OBSERVED DATE	CORRECTED DATE	LOCATION	REMARKS	NOTES
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# OCALA Case Details - No Attachments

City of Ocala

**Case Number**  
**CE25-0514**

SECTION 122-219 CONFORMANCE W/ APVD PLAN; CHANGES TO APVD PLAN; CERT OF COMPLIANCE; MAINT OF IMPVMTS	OSIAS FERREIRA	6/17/2025				Changes to the approved Site Plan. Obtain an updated Site Plan to include changes made to the property. Stop parking vehicles on the grass since the site plan does not allow it.
SECTION 118-71 TREE REMOVAL PERMIT REQUIRED	OSIAS FERREIRA	6/17/2025				Four shade trees and ornamental shrubs were removed without a permit or the approval of a new site plan. Obtain a permit for the removal of the trees.

## INSPECTIONS

INSPECTION TYPE	INSPECTOR	SCHEDULED DATE	COMPLETED DATE	RESULT	REMARKS	NOTES
INITIAL	OSF	6/12/2025	6/12/2025	NON COMPLIANT		On 6/12/2025 I was patrolling the area and observed a pile of wood and tree debris at the corner of the property. Upon further investigation, it was determined that four trees were removed from the property and shrubs surrounding the front parking lot area were removed as well. All of this work took place without the benefit of a permit nor an updated site plan. I will obtain the site plan of this property to ensure the owners bring it back to his original plan. Photos attached.

# Case Details - No Attachments

City of Ocala

Case Number  
**CE25-0514**

FOLLOW UP	OSF	6/17/2025	6/17/2025	NON COMPLIANT	On 6/17/2025 I did a follow up and spoke to my supervisor Jenipher and she found the site plan of the property, it was determined that several shade trees and shrubs were removed without the proper permits and approval from the city. I spoke with the property representative from the office of Karl Siebuhr M.D. I explained that several trees were removed, shrubs and they are cars parking on the grass, and these are violation of the code and they need to be corrected. I will send a CLTO to the property owners and work with them to get these issues resolved. Photos attached.
FOLLOW UP	OSF	7/15/2025	7/15/2025	NON COMPLIANT	On 7/15/2025 I did a follow up and observed that nothing else has been done on this property. There was a meeting at the Code Enforcement office with property representatives in regards to the changes made to the landscape and the need for permits. At this point there are no new permits submitted at this location I will continue to follow up.
FOLLOW UP	OSF	8/19/2025	8/19/2025	NON COMPLIANT	On 8/19/2025 I did a follow up inspection for this property, no progress was made on this case still, no news from the last meeting that took place with the property representatives and city officials. If by my next follow up nothing else gets done or submitted this case will move to a hearing.
FOLLOW UP	OSF	9/17/2025	9/17/2025	NON COMPLIANT	On 9/17/2025 I did a follow up and observed that nothing has been done no new landscaping plans have been submitted or updated site plan.

# OCALA Case Details - No Attachments

City of Ocala

**Case Number**  
**CE25-0514**

FOLLOW UP	OSF	10/13/2025	10/13/2025	NON COMPLIANT	On 10/13/2025 I did a follow up for this property and found that some plants have been replanted on this property. I reach out to the zoning department and spoke with Indira and Andy and they told me a meeting was held at this property and they were told that planting some of the shrubs that were originally remove was ok but they still need to submit a landscape plan. They need to submit the landscape plan to replace some of the initial oak trees that were remove without a permit. They have professionals working with the zoning department. I will continue to work on this, photos attached.
FOLLOW UP	OSF	11/18/2025	11/19/2025	NON COMPLIANT	On 11/19/2025 I did a follow up at this time I did not see any permits submitted. There are new shrubs planted at the property. I will check with the zoning department for more progress on this property.
FOLLOW UP	OSF	12/9/2025	12/9/2025	NON COMPLIANT	On 12/9/2025 I did a follow up and observed that nothing has been done as of today, we are still waiting for the landscape plan to be submitted to the zoning department. They were told this plan needs to be submitted to include all the trees that were removed and the replacements. I will continue to follow up to ensure compliance.
FOLLOW UP	OSF	1/27/2026	1/27/2026	NON COMPLIANT	On 1/27/2026 I did a follow up for the case and found that nothing has been done. I reach out to the zoning department via email but I have not gotten anything back yet. If they don't show any progress and the zoning department have not gotten any new plans the case will move into a hearing.

# OCALA Case Details - No Attachments

City of Ocala

**Case Number**  
**CE25-0514**

CASE REVIEW	OSF	2/10/2026	2/10/2026	NON COMPLIANT	<p>On 2/10/2026 I did a case review and called the property representative for a follow up and status of the permits.</p> <p>I called Clein 352-804-7777 for a follow up on the landscape plan but at this time I got no answer. Later on the day, Clein call me back and he told me they are waiting to replant some of the trees for a more favorable weather. I also asked him about the landscaping plan they were going to submit, he said a guy named Paul was working on this and submitting everything together with the plans for the parking lot. I asked him if he had a copy since I could not find anything on the system and the last time I spoke with the zoning department they had not gotten anything. He told me he was personally going to be reaching out and find out about it.</p>
FOLLOW UP	OSF	3/11/2026	3/11/2026	COMPLETED	<p>On 3/11/2026 I did a case review and found that no new plans, site plan or landscape plans have been submitted, after multiple conversation no new changes. This case will move into a hearing.</p>
HEARING INSPECTION	OSF	4/20/2026	4/20/2026	COMPLETED	<p>On 4/20/2026 I did a hearing inspection and observed that nothing else has been submitted. They are no longer parking their cars on the grass but no new permits have been submitted, no new site plan or landscaping plan.</p>

## CHRONOLOGY

CHRONOLOGY TYPE	STAFF NAME	ACTION DATE	COMPLETION DATE	NOTES
PREPARE NOTICE	SHANEKA GREENE	6/18/2025	6/18/2025	CLTO
REGULAR MAIL	SHANEKA GREENE	6/18/2025	6/18/2025	CLTO MAILED (3)

# OCALA Case Details - No Attachments

City of Ocala

**Case Number**  
**CE25-0514**

CONTACT	OSIAS FERREIRA	6/23/2025	6/23/2025	Phone call with Klein 352-804-7777 about the issues with the landscape and the lack of permits. He was not in agreement with the need of permits for the removal of the landscape, shade trees and shrubs. He also did not agree with the no parking allowed on the grass. We spoke about how to come into compliance and what departments to reach out to.
OFFICER POSTING	OSIAS FERREIRA	6/23/2025	6/23/2025	Posted CLTO at the property.
CONTACT	OSIAS FERREIRA	2/10/2026	2/10/2026	I called Clein 352-804-7777 for a follow up on the landscape plan but at this time I got no answer. Later on the day, Clein call me back and he told me they are waiting to replant some of the trees for a more favorable weather. I also asked him about the landscaping plan they were going to submit, he said a guy named Paul was working on this and submitting everything together with the plans for the parking lot. I asked him if he had a copy since I could not find anything on the system and the last time I spoke with the zoning department they had not gotten anything. He told me he was personally going to be reaching out and find out about it.
ADMIN POSTING	SHANEKA GREENE	3/12/2026	3/12/2026	NOVPH
CERTIFIED MAIL	SHANEKA GREENE	3/12/2026	3/12/2026	NOVPH MAILED (3) 9489 0090 0027 6696 9844 46 ROC HOLDINGS OF OCALA LLC 1500 SE MAGNOLIA EXT STE 104 OCALA, FL. 34471-4452  9489 0090 0027 6696 9844 39 ROC HOLDINGS OF OCALA LLC 1015 SE 17TH ST SUITE 100 OCALA, FL. 34471  9489 0090 0027 6697 0470 89 MCGRAW JON (REGISTERED AGENT) 35 SE 1ST AVE SUITE 102 OCALA, FL. 34471

# Case Details - No Attachments

City of Ocala

Case Number  
**CE25-0514**

PREPARE NOTICE	SHANEKA GREENE	3/12/2026	3/12/2026	NOVPH
OFFICER POSTING	OSIAS FERREIRA	3/13/2026	3/13/2026	NOVPH READY FOR POSTING Novph posted at the property, affidavit on file.

<p>STAFF RECOMMENDATION</p>	<p>DALE HOLLINGSWORTH</p>	<p>4/17/2026</p>	<p>4/14/2026</p>	<p>Find the Respondent(s) guilty of violating city code sections(s) 118-71 and 122-219 and Order to:</p> <p>1,) (a) Obtain any required permits needed to bring the site into compliance with the current approved site plan Section 122-219 Conformance with approved plan; changes to approved plan; certification of compliance; maintenance of improvements and Section 122-212 Site plan approval required. for any alteration, change, modification, or site work to include parking upon the parcel by 4:00 pm on Thursday, May 28th 2026. Once the permits are obtained, all work shall be completed within sixty (60) days after the issuance of the initial permit(s). If the Respondent(s) fail to comply by 7:00 am on Friday, May 29th, 2026, or if the permit (s) issued are not inspected and finalized for closure by the 61st day after the permit(s) issuance, there shall be a fine of \$100 per day thereafter, that shall run in addition to any other fines.</p> <p>2,) Obtain any required permit(s) needed to bring the site into compliance with Section 118-71 Tree removal permit required; exceptions- for the unpermitted removal of four (4) shade trees and ornamental shrubs by 4:00 pm on Thursday, May 28th, 2026. Once the permit(s) are obtained, all site work shall be completed by a licensed vendor/contractor within sixty (60) days after the issuance of the initial permits. If the Respondent(s) fail to comply by 7:00 am on Friday, May 29th, 2026, or if the permits issued are not inspected and finalized for closure by the 61st day after the permits issuance, there shall be a fine of \$100 per day thereafter, that shall run in addition to any other fines.</p> <p>3.) Pay the cost of prosecution of \$354.49 by May 28th, 2026.</p> <p>Non-compliance (Massey) Code Board hearing: 06/11/2026</p>
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**Ocala** Case Details - No Attachments  
City of Ocala

Case Number  
**CE25-0514**

HEARING SPECIAL MAGISTRATE	YVETTE J GRILLO	4/29/2026		NEW BUSINESS
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Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser



501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2026 Property Record Card

2937-010-008

[GOOGLE Street View](#)

Prime Key: 683817

[MAP IT+](#)

Current as of 3/12/2026

### [Property Information](#)

[M.S.T.U.](#)

[PC:](#) 19

Acres: 1.61

ROC HOLDINGS OF OCALA LLC  
1500 SE MAGNOLIA EXT STE 104  
OCALA FL 34471-4452

[Taxes / Assessments:](#)

Map ID: 179

[Millage:](#) 1001 - OCALA

[More Situs](#)

Situs: 1015 SE 17TH ST ALL UNITS  
OCALA

### [2025 Certified Property Value by Income](#)

Land Just Value	N/A		
Buildings	N/A		
Miscellaneous	N/A		
Total Just Value	\$2,075,066	Impact	
Total Assessed Value	\$1,954,940	<a href="#">Ex Codes:</a>	(\$120,126)
Exemptions	\$0		
Total Taxable	\$1,954,940		
School Taxable	\$2,075,066		

### [History of Assessed Values](#)

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$350,660	\$1,643,145	\$18,311	\$2,075,066	\$1,954,940	\$0	\$1,954,940
2024	\$315,594	\$1,353,546	\$18,369	\$1,777,218	\$1,777,218	\$0	\$1,777,218
2023	\$315,594	\$1,330,980	\$18,427	\$1,775,842	\$1,775,842	\$0	\$1,775,842

### [Property Transfer History](#)

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">8588/1471</a>	04/2025	07 WARRANTY	4 V-APPRAISERS OPINION	Q	I	\$2,800,000
<a href="#">7069/1024</a>	10/2019	07 WARRANTY	2 V-SALES VERIFICATION	U	I	\$1,253,000
<a href="#">7069/1022</a>	10/2019	07 WARRANTY	0	U	I	\$100
<a href="#">3884/1093</a>	10/2004	09 EASEMNT	0	U	I	\$100
<a href="#">DE95/1095</a>	03/1996	EI E I	0	U	V	\$100
<a href="#">DE94/1107</a>	03/1996	EI E I	0	U	V	\$100
<a href="#">DE93/1106</a>	03/1996	EI E I	0	U	V	\$100
<a href="#">SR94/1000</a>	01/1996	EI E I	0	U	V	\$100
<a href="#">2157/1624</a>	07/1995	07 WARRANTY	2 V-SALES VERIFICATION	Q	V	
<a href="#">UNRE/INST</a>	10/1992	71 DTH CER	0	U	V	
<a href="#">1875/0187</a>	10/1990	74 PROBATE	0	U	V	

[Property Description](#)

SEC 20 TWP 15 RGE 22  
PLAT BOOK F PAGE 024  
EDGEWOOD PARK UNIT 4  
BLK 10 LOTS 8.9.10

[Land Data - Warning: Verify Zoning](#)

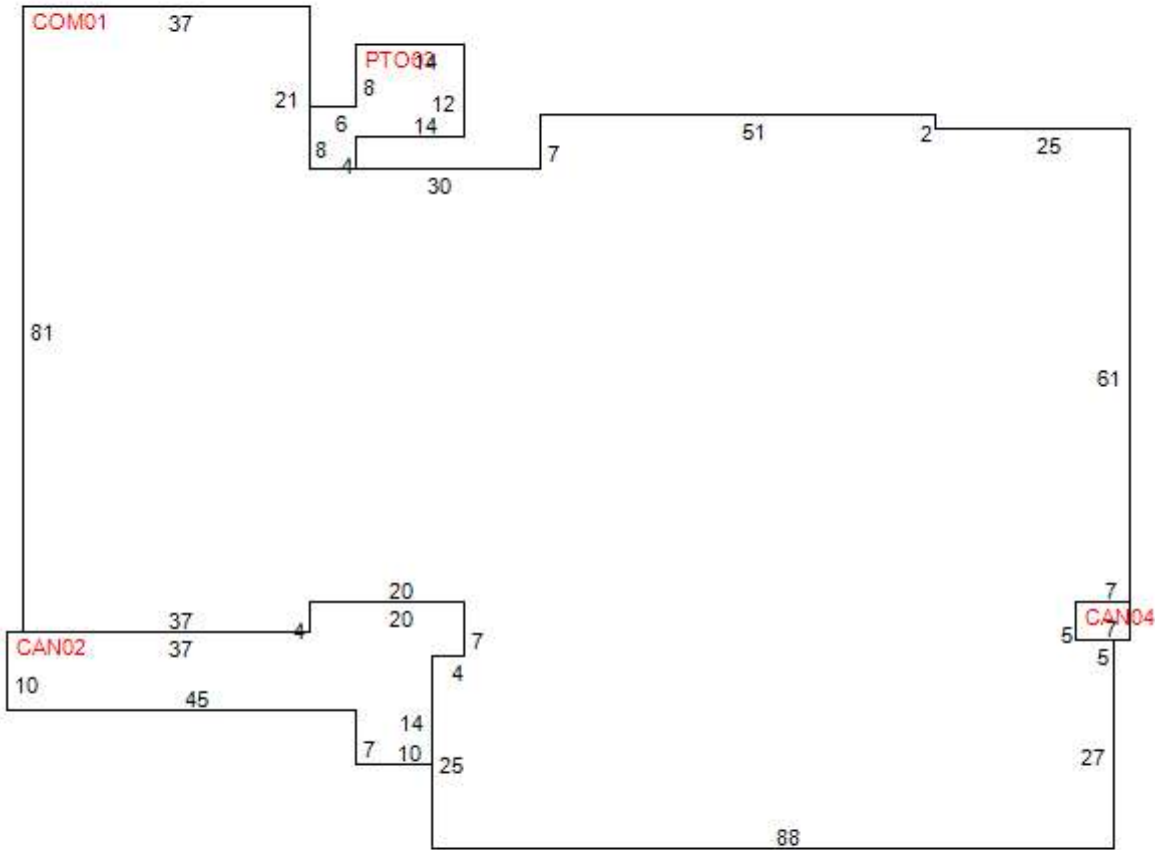
Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
GCSF	1955	.0	.0	RO	70,132.00	SF						

Neighborhood 9914  
Mkt: 2 70

[Traverse](#)

**Building 1 of 1**

COM01=R37U4R20D7L4D25R88U27L5U5R7U61L25U2L51D7L30U21L37D81.  
CAN02=R37U4R20D7L4D14L10U7L45U10R2.U81R37D21  
PTO03=U8R6U8R14D12L14D4L6.R106D56  
CAN04=L7D5R7U5.  
MZS05=642.



Building Characteristics

**Structure** 4 - MASONRY NO PILAST  
**Effective Age** 4 - 15-19 YRS  
**Condition** 3  
**Quality Grade** 800 - VERY GOOD  
**Inspected on** 3/6/2024 by 117

**Year Built** 1996  
**Physical Deterioration** 0%  
**Obsolescence: Functional** 0%  
**Obsolescence: Locational** 0%  
**Base Perimeter** 544

**Exterior Wall** 42 COM BRK VEN-BK

Section	Wall Height	Stories	Year Built	Basement %	Ground Flr Area	Interior Finish	Sprinkler	A/C
1	10.0	1.00	1996	0	12,178	M19 PROFESSIONAL SERVICE	100 %	Y Y
2	10.0	1.00	1996	0	712	CAN CANOPY-ATTACHD	100 %	N N
3	8.0	1.00	1996	0	216	PTO PATIO	100 %	N N
4	10.0	1.00	1996	0	35	CAN CANOPY-ATTACHD	100 %	N N
5	8.0	1.00	1996	0	642	MZS MEZZANINE STOR	100 %	N Y

**Section: 1**

**Elevator Shafts:** 0      **Aprtments:** 0      **Kitchens:** 0      **4 Fixture Baths:** 0      **2 Fixture Baths:** 5  
**Elevator Landings:** 0      **Escalators:** 0      **Fireplaces:** 0      **3 Fixture Baths:** 4      **Extra Fixtures:** 33

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
144 PAVING ASPHALT	23,744.00	SF	5	1996	3	0.0	0.0
159 PAV CONCRETE	1,057.00	SF	20	1996	3	0.0	0.0
250 WALLS MASONRY	192.00	SF	50	1996	4	0.0	0.0
250 WALLS MASONRY	135.00	SF	50	1996	3	0.0	0.0
159 PAV CONCRETE	144.00	SF	20	1996	5	0.0	0.0

Appraiser Notes

STE 100= VACANT.....2-3FX 2-2FX 14XA  
-  
STE 200= FLORIDA SURGERY CONSULTANTS.....1-3FX 2-2FX 12X  
-  
STE 300= ADVANCED REHABILITATION.....1-3FX 1-2FX 7X (2023 RENOVATION)

Planning and Building

\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description
BLD23-1616	7/14/2023	-	CANNON CLAN/ REROOF
BLD23-0404	3/6/2023	5/31/2023	CANNON OFFICE / INT RENO STE 300
BLD20-0029	1/8/2020	-	REPAIR/RENOVATION UNDERPINNING
BLD13-1219	9/26/2013	10/28/2013	INT RENO #200
SGN13-0046	2/13/2013	-	SIGNAGE
OC00716	4/1/1996	1/1/1997	COMM.
OC01620	11/1/1995	7/1/1996	COMM.

Rec. **\$18.50**  
DS **\$19,600.00**

THIS INSTRUMENT PREPARED BY AND RETURN TO:

Lawrence C. Callaway, III, Esq.  
Klein & Klein, PLLC  
40 S.E. 11th Avenue  
Ocala, Florida 34471  
Our File No.: 1256-018  
Property Appraisers Parcel Identification (Folio) Number: 2937-010-008

\_\_\_\_\_  
SPACE ABOVE THIS LINE FOR RECORDING DATA

## **WARRANTY DEED**

THIS WARRANTY DEED, made the 11<sup>th</sup> day of April, 2025 by CANNON CLAN OFFICE VIEW, LLC, a Florida limited liability company, whose post office address is 1407 SE 5th Street, Ocala, FL 34471, herein called the Grantor, to ROC HOLDINGS OF OCALA LLC, a Florida limited liability company, whose post office address is 1500 SE Magnolia Extension, Ste 104, Ocala, FL 34471, hereinafter called the Grantee:

*(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)*

**WITNESSETH:** That the Grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee all that certain land situate in MARION County, State of Florida, viz.:

**Lots 8, 9 and 10, Block 10, EDGEWOOD PARK UNIT NO. 4, as per Plat thereof, recorded in Plat Book F, Page 24, of the Public Records of Marion County, Florida.**

**SUBJECT** to easements, restrictions and reservations of record, if any, and taxes for the year 2025 and thereafter.

**TOGETHER**, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**TO HAVE AND TO HOLD**, the same in fee simple forever.

**AND**, the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2024.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Witness #1 Signature  
MARY THOMASON

Witness #1 Printed Name  
40 SE 11th Ave Ocala, FL 34471

Witness #1 Address

Witness #2 Signature

*Lawrence C. Polloway, II*

Witness #2 Printed Name

40 SE 11th Ave Ocala, FL 34471

Witness #2 Address

CANNON CLAN OFFICE VIEW, LLC, a Florida  
limited liability company

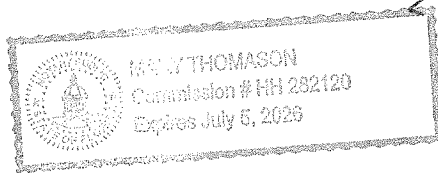
By: *O. Frank Cannon*  
O. Frank Cannon, Manager

By: *Elizabeth Cannon*  
Elizabeth Cannon, Manager

STATE OF FLORIDA  
COUNTY OF MARION

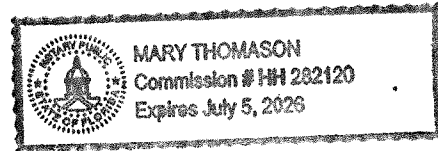
The foregoing instrument was acknowledged before me by means of  physical presence or  online notarization, this 11<sup>th</sup> day of April, 2025, by O. FRANK CANNON and ELIZABETH CANNON as Managers of CANNON CLAN OFFICE VIEW, LLC, a Florida limited liability company who are personally known to me or have produced Chris Kuse as identification.

«{NOTARY\_SEAL}»



Notary Public

Printed Notary Name  
My Commission Expires:





[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

## Detail by Entity Name

Florida Limited Liability Company  
ROC HOLDINGS OF OCALA LLC

### Filing Information

**Document Number** L23000255450  
**FEI/EIN Number** 99-1771689  
**Date Filed** 05/24/2023  
**State** FL  
**Status** ACTIVE

### Principal Address

1015 SE 17th Street  
Suite 100  
OCALA, FL 34471

Changed: 07/15/2025

### Mailing Address

1015 SE 17th Street  
Suite 100  
OCALA, FL 34471

Changed: 07/15/2025

### Registered Agent Name & Address

MCGRAW, JON  
35 SE 1ST AVENUE, SUITE 102  
OCALA, FL 34471

### Authorized Person(s) Detail

#### **Name & Address**

Title MGR

SIEBUHR, KARL F  
1500 SE MAGNOLIA EXTENSION, SUITE 104  
OCALA, FL 34471

Title MGR

SIEBUHR, DAWN M  
1500 SE MAGNOLIA EXTENSION, SUITE 104  
OCALA, FL 34471

**Annual Reports**

<b>Report Year</b>	<b>Filed Date</b>
2024	06/25/2024
2025	07/15/2025

**Document Images**

<a href="#">07/15/2025 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">06/25/2024 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">05/24/2023 -- Florida Limited Liability</a>	<a href="#">View image in PDF format</a>



GROWTH MANAGEMENT DEPARTMENT  
CODE ENFORCEMENT DIVISION  
201 SE 3RD STREET (2ND FLOOR) OCALA, FL 34471

6/18/2025

CASE NO: CE25-0514

ROC HOLDINGS OF OCALA LLC  
1500 SE MAGNOLIA EXT STE 104  
OCALA, FL. 34471-4452

MCGRAW JON (REGISTERED AGENT)  
35 SE 1<sup>ST</sup> AVENUE SUITE 102  
OCALA, FL. 34471

KARL SIEBUHR M.D.  
1015 SE 17<sup>TH</sup> ST SUITE 100  
OCALA, FL. 34471

**RE: 2937-010-008 | 1015 SE 17<sup>TH</sup> ST**

Dear Property Owner:

Many times, homeowners and business owners are unaware of violations of the City of Ocala's Code of Ordinances existing on their property. A complaint has been reported to, or a violation was personally observed by a City of Ocala Code Enforcement Officer on the referenced property listed above. Please review the violations and how to abate them as follows:

***Compliance Requested on or before: 07/15/2025***

***Violations:***

**SECTION 122-219 CONFORMANCE W/ APVD PLAN; CHANGES TO APVD PLAN; CERT OF COMPLIANCE; MAINT OF IMPVMTS**

Changes to the approved Site Plan. Obtain an updated Site Plan to include changes made to the property. Stop parking vehicles on the grass since the site plan does not allow it

**SECTION 118-71 TREE REMOVAL PERMIT REQUIRED**

Four shade trees and ornamental shrubs were removed without a permit or the approval of a new site plan. Obtain a permit for the removal of the trees.

Our goal is to assist you in becoming compliant with City Code. The City of Ocala Code Enforcement believes a reasonable time to correct the above violation(s) would be by the date indicated. Should the violation(s) continue beyond the time specified for correction, the case may proceed to the Code Board/Special Magistrate for a hearing.

You may contact the officer assigned as indicated below. We appreciate all your efforts to help the City of Ocala, and our division in keeping Ocala a clean and safe place to live.

OSIAS FERREIRA, Code Enforcement Officer  
352-789-5305 [oferreira@ocalafl.gov](mailto:oferreira@ocalafl.gov)



# City of Ocala

GROWTH MANAGEMENT DEPARTMENT  
CODE ENFORCEMENT DIVISION  
ENVIRONMENTAL ENFORCEMENT DIVISION  
201 SE 3<sup>rd</sup> STREET (2<sup>nd</sup> floor) OCALA, FLORIDA 34471

## NOTICE OF VIOLATION AND PUBLIC HEARING

ROC HOLDINGS OF OCALA LLC  
1500 SE MAGNOLIA EXT STE 104  
OCALA, FL. 34471-4452

03/13/2026

ROC HOLDINGS OF OCALA LLC  
1015 SE 17TH ST SUITE 100  
OCALA, FL. 34471

MCGRAW JON (REGISTERED AGENT)  
35 SE 1ST AVE SUITE 102  
OCALA, FL. 34471

Respondent(s) \_\_\_\_\_ /

**Location of Violation:** 1015 SE 17TH ST|2937-010-008

**Case Number:** CE25-0514

**Inspector Assigned:** Osias Ferreira

**Required Compliance Date:** 04/20/2026

**Public Hearing Date & Time:** 04/29/2026 10:30

**Violation(s) and How to Abate:**

SECTION 122-219 CONFORMANCE W/ APVD PLAN; CHANGES TO APVD PLAN; CERT OF COMPLIANCE; MAINT OF IMPVMTS

Changes to the approved Site Plan. Obtain an updated Site Plan to include changes made to the property. Stop parking vehicles on the grass since the site plan does not allow it.

SECTION 118-71 TREE REMOVAL PERMIT REQUIRED

Four shade trees and ornamental shrubs were removed without a permit or the approval of a new site plan. Obtain a permit for the removal of the trees.

Dear property owner, or agent,

You are hereby notified that the above listed violation(s) exists relating to the City of Ocala Code of Ordinances.

This correspondence will serve as notification that the above stated violation(s) must be corrected by the date indicated. **IT SHALL BE THE RESPONSIBILITY OF YOU, THE RESPONDENT, TO REQUEST A RE-INSPECTION TO VERIFY COMPLIANCE ON, OR BEFORE THIS DATE.** If you, the respondent, fails to verify compliance on or before the aforementioned date, or if the code inspector elects to proceed to a public hearing even after compliance is met, the public hearing will be conducted on the date at time indicated at:

*City of Ocala - City Hall – 2<sup>nd</sup> Floor (Council Chambers)  
110 SE Watula Avenue Ocala, FL 34471*

The Municipal Code Enforcement Board/Special Magistrate has the authority to levy fines up to \$250 per day for a first violation and up to \$500 per day for a repeat violation, and to levy a lien on the real and personal property of the violator(s). A cost of prosecution will be levied in this case pursuant to Florida Statutes section 162.07(2).

You are entitled to be represented by counsel, present testimony, and evidence, and to testify on your behalf. Subpoenas for witnesses and for records, surveys, plats, and other materials may be requested and will be issued by this Board/ Special Magistrate through the office of the City Clerk of the City of Ocala, Florida. If you should decide to appeal any decision made by this Code Enforcement Board/Special Magistrate with respect to any matter considered at this meeting, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, on which the appeal is to be based.

*IF SPECIAL ACCOMMODATIONS ARE NEEDED FOR YOU TO ATTEND OR PARTICIPATE IN THIS MEETING, PLEASE CALL 48 HOURS IN ADVANCE SO ARRANGEMENTS CAN BE MADE. PLEASE CALL THE SECRETARY OF THE MUNICIPAL CODE ENFORCEMENT BOARD/SPECIAL MAGISTRATE AT (352) 629-8309 TO MAKE SPECIAL ARRANGEMENTS.*

For further information regarding your code enforcement case, you may contact the person assigned to your case by email or telephone below:

Osias Ferreira      Code Inspector  
oferreira@ocalafl.gov  
352-789-5305

CITY OF OCALA  
GROWTH MANAGEMENT DEPARTMENT  
CODE ENFORCEMENT DIVISION  
ENVIRONMENTAL ENFORCEMENT DIVISION  
201 SE 3<sup>rd</sup> STREET (2<sup>nd</sup> floor), OCALA, FLORIDA 34471

CASE NO: CE25-0514

**AFFIDAVIT OF POSTING**  
Section 2-446 (b) 2 (b)

STATE OF FLORIDA  
COUNTY OF MARION

**BEFORE ME**, the undersigned authority personally appeared, Osias Ferreira, for the Code Enforcement Division of the, City of Ocala, who after being duly sworn, deposes and states as follows:

1. I did on 03/13/2026 post the Notice of Violation & Public Hearing to the property, located at 1015 SE 17TH ST.
2. This Affidavit is provided pursuant to Section 2-446(b) 2(b), Code of Ordinances of the City of Ocala.

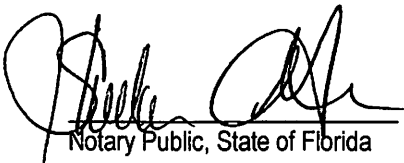
**FURTHER, AFFIANT SAYETH NAUGHT.**

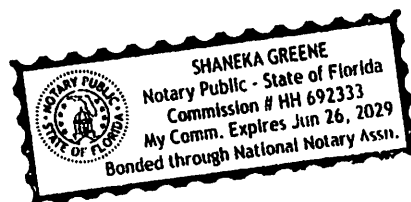
Dated: 03/13/2026

  
Senior Code Inspector

STATE OF FLORIDA  
MARION COUNTY

SWORN TO (or affirmed) before me: 03/13/2026 by Shaneka Greene Code Specialist, City of Ocala, who is personally known to me.

  
Notary Public, State of Florida





**OCALA**  
CODE  
ENFORCEMENT  
352-629-8309  
DO NOT REMOVE THIS  
SIGN WITHOUT APPROVAL  
FROM THE CITY CODE  
ENFORCEMENT DIVISION

City of Ocala  
Code Enforcement Division  
3/13/2026 2:05 PM



# OCCALA

# CODE ENFORCEMENT

# 352-629-8309

DO NOT REMOVE THIS SIGN WITHOUT APPROVAL FROM THE CITY CODE ENFORCEMENT DIVISION



*City of Ocala*  
GROWTH MANAGEMENT DEPARTMENT  
CODE ENFORCEMENT DIVISION  
ENVIRONMENTAL ENFORCEMENT DIVISION  
201 SE 3<sup>rd</sup> STREET (2<sup>nd</sup> floor) OCALA, FLORIDA 34471

### NOTICE OF VIOLATION AND PUBLIC HEARING

ROC HOLDINGS OF OCALA LLC  
1500 SE MAGNOLIA EXT STE 104  
OCALA, FL 34471-4452

03/13/2026

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Respondent(s) \_\_\_\_\_

**Location of Violation:** 1015 SE 17TH ST|2937-010-008

**Case Number:** CE25-0514

**Inspector Assigned:** Oslas Ferreira

**Required Compliance Date:** 04/20/2026

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**Violation(s) and How to Abate:**

SECTION 122-219 CONFORMANCE W/ APVD PLAN; CHANGES TO APVD PLAN; CERT OF COMPLIANCE; MAINT OF IMPVMTS  
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Office Deposits

City of Ocala  
Code Enforcement Division  
3/13/2026 2:05 PM

CITY OF OCALA  
GROWTH MANAGEMENT DEPARTMENT  
CODE ENFORCEMENT DIVISION  
ENVIRONMENTAL ENFORCEMENT DIVISION  
201 SE 3<sup>rd</sup> STREET (2<sup>nd</sup> floor), OCALA, FLORIDA 34471

CASE NO: CE25-0514

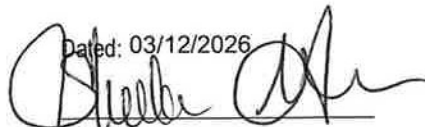
**AFFIDAVIT OF POSTING**  
Section 2-446 (b) 2 (b)

STATE OF FLORIDA  
COUNTY OF MARION

**BEFORE ME**, the undersigned authority personally appeared, Shaneka Greene, for the Code Enforcement Division of the, City of Ocala, who after being duly sworn, deposes and states as follows:

1. I did on 03/12/2026 post the Notice of Violation & Public Hearing to Ocala City Hall, located at 110 SE Watula Avenue Ocala, FL.
2. This Affidavit is provided pursuant to Section 2-446(b) 2(b), Code of Ordinances of the City of Ocala.

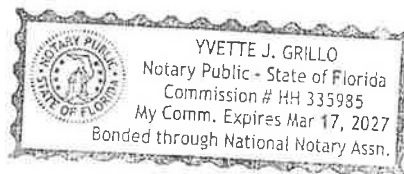
FURTHER, AFFIANT SAYETH NAUGHT.

Dated: 03/12/2026  
  
Code Specialist I

STATE OF FLORIDA  
MARION COUNTY

SWORN TO (or affirmed) before me: 03/12/2026 by Yvette Grillo Code Specialist, City of Ocala, who is personally known to me.

  
Notary Public, State of Florida



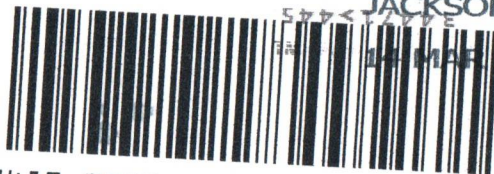


CITY OF OCALA  
CODE ENFORCEMENT DIVISION  
201 SE 3<sup>rd</sup> STREET, 2<sup>nd</sup> FLOOR  
OCALA, FLORIDA 34471

*NAPH-0514*

UNITED STATES  
POSTAL SERVICE

CERTIFIED MAIL



9489 0090 0027 6696 9844 46

JACKSONVILLE RPDC 320

14 MAR 2026 PM 3:11

Label 890-PB, Oct 2015  
Pitney Bowes

FIRST-CLASS



US POSTAGE PAID PITNEY BOWES



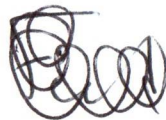
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ROC HOLDINGS OF OCALA LLC  
1500 SE MAGNOLIA EXT STE 104  
OCALA, FL. 34471-4452



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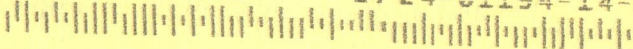
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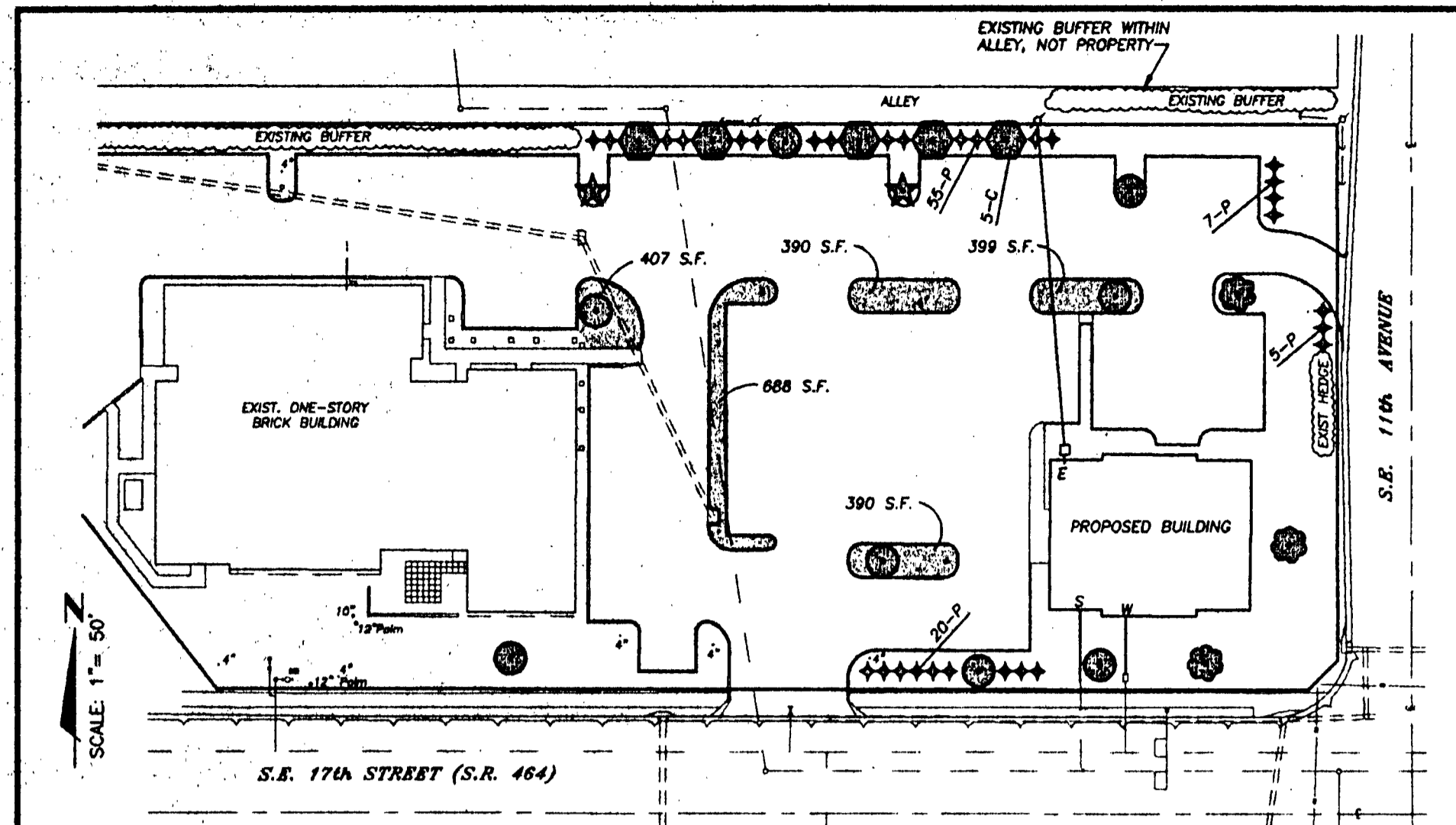


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RETURN TO SENDER  
NOT DELIVERABLE AS ADDRESSED  
UNABLE TO FORWARD

BC: 34471217299 \*2724-01194-14-41





- LANDSCAPE NOTES:**
- ALL BEDS WILL BE MULCHED WITH 2" OF PINE BARK MULCH.
  - ALL PLANTS WILL BE FLORIDA #1 OR BETTER. THEY SHALL BE FERTILIZED UPON PLANTING AND INSTALLED USING 1/3 PEAT, 2/3 NATIVE SOIL.
  - SOD SHALL BE BAHIA.
  - A HEALTHY LIVING CONDITION FOR ALL LANDSCAPING SHALL BE MAINTAINED. ANY PLANTS THAT DIE OR ARE NOT HEALTHY AND DYING, SHALL BE REPLACED WITHIN THIRTY (30) DAYS TO CITY STANDARDS.
  - ALL HEDGES BUFFERING STREETS SHALL BE PLANTED AT 18 INCHES HIGH MINIMUM, AT A MAXIMUM OF 3 FEET ON CENTER.
  - EXISTING HEDGES SHOWN ON THIS PLAN MUST MEET THE BUFFER STANDARDS OF THE LAND DEVELOPMENT REGULATIONS.
  - A CONTINUOUS HEDGE WILL BE PROVIDED ALONG THE NORTH PROPERTY LINE IF THE EXISTING BUFFER HEDGE IS REMOVED FOR ANY REASON. CRAPE MYRTLES WILL BE PERIODICALLY TRIMMED TO AVOID OVERHEAD UTILITY LINES.
- PROPOSED PLANT LIST:**
- | QUANTITY | SYMBOL | COMMON NAME        | BOTANICAL NAME          | SIZE         |
|----------|--------|--------------------|-------------------------|--------------|
| 8        | ●      | RELOCATED LIVE OAK | QUERCUS VIRGINIANA      | EXISTING     |
| 2        | ★      | RED MAPLE          | ACER RUBRUM             | 3" DBH       |
| 3        | ★      | MAGNOLIA           | MAGNOLIA GRANDIFLORA    | 3" DBH       |
| 5        | ★      | CRAPE MYRTLE       | LAGERSTROEMIA INDICA    | 7 GAL        |
| 87       | ◆◆◆◆◆  | PITTIOSPORUM       | PITTIOSPORUM VARIEGATUM | 18" MIN. HT. |
- SHADING INDICATES INTERIOR LANDSCAPE AREA. TOTAL = 2,274 S.F.

**LANDSCAPE PLAN**

THIS PLAN SHALL SERVE AS THE OFFICIAL MINIMUM LANDSCAPE REQUIREMENTS FOR THIS SITE. VEGETATION DESIGNATED ON THIS PLAN IS BASED ON THE MINIMUM REQUIRED SHADE TREES AND BUFFER PLANTS PER THE CITY OF OCALA LAND DEVELOPMENT REGULATIONS. SAID VEGETATION SHALL NOT BE CHANGED (IN SIZE OR LOCATION) WITHOUT PRIOR WRITTEN APPROVAL BY THE CITY BUILDING DEPARTMENT THROUGH FULL SITE PLAN REVIEW/REVISION PROCEDURE. THE OWNER RESERVES THE OPTION TO INSTALL ADDITIONAL VEGETATION ON THIS SITE AT HIS DISCRETION, BUT SHALL IN NO WAY REDUCE THE MINIMUM REQUIREMENTS SHOWN HEREON.

- ELECTRICAL NOTES:**
- ELECTRIC SERVICE SHALL BE UNDERGROUND AS SHOWN. ALL UNDERGROUND ELECTRIC IMPROVEMENTS SHALL BE AT THE CUSTOMER'S EXPENSE. ALL PVC ELECTRIC CONDUIT SHALL BE SCH 40 UNDERGROUND AND SCH 80 ABOVE GROUND. ALSO, SEE GENERAL NOTE #21.
  - CUSTOMER MUST SUBMIT A LOAD DATA SHEET TO THE ZONING DEPARTMENT PRIOR TO APPROVAL. LOADS ABOVE 300 KVA WILL REQUIRE SIX (6) MONTHS DELIVERY TIME FOR TRANSFORMERS.
  - CUSTOMER MUST CONTACT THE CITY OF OCALA ELECTRIC ENGINEERING DIVISION AT 351-6620 IMMEDIATELY TO DISCUSS SERVICE REQUIREMENTS, TRANSFORMER LOCATION, AND/OR METER LOCATION ON BUILDING. CONTACT: DAVE VAN.
  - TREES CANNOT BE PLANTED AROUND, OVER, OR UNDER ANY EXISTING OR PROPOSED POWER LINES. THIS INCLUDES ANY LINES DESIGNED AFTER FINAL SITE PLAN APPROVAL. SEE LANDSCAPE PLAN FOR LOCATION.
  - NEW SERVICE VOLTAGE SHALL BE 120/240 VOLT SINGLE PHASE.
  - METER LOCATION SHALL BE AT THE NORTHWEST CORNER.
  - ELECTRIC POWER LINES ON PRIVATE PROPERTY WILL REQUIRE A TEN (10) FOOT ELECTRIC DISTRIBUTION EASEMENT FOR UNDERGROUND CONSTRUCTION. FOR OVERHEAD CONSTRUCTION, A TWENTY (20) FOOT EASEMENT IS REQUIRED.
  - WHEN AVAILABLE, THE FINAL REVISED SITE PLAN WILL BE SUBMITTED TO THE ZONING DEPARTMENT ON A 3-1/2" DISKETTE IN THE LATEST RELEASE OF AUTOCAD.
  - STREETLIGHTS MAY BE ADDED ON POLE B-304 AT S.E. 11th AVENUE AT A ONE TIME INSTALLATION CHARGE OF \$200.00 TO THE CUSTOMER, PER CITY OF OCALA STREETLIGHT ORDINANCE.

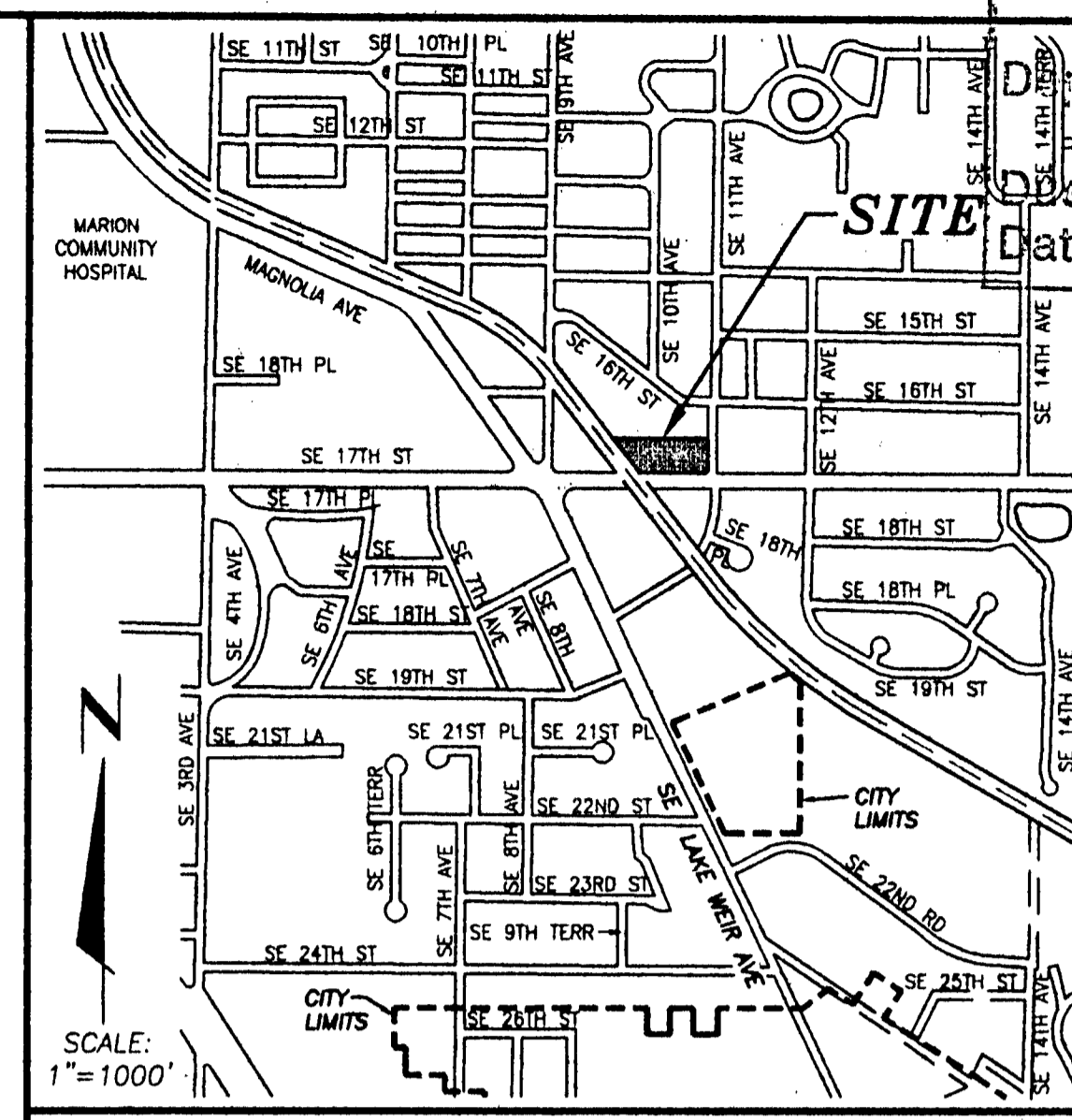
- DEMOLITION NOTES:**
- (D1) REMOVE ALL TREES THAT LIE EAST OF EXISTING OAKS ADJACENT TO EXISTING PARKING.
  - (D2) SHADING INDICATES REMOVE ASPHALT, CURB, AND CONCRETE WALK.
  - (D3) REMOVE ONE-STORY CONCRETE BLOCK BUILDING.
  - (D4) REMOVE OVERHEAD ELECTRIC SERVICE (BY CITY).
  - (D5) REMOVE GAS SERVICE (BY TECO).
  - (D6) REMOVE 34' OF CURB & GUTTER. INSTALL DROP CURB.
  - (D7) REMOVE DRIVEWAY AND DROP CURB. CONSTRUCT CURB & GUTTER, AND CONSTRUCT SIDEWALK CONNECTIONS.
  - (D8) RELOCATE LIGHT POLE.
  - (D9) RELOCATE EIGHT (8) OAKS AS CIRCLED. INCORPORATE WITH NEW LOCATIONS SHOWN ON LANDSCAPE PLAN.

**IMPORTANT !!**

THE LOTS TO THE NORTH CANNOT BE USED AS A STAGING AREA FOR CONSTRUCTION OF THIS PROJECT !!

EDGEWOOD PARK UNIT 4  
P.B. #, PAGE 24  
BLOCK 10  
R-1 ZONING  
LAND USE: MEDIUM DENSITY RESIDENTIAL

- GENERAL NOTES:**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF OCALA LAND DEVELOPMENT REGULATIONS, CITY OF OCALA'S WATER AND SANITARY SEWER CONSTRUCTION MANUAL (WSSCM) LATEST EDITION, AND THESE PLANS.
  - LANDSCAPING SHALL BE IN ACCORDANCE WITH CITY OF OCALA ORDINANCE NO. 2117 (SEE LANDSCAPE PLAN).
  - SIGNAGE MUST BE IN CONFORMANCE WITH THE CITY SIGN CODE AND IN ACCORDANCE WITH ALL APPLICABLE FOOT STANDARDS. SIGNS SHALL BE APPROVED UNDER A SEPARATE PERMIT.
  - NO CHANGE TO THE WORK AS SHOWN ON THESE PLANS SHALL BE MADE WITHOUT PRIOR APPROVAL BY BOTH CITY AND PROJECT ENGINEERS.
  - BOUNDARY, TOPOGRAPHIC, AND TREE INFORMATION IS BASED ON A SURVEY BY R.M. BARRINEAU & ASSOCIATES, INC. AND A SURVEY BY BUD HART SURVEYING, INC.
  - ALL ELEVATIONS AND CONTOURS ARE BASED ON THE BENCHMARK NOTED ON THESE PLANS.
  - PER SECTION 7-266, CODE OF ORDINANCES: FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY (WITH THE EXCEPTION OF DRIVEWAYS) A RIGHT-OF-WAY PERMIT (INCLUDING WET TAPS) MUST BE OBTAINED FROM THE ENCL. DEPT. A MINIMUM OF 24 HRS PRIOR TO START OF CONSTRUCTION. CONTACT BILL MCBRIDE AT 629-8521.
  - THE MINIMUM YARD WIDTH REQUIREMENTS PER SECTION 7-1118 ARE AS FOLLOWS: FRONT YARD= 25' SIDE YARD= 10' REAR YARD= 25' A 4'-WIDE OPEN SPACE IS PROVIDED ALONG THE PERIMETER OF THE SITE AS PER SECTION 7-746(C)(1).
  - LONDON ENGINEERING & ASSOCIATES, INC. AND ITS EMPLOYEES ARE NOT RESPONSIBLE FOR ON-SITE SAFETY DURING CONSTRUCTION.
  - BUILDING PLANS SHALL BE PREPARED BY HAL THOMAS REID & ASSOC. (732-4574) BUILDING SHALL BE HANDICAP ACCESSIBLE PER 1991 AMERICANS WITH DISABILITIES ACT (ADA). CLEAN AND SUITABLE MATERIAL SHALL BE USED FOR CONSTRUCTION OF BUILDING FOUNDATION AND SHALL BE COMPACTED TO 95% MAXIMUM DENSITY. VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
  - THE ESTIMATED SEWAGE FLOW IS 15,736 S.F. x 0.20 GPD/S.F. = 3147 G.P.D. TOTAL. THE ESTIMATED POTABLE WATER DEMAND IS 3147 X 1.1 = 3462 G.P.D. THE EXISTING IRRIGATION SYSTEM WILL BE EXPANDED FOR THE ADDITIONAL LANDSCAPING. THE ADDITIONAL IRRIGATION WATER DEMAND IS 400 G.P.D.
  - ALL DIMENSIONS AND RADII ARE REFERENCED TO FACE OF CURB AS APPLICABLE.
  - THE CONTRACTOR SHALL VERIFY THE LOCATION AND COVER OF ALL EXISTING UTILITIES AND REPORT ANY DISCREPANCY TO THE PROJECT ENGINEER. THERE MAY BE ADDITIONAL UTILITIES NOT SHOWN ON THESE PLANS, INCLUDING BUT NOT LIMITED TO GAS MAINS. CAUTION IS ADVISED PRIOR TO DIGGING.
  - TYPE-II SILT FENCE SHALL BE INSTALLED AS SHOWN ON THESE PLANS IMMEDIATELY FOLLOWING SITE CLEARING, MAINTAINED DURING THE LIFE OF THE PROJECT, AND REMOVED FOLLOWING COMPLETION OF CONSTRUCTION.
  - ALL DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF ANY NEW IMPERVIOUS AREAS.
  - THE SITE SHALL REMAIN FREE OF EXCESS DUST AND DEBRIS AT ALL TIMES. ANY INCIDENCE OF EROSION, SEDIMENTATION, DUST OR DEBRIS OCCURRING OFF-SITE AS A RESULT OF CONSTRUCTION ACTIVITIES ON THIS DEVELOPMENT SHALL BE CORRECTED BY THE CONTRACTOR IMMEDIATELY (FOR EACH OCCURRENCE).
  - IF ANY UNSUITABLE MATERIAL IS ENCOUNTERED WITHIN THE PROPOSED PARKING LOT, TWO (2) FEET OF UNDERCUT BELOW THE PROPOSED CONCRETE OR LIME/ROCK BASE SHALL BE REQUIRED, TOGETHER WITH SUITABLE BACKFILL MATERIAL. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER BEFORE PROCEEDING.
  - ASPHALT PAVEMENT SHALL BE 1 1/4" THICK (FDOT TYPE S-III) ON 8" LIME/ROCK BASE (98% MAX DENSITY, 100 LBS/102") (FDOT TYPE B) STABILIZED SUBGRADE (98% MAX DENSITY, 40 LBS/102").
  - ALL PARKING STALLS SHALL BE STRIPPED WITH 6" WHITE LINES. HANDICAP SPACE(S) SHALL BE SIGNED AND SHALL HAVE 6" BLUE LINES ADDED INSIDE EACH SPACE. ALL WORK IS TO BE IN ACCORDANCE WITH FOOT STANDARDS.
  - MINIMUM STRENGTH FOR ALL CONCRETE ON SITE SHALL BE 3000 P.S.I. AT 28 DAYS UNLESS OTHERWISE NOTED.
  - ANY NON-CONDUCTIVE UNDERGROUND LINES SHALL BE INSTALLED WITH LOCATOR WIRE. TELEPHONE AND ELECTRIC CONTRACTORS SHALL COORDINATE WITH SITE CONTRACTOR FOR ANY SLEEVING OR CONCRETE EASEMENT REQUIREMENTS. ALL UNDERGROUND UTILITIES SHALL BE INSPECTED BY CITY PRIOR TO COVERING.
  - ALL AREAS DISTURBED AND NOT PAVED DURING CONSTRUCTION SHALL BE RESTORED AND GRESSED UNLESS SOD IS SPECIFICALLY PROPOSED. ALLOW FOR THICKNESS OF ANY SOD WITH A 2" UNDERCUT. ANY DISTURBANCE WITHIN PUBLIC R/W SHALL BE SOODED.
  - AN AS-BUILT CERTIFICATION SHALL BE PROVIDED TO THE CITY OF OCALA BY A DESIGN PROFESSIONAL UPON REVIEW AND APPROVAL OF THE COMPLETED CONSTRUCTION.
  - COPIES OF ALL PERMITS FROM APPLICABLE REGULATORY AGENCIES SHALL BE PROVIDED TO THE CITY WHEN AVAILABLE AND PRIOR TO ISSUANCE OF A BUILDING PERMIT.
  - A STORMWATER UTILITY INFORMATION AND COMPLETION REPORT SHALL BE SUBMITTED TO THE CITY PRIOR TO FINAL INSPECTION.
  - AN IMPACT FEE WILL BE DUE BEFORE PERMIT APPROVAL.
  - INCREASE IN TRASH REMOVAL SERVICE WILL BE NEEDED FOR THE NEW BUILDING.



**LEGAL DESCRIPTION:**

LOTS 8, 9, 10, AND 11 BLOCK "10" OF "EDGEWOOD PARK UNIT 4", AS RECORDED IN PLAT BOOK "7", PAGE 24 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

**FLOOD CERTIFICATION:**

FLOOD ZONE "C" - AN AREA OF MINIMAL FLOODING, AS PER THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 120330 0002 C, EFFECTIVE SEPTEMBER 22, 1978.

**GENERAL STATEMENT:**

THE CHARACTER AND INTENDED USE OF THIS DEVELOPMENT SHALL BE THE DEMOLITION OF SOME EXISTING IMPROVEMENTS AND CONSTRUCTION OF A MEDICAL ADMINISTRATION OFFICE BUILDING TOGETHER WITH ALL REQUIRED IMPROVEMENTS AS SHOWN HEREON.

**STATEMENT OF OWNERSHIP:**

THE PROPERTY AND ALL IMPROVEMENTS AS SHOWN ARE OWNED AND SHALL BE PERPETUALLY MAINTAINED BY ROBERT CLAYTON ALBRIGHT, TRUSTEE, HIS HEIRS AND ASSIGNS.

**SITE DATA:**

PROJECT NAME: OCALA ORTHOPAEDIC GROUP  
PROJECT LOCATION: 1015 S.E. 17th ST OCALA, FL 34471  
OWNERS: ELIZABETH A. & O.F. CANNON JR.  
ROBERT CLAYTON ALBRIGHT, TRUSTEE  
CONTACT: ROBERT CLAYTON ALBRIGHT, TRUSTEE  
ADDRESS: 320 N.W. 3rd AVENUE OCALA, FL 34475  
TELEPHONE: 352-620-8005  
ZONING: R-0  
LAND USE: MEDIUM DENSITY RESIDENTIAL  
PARCEL ACCT. NO. / OWNER: 2937-010-008 THROUGH 2937-010-010  
ELIZABETH A. & O.F. CANNON JR.  
2937-010-011, R. C. ALBRIGHT, TRUSTEE  
AND ELIZABETH A. & O.F. CANNON JR.

**LANDSCAPE DATA:**

SITE AREA: 86,232 S.F. = 1.98 ACRES = 100%  
TOTAL IMPERVIOUS AREA: 59,175 S.F. = 68.6%  
BUILDING FLOOR AREA RATIO: 12,175 SF EXISTING  
3,561 SF PROPOSED  
15,736 SF TOTAL = 18.2%  
MAXIMUM BLDG. HEIGHT: 30 FEET

**PARKING CALCULATIONS:**

PARKING REQUIRED:  
15,736 OFFICE / 300 SF = 52 SPACES  
15 EMPLOYEES / 1 SPACE PER = 15 SPACES  
TOTAL = 67 SPACES

PARKING PROVIDED:  
REGULAR AUTO SPACES = 92 SPACES  
HANDICAP AUTO SPACES = 4 SPACES  
TOTAL = 96 SPACES

LOADING SPACES REQUIRED & PROVIDED = 1

**LANDSCAPE DATA:**

REQUIRED OPEN SPACE: 20% OF 86,232 S.F. = 17,246 S.F.  
PROVIDED OPEN SPACE: 27,057 S.F. (31.4% (DFA NOT APPLICABLE))  
REQUIRED SHADE TREES: 1/3,000 OF 86,232 S.F. = 28.744 TREES  
PROVIDED SHADE TREES: 16 EXISTING  
13 PROPOSED  
29 TOTAL

**EXISTING SHADE TREE CALCULATIONS:**

EXISTING SHADE TREES = 19  
EXISTING DENSITY = 9.6 PER ACRE  
REQUIRED POST DENSITY = 16  
EXISTING SHADE TREES SAVED = 16  
PROPOSED POST DENSITY = 8.1 SHADE TREES PER ACRE

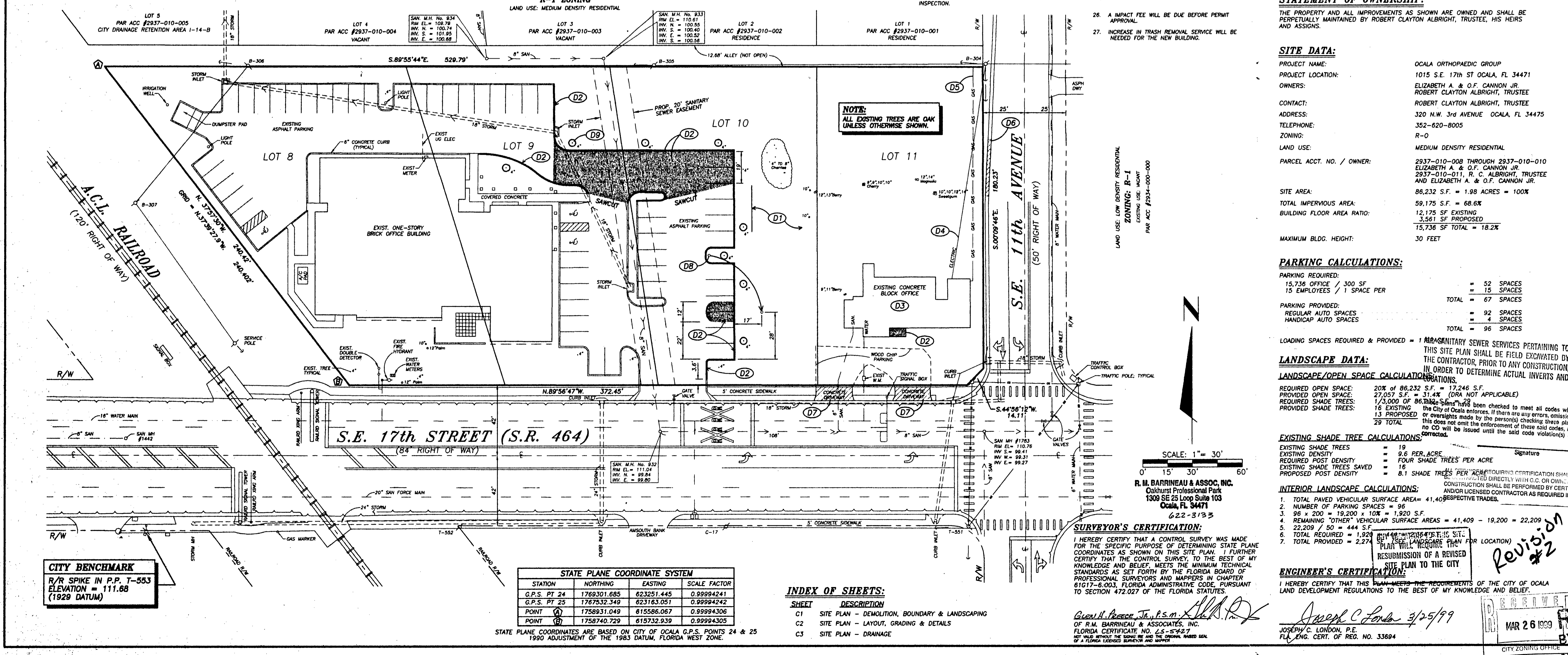
**INTERIOR LANDSCAPE CALCULATIONS:**

1. TOTAL PAVED VEHICULAR SURFACE AREA = 41,409 - 19,200 = 22,209  
2. NUMBER OF PARKING SPACES = 96  
3. 96 x 200 = 19,200 x 10% = 1,920 S.F.  
4. REMAINING "OTHER" VEHICULAR SURFACE AREA = 41,409 - 19,200 = 22,209  
5. 22,209 / 50 = 444 S.F.  
6. TOTAL REQUIRED = 1,920 + 444 = 2,364 S.F.  
7. TOTAL PROVIDED = 2,274 S.F.

**ENGINEER'S CERTIFICATION:**

I HEREBY CERTIFY THAT THIS PLAN MEETS THE REQUIREMENTS OF THE CITY OF OCALA LAND DEVELOPMENT REGULATIONS TO THE BEST OF MY KNOWLEDGE AND BELIEF.

JOSEPH C. LONDON, P.E.  
FL. ENG. CERT. OF REG. NO. 33694



**CITY BENCHMARK**

R/R SPIKE IN P.P. T-553  
ELEVATION = 111.68  
(1929 DATUM)

**STATE PLANE COORDINATE SYSTEM**

STATION	NORTHING	EASTING	SCALE FACTOR
G.P.S. PT 24	1769301.685	623251.445	0.99994241
G.P.S. PT 25	1769302.349	623163.051	0.99994242
POINT (A)	1758931.049	615586.067	0.99994306
POINT (B)	1758740.729	615732.939	0.99994305

STATE PLANE COORDINATES ARE BASED ON CITY OF OCALA C.P.S. POINTS 24 & 25 1990 ADJUSTMENT OF THE 1983 DATUM, FLORIDA WEST ZONE.

**INDEX OF SHEETS:**

SHEET	DESCRIPTION
C1	SITE PLAN - DEMOLITION, BOUNDARY & LANDSCAPING
C2	SITE PLAN - LAYOUT, GRADING & DETAILS
C3	SITE PLAN - DRAINAGE

**LONDON ENGINEERING and Associates, Inc.**  
2817 N.E. 3rd Street  
Ocala, Florida 34470  
Phone: (352) 690-9551 Fax: (352) 690-6171

**DATE: 3/25/99**

**REVISION #2**

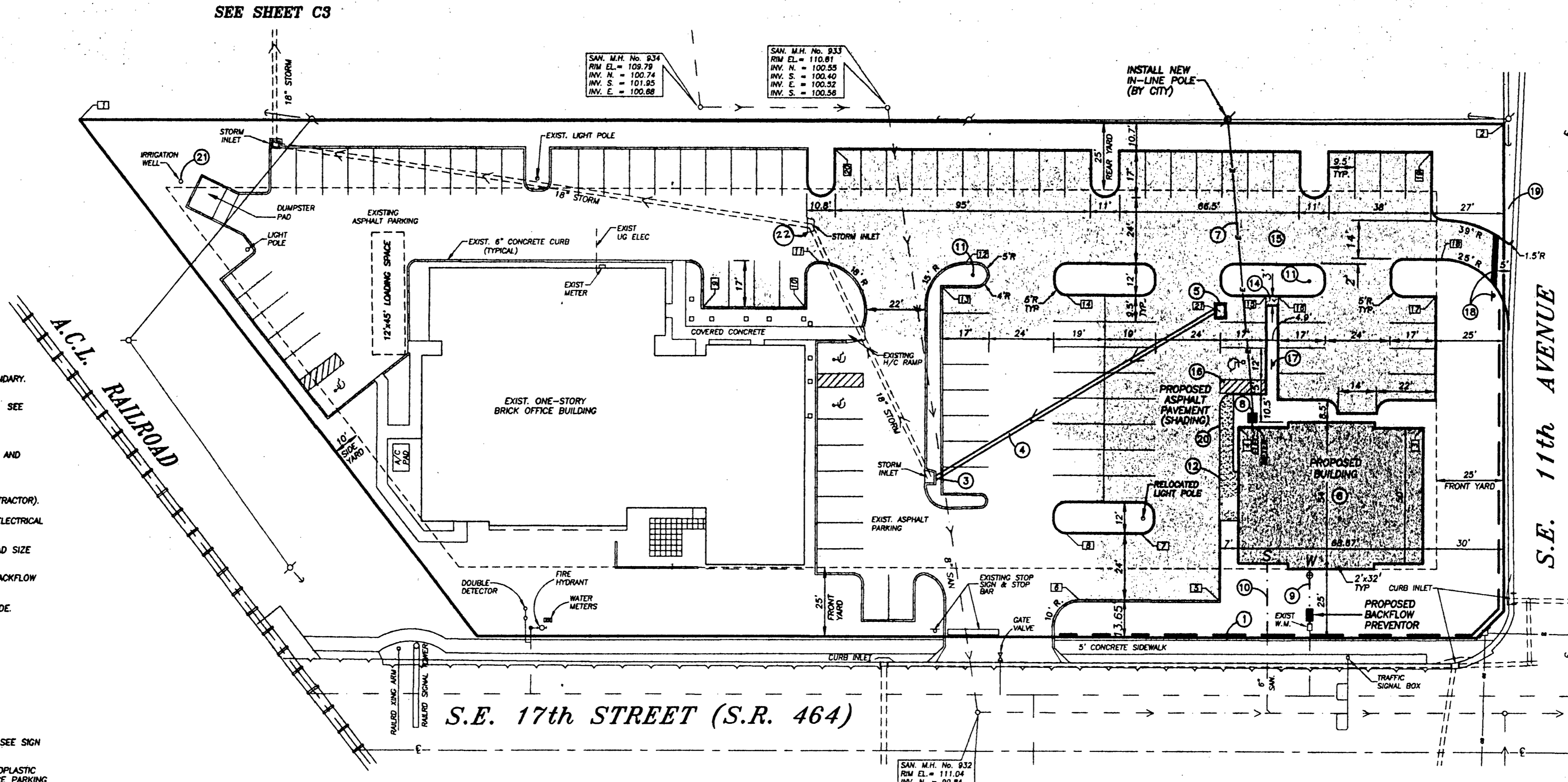
**RECEIVED**  
CITY OF OCALA  
MAY 26 1999

**REVIEWED**  
CITY OF OCALA  
MAY 19 1999

**APPROVED**  
CITY OF OCALA  
MAY 19 1999

**CONSTRUCTION NOTES:**

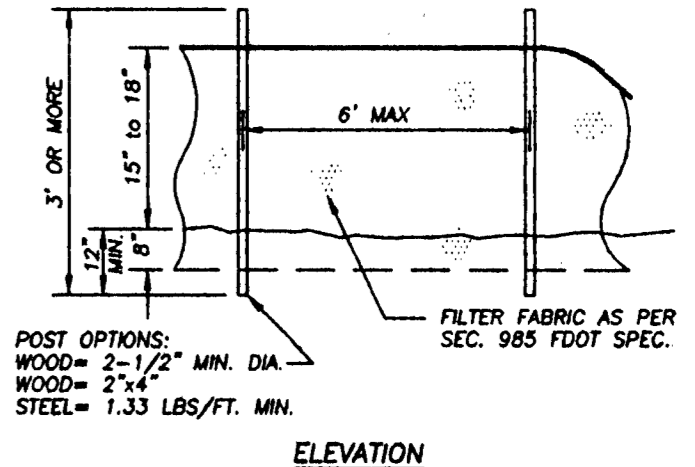
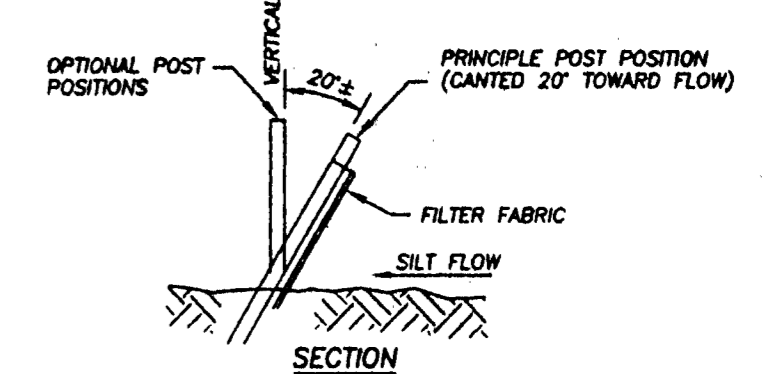
- 1 TEMPORARILY INSTALL 275 L.F. OF TYPE III SILT FENCE AS SHOWN ALONG THE SOUTH & EAST BOUNDARY. SEE GENERAL NOTE 14, AND SEE DETAIL.
- 2 SEE SHEET C3. EXPAND THE EXISTING DRAINAGE RETENTION AREA WITH 5:1 SLOTTED SIDE SLOPES. SEE CROSS SECTION A.
- 3 CONSTRUCT A NEW INVERT ON EAST SIDE OF EXISTING INLET AT EL= 107.9.
- 4 INSTALL 124 L.F. OF 12"x18" RCP AT 0.52% SLOPE. CONSTRUCT TRENCH WITH PAVEMENT REPLACEMENT, AND REPAIR CURB AS NEEDED.
- 5 INSTALL TYPE 7" DITCH BOTTOM INLET PER FDOT INDEX 233. TOP EL= 111.1, W. INV= 108.55.
- 6 CONSTRUCT ONE-STORY MASONRY BUILDING. FINISH FLOOR ELEVATION= 113.0 (BY BUILDING CONTRACTOR).
- 7 INSTALL UNDERGROUND ELECTRIC SERVICE WITH TWO 2" SCH 40 PVC ELECTRICAL CONDUITS. SEE ELECTRICAL NOTES (BY BUILDING CONTRACTOR).
- 8 INSTALL ELECTRIC TRANSFORMER ON 6"-THICK CONCRETE PAD (BY BUILDING CONTRACTOR). THE PAD SIZE SHALL BE DETERMINED BY THE CITY OF OCALA ELECTRICAL ENGINEERING DEPT.
- 9 INSTALL NEW 1" PVC WATER LINE TO BUILDING WITH 1" FIBRO MODEL 825Y REDUCED PRESSURE BACKFLOW PREVENTOR (BY BUILDING CONTRACTOR).
- 10 INSTALL NEW 6" PVC SANITARY SEWER SERVICE AT 1.04% MINIMUM SLOPE WITH CLEANOUTS PER CODE.
- 11 INSTALL LIGHT POLE TO MATCH OTHER EXISTING LIGHT POLES. (TWO TOTAL)
- 12 CONSTRUCT 4"-THICK CONCRETE COVERED ENTRY.
- 13 CONSTRUCT 6"x18" CONCRETE BARRIER CURB INDICATED WITH DOUBLE LINES. SEE DETAIL.
- 14 CONSTRUCT 3"-WIDE CONCRETE CHANNEL. SEE DETAIL.
- 15 CONSTRUCT ASPHALT PAVEMENT. SEE GENERAL NOTES 18 & 19.
- 16 PAINT 5'-WIDE STRIPED ASLE FOR CLEAR ACCESS.
- 17 INSTALL HANDICAP SIGN (7"-HIGH FROM BOTTOM OF SIGN TO FINISH GRADE) AT 2' BEHIND CURB. SEE SIGN DETAIL.
- 18 INSTALL STOP SIGN (7"-HIGH FROM BOTTOM OF SIGN TO FINISH GRADE) AND PAINT 2'-WIDE THERMOPLASTIC WHITE STOP BAR AS SHOWN. ALSO, ON THE SAME POST, INSTALL "RIGHT TURN ONLY" SIGN TO FACE PARKING AND INSTALL "DO NOT ENTER" SIGN TO FACE ROAD.
- 19 REGRADE AND SOD ALL DISTURBED AREAS WITHIN RIGHT-OF-WAY.
- 20 CONSTRUCT 5'-WIDE 4"-THICK CONCRETE SIDEWALK.
- 21 INSTALL CITY OF OCALA APPROVED PRESSURE VACUUM BREAKER ON EXISTING IRRIGATION SYSTEM.
- 22 INSTALL H-20 TRAFFIC GRATE ON EXISTING INLET.



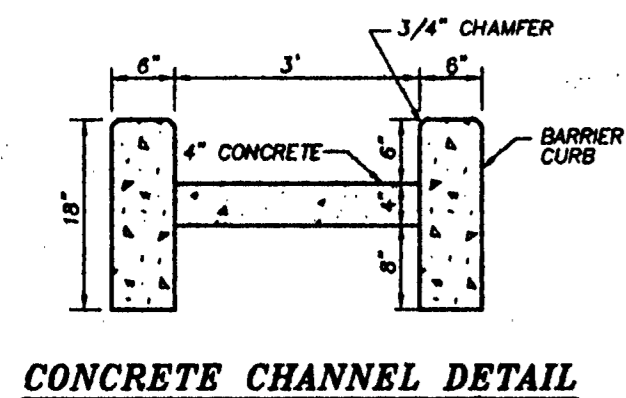
**LAYOUT PLAN**

**PROPOSED CONSTRUCTION COORDINATES DATA**

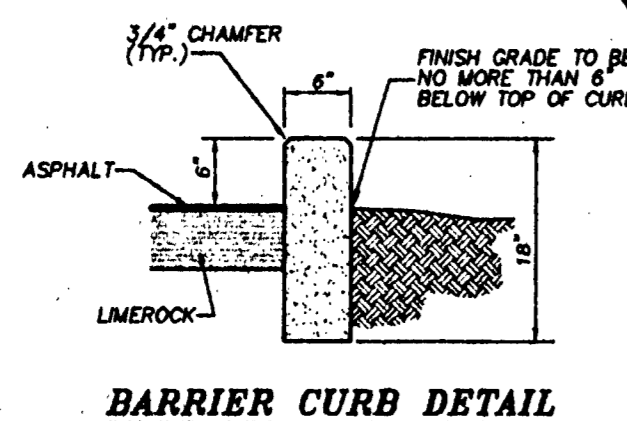
NO	DESCRIPTION	NORTHING	EASTING
1	PROPERTY CORNER	4518.0954	5792.2229
2	PROPERTY CORNER	4517.4379	6322.0125
3	BUILDING CORNER	4405.2172	6292.5774
4	BUILDING CORNER	4405.3477	6223.9075
5	CORNER ASPHALT	4341.8947	6216.8150
6	PT ASPHALT	4341.9934	6164.8080
7	PT ASPHALT	4365.9497	6187.8607
8	PC ASPHALT	4366.0029	6159.8607
9	CORNER ASPHALT	4449.5384	6024.0933
10	CORNER ASPHALT	4449.4662	6062.0933
11	PCC ASPHALT	4466.1788	6087.3063
12	PT ASPHALT	4466.0744	6122.3099
13	CORNER ASPHALT	4456.8435	6113.6519
14	PT ASPHALT	4454.0027	6160.0278
15	CORNER ASPHALT	4453.8622	6234.0277
16	CORNER ASPHALT	4453.8530	6238.8738
17	CORNER ASPHALT	4453.7428	6296.8737
18	PC ASPHALT	4467.7355	6298.8567
19	CORNER ASPHALT	4506.7464	6295.0430
20	CORNER ASPHALT	4507.1671	6073.5434
21	CENTER INLET	4448.4795	6217.0219



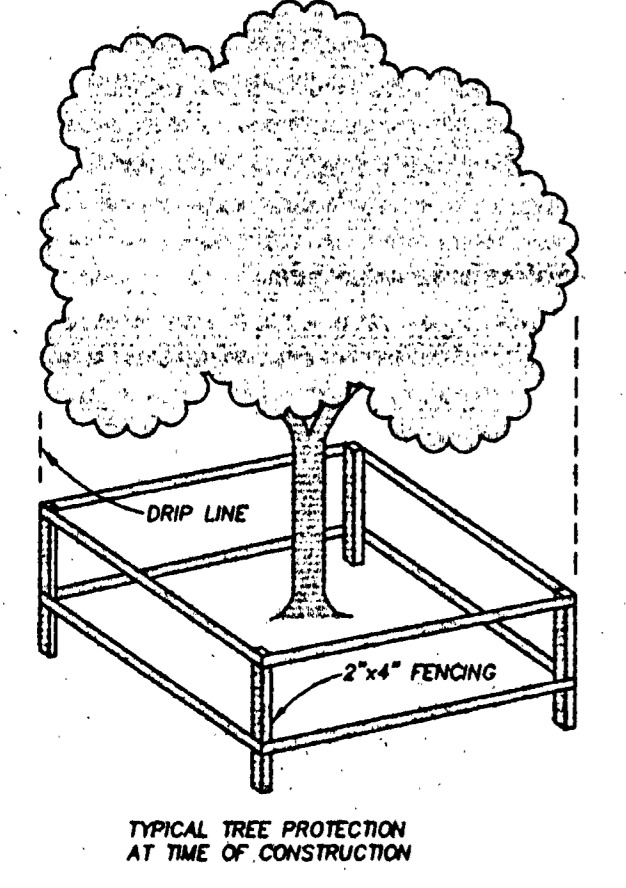
**TYPE III SILT FENCE DETAIL**  
FOOT INDEX #102



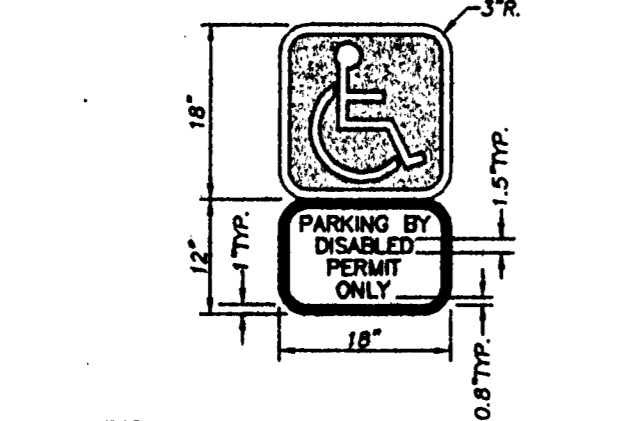
**CONCRETE CHANNEL DETAIL**



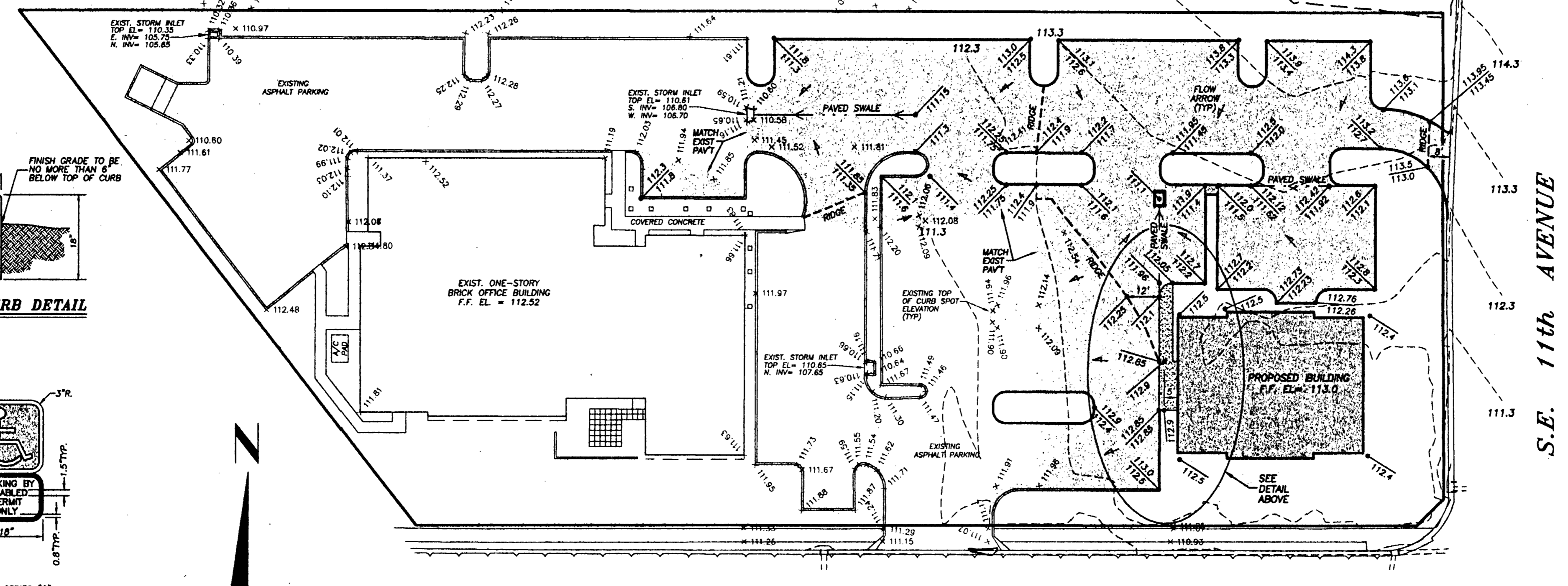
**BARRIER CURB DETAIL**



**TREE PROTECTION DETAIL**

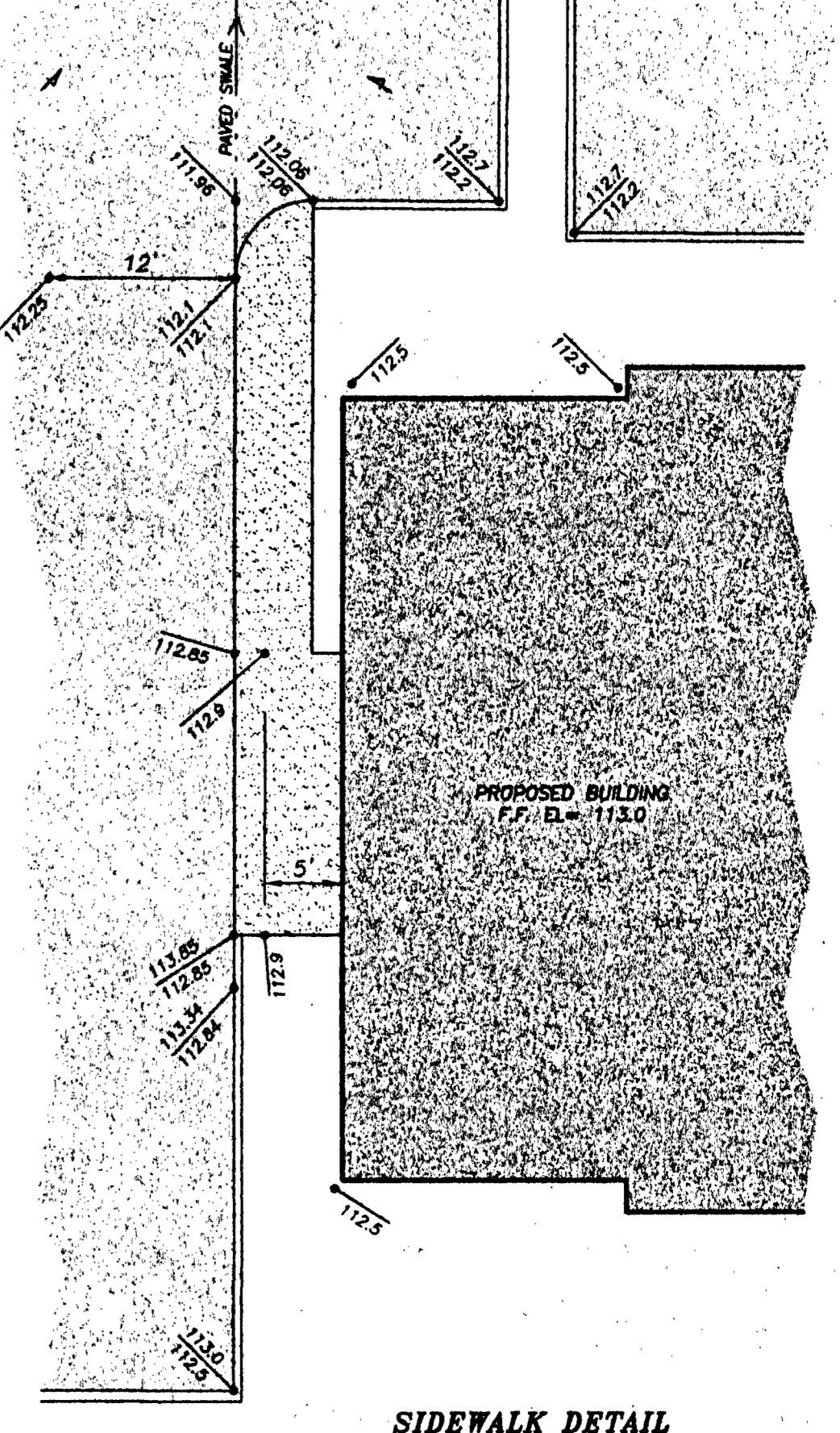
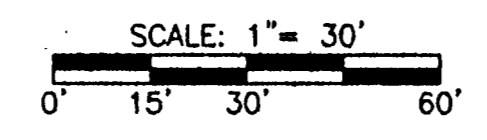


**HANDICAP SIGN**



S.E. 17th STREET (S.R. 464)

**GRADING PLAN**



**SIDEWALK DETAIL**  
SCALE: 1" = 10"

**SITE PLAN - LAYOUT, GRADING & DETAILS**  
**ORTHOPAEDIC GROUP, P.A.**  
Dated or Approved  
CITY OF OCALA  
Site Plan New VOID

**LONDON ENGINEERING and Associates, Inc.**  
2817 N.E. 3rd Street  
Ocala, Florida 34470  
Phone: (352) 690-9551 Fax: (352) 690-6171

NO	PER CITY REVIEW	H.W.B.	DATE
2	PER CITY REVIEW	3-25-99	
1	PER CITY REVIEW	3-02-99	
NO	REVISION	BY	DATE
DESIGN	J.C.L.		02-02-99
DRAW	H.W.B./M.S.D.		98104
CHECK	J.C.L.		SP104

SHEET C2 of 3



# SITE IMPROVEMENT PLANS FOR OCALA ORTHOPAEDIC GROUP, P.A.

**Note: Any Previously  
Dated or Approved  
Site Plan Now VOID**

## MEDICAL OFFICE CITY OF OCALA, FLORIDA

### CITY OF OCALA ELECTRICAL SERVICE NOTES:

- 1) SERVICE VOLTAGE WILL BE 120/208 VOLTS, THREE PHASE.
- 2) FIVE DAYS PRIOR TO DIGGING, CALL CITY DISTRIBUTION DEPARTMENT (351-6620) FOR LOCATION OF UNDERGROUND FACILITIES.
- 3) UNDERGROUND ELECTRIC SERVICE WILL BE THE CUSTOMERS RESPONSIBILITY AND EXPENSE. CONTACT THE CITY OF OCALA ELECTRIC ENGINEERING DIVISION AT (351-6620) 8 WEEKS PRIOR TO TEMP/PERMANENT SERVICE.
- 4) NO TREES CAN BE PLANTED AROUND, OVER OR UNDER ANY EXISTING OR PROPOSED POWER LINES. THIS INCLUDES ANY LINES DESIGNED AFTER FINAL SITE PLAN APPROVAL.
- 5) A TEN (10) FOOT ELECTRIC DISTRIBUTION EASEMENT WILL BE REQUIRED FOR UNDERGROUND CONSTRUCTION. OVERHEAD CONSTRUCTION WILL REQUIRE A TWENTY (20) FOOT EASEMENT.

### UTILITY LOCATION AND INFORMATION:

BEFORE DIGGING, OR FOR INFORMATION AND SCHEDULING OF CONNECTIONS, DISCONNECTIONS, OR OTHER UTILITY-RELATED WORK, CONTACT:

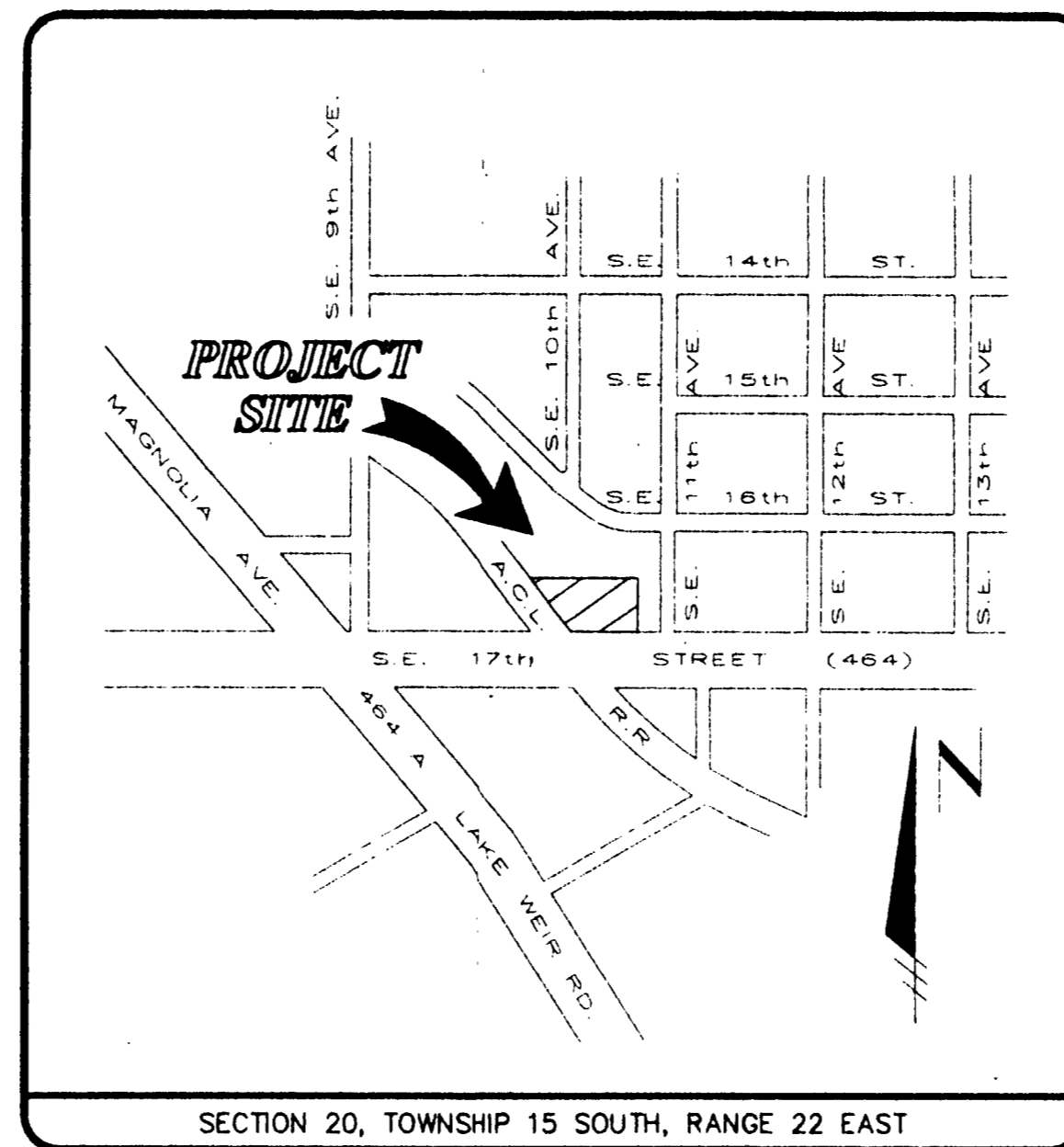
CITY OF OCALA WATER & SEWER DEPARTMENT ..... 904-351-8775  
 CITY OF OCALA ELECTRIC ENGINEERING ..... 904-351-6620  
 WEST FLORIDA NATURAL GAS ..... 904-822-0112  
 UNITED TELEPHONE OF FLORIDA ..... 1-800-432-4770  
 COX CABLE OF OCALA ..... 904-854-3333

### WORK IN F.D.O.T. RIGHT OF WAY:

- 1) CONTACT F.D.O.T. MAINTENANCE OFFICE AT (904) 737-1338 PRIOR TO WORK IN F.D.O.T. RIGHT OF WAY.
- 2) ALL CONSTRUCTION IN STATE ROAD RIGHT OF WAY SHALL COMPLY WITH F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, DATED 1991, AND 1994 ROADWAY AND TRAFFIC DESIGN STANDARDS.

### GENERAL NOTES:

- 1) THE LOCATIONS OF EXISTING FACILITIES HAVE BEEN DETERMINED FROM THE MOST RELIABLE INFORMATION AVAILABLE. CONTRACTOR SHALL VERIFY ALL LOCATIONS AND DIMENSIONS IN THE FIELD AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND SITE CONDITIONS TO THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- 2) CONTRACTOR SHALL MAINTAIN IN A SAFE PLACE AT THE SITE ONE RECORD COPY OF DRAWINGS IN GOOD ORDER AND ANNOTATED TO SHOW ALL CHANGES MADE DURING CONSTRUCTION. THESE RECORD DOCUMENTS WILL BE AVAILABLE TO ENGINEERS FOR REFERENCE. UPON COMPLETION OF THE WORK, THESE RECORD DOCUMENTS SHALL BE DELIVERED TO ENGINEER.
- 3) REFERENCE TO STANDARD SPECIFICATIONS, MANUALS, OR CODES SHALL MEAN THE LATEST REVISION AS OF THE DATE OF THE CONTRACT GOVERNING THIS WORK.
- 4) CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF, AND SHALL PROVIDE THE NECESSARY PROTECTION TO PREVENT DAMAGE, INJURY OR LOSS TO:
  - ALL EMPLOYEES ON THE WORK AND OTHER PERSONS AND ORGANIZATIONS WHO MAY BE AFFECTED THEREBY;
  - ALL THE WORK AND MATERIALS AND EQUIPMENT TO BE INCORPORATED THEREIN, WHETHER IN STORAGE ON OR OFF THE SITE; AND
  - OTHER PROPERTY AT THE SITE OR ADJACENT THERETO, INCLUDING TREES, SHRUBS, LAWNS, WALKS, PAVEMENTS, ROADWAYS, STRUCTURES, UTILITIES AND UNDERGROUND FACILITIES NOT DESIGNATED FOR REMOVAL, RELOCATION, OR REPLACEMENT IN THE COURSE OF CONSTRUCTION.
- 5) CONTRACTOR SHALL PROVIDE ADEQUATE SIGNS, BARRICADES, FLASHING LIGHTS, FLAGMEN AND WATCHMEN AND TAKE ALL NECESSARY PRECAUTIONS FOR THE PROTECTION OF THE WORK AND SAFETY OF THE PUBLIC. TRAFFIC CONTROL PROCEDURES SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION'S MANUAL ON TRAFFIC CONTROLS AND SAFE PRACTICES FOR STREET AND HIGHWAY CONSTRUCTION, MAINTENANCE, AND UTILITY OPERATIONS. ALL BARRICADES AND OBSTRUCTIONS SHALL BE PROTECTED AT NIGHT BY FLASHING SIGNAL LIGHTS WHICH SHALL BURN DURING ALL SUCH TIMES AS REQUIRED BY LAWS AND REGULATIONS.
- 6) NO DEVIATION FROM THESE PLANS MAY BE MADE WITHOUT THE ENGINEER'S PRIOR WRITTEN APPROVAL.



SECTION 20, TOWNSHIP 15 SOUTH, RANGE 22 EAST  
LOCATION MAP

### CITY OF OCALA GENERAL REGULATORY STATEMENTS:

- 1) ALL CONSTRUCTION COVERED BY THESE PLANS SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE CITY OF OCALA LAND DEVELOPMENT REGULATIONS.
- 2) PROVIDE THE CITY WITH A COPY OF ALL PERMITS OBTAINED FROM REGULATORY AGENCIES AND WATER MANAGEMENT DISTRICTS PRIOR TO CERTIFICATE OF OCCUPANCY.
- 3) SUBMIT A STORMWATER UTILITY INFORMATION AND COMPLETION REPORT PRIOR TO FINAL INSPECTION.
- 4) PROFESSIONAL'S CERTIFICATION OR AS-BUILT PLANS REQUIRED BEFORE CERTIFICATE OF OCCUPANCY.
- 5) ON-SITE SIGNS AND FLAG POLES REQUIRE SEPARATE APPROVAL AND PERMIT.
- 6) TREE REMOVAL AND SITE CLEARING PERMIT REQUIRED BEFORE BUILDING PERMIT ISSUED.
- 7) ALL UNDERGROUND UTILITIES WHICH ARE NON-CONDUCTIVE SHALL HAVE LOCATOR WIRE.
- 8) ALL LANDSCAPING AND OPEN SPACE TO BE PROTECTED FROM VEHICULAR TRAFFIC WITH CONCRETE CURB WHERE SHOWN.

### PERMITS & APPROVALS:

CITY OF OCALA SITE PLAN APPROVAL  
 BY: SITE PLAN COORDINATOR DATED \_\_\_\_\_

STORM WATER MANAGEMENT SYSTEM (SWRMD)  
 PERMIT # 42-083-076N DATED SEPTEMBER 21, 1995

F.D.E.P. WATER DISTRIBUTION SYSTEM APPROVAL  
 PERMIT # N/A DATED \_\_\_\_\_

F.D.E.P. SEWAGE COLLECTION SYSTEM  
 PERMIT # N/A DATED \_\_\_\_\_

F.D.O.T. DRIVEWAY CONNECTION  
 PERMIT # \_\_\_\_\_ DATED \_\_\_\_\_

F.D.O.T. DRAINAGE CONNECTION  
 PERMIT # N/A DATED \_\_\_\_\_

F.D.O.T. UTILITY PERMIT  
 PERMIT # \_\_\_\_\_ DATED \_\_\_\_\_

NOTE:  
 PLANS NOT STAMPED "ISSUED FOR CONSTRUCTION" ARE PRELIMINARY AND ARE NOT VALID FOR CONSTRUCTION PURPOSES.

REVISIONS TO DESIGN FOLLOWING ISSUANCE OF PLANS FOR CONSTRUCTION WILL BE ACCOMPANIED BY A CHANGE ORDER OR FIELD ORDER AND BY PRINTS OF REVISED SHEETS. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING CURRENT PLANS AND FOR CONSTRUCTING PROJECT IN ACCORDANCE WITH CURRENT PLANS.

**ISSUED FOR CONSTRUCTION** DATED 9-27-95

### PROJECT INFORMATION:

PROJECT NAME: OCALA ORTHOPAEDIC GROUP, P.A. MEDICAL OFFICE  
 OWNER: DR. O.F. CANNON JR. 2760 S.E. 17th STREET OCALA, FLORIDA 34471 PHONE: (904) 351-3422

PARCEL: SEE SHEET 2  
 LAND USE: SEE SHEET 2  
 ZONING: SEE SHEET 2  
 BUILDING SETBACKS: FRONT = 25 FT.; REAR = 25 FT.; SIDE = 10 FT.  
 PROPERTY DESCRIPTION: SEE SHEET 2  
 BUILDING AREA (FLOOR AREA RATIO): 11,946 S.F. (17.73%)  
 BUILDING HEIGHT: 35.0' (MAX.) ABOVE FINISHED FLOOR  
 SITE AREA: 67,381 S.F. (1.547± AC.)  
 FLOOD ZONE: "C" - AN AREA OF MINIMAL FLOODING PER THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 12330 0002 C EFFECTIVE SEPTEMBER 22, 1978.

PARKING REQUIREMENTS: 11,946 S.F. MEDICAL OFFICE 14 EMPLOYEES  
 1 SPACES PER 300 S.F. 1 SPACE PER EMPLOYEE  
 40 SPACES REQUIRED 14 SPACES REQUIRED

TOTAL PARKING REQUIRED: 54 SPACES  
 TOTAL PARKING PROVIDED: 54 SPACES

PARKING AREA: STANDARD PARKING SPACE: 17.0 x 9.5 = 161.5 S.F.  
 HANDICAP PARKING SPACE: 17.0 x 12.0 = 204 S.F.  
 51 SPACES @ 161.5 = 8,236.5 S.F.  
 3 SPACES @ 204 = 612.0 S.F.  
 TOTAL PARKING AREA: 8,848.5 S.F.  
 OTHER PAVED AREAS: 15,091.5 S.F.

INTERIOR LANDSCAPING: 8,848.5 S.F. x 10 = 88,485 S.F.  
 15,091.5 S.F. x 50 S.F. = 754,575 S.F.  
 TOTAL LANDSCAPING REQUIRED: 1,668,060 S.F.  
 TOTAL LANDSCAPING PROVIDED: 1,330.00 S.F.

LANDSCAPE/OPEN SPACE: OPEN SPACE REQUIRED: 67,381 x 20% = 13,476 S.F.  
 OPEN SPACE PROVIDED: 29,627 S.F. (43.97%)  
 (EXCLUDING D.R.A.)

SHADE TREES REQUIRED: SITE AREA: 67,381 S.F.  
 67,381 / 3,000 = 23 TREES  
 SHADE TREES PROVIDED: 10 EXIST. TO BE REMOVED  
 10 EXIST. TO BE SAVED  
 13 PROPOSED  
 23 TOTAL

GENERAL STATEMENT: THE CHARACTER AND INTENDED USE OF THIS DEVELOPMENT SHALL BE THE CONSTRUCTION OF MEDICAL OFFICES.

GENERAL LEGEND:	
--- PROJECT BOUNDARY LINE	⊕ PROPOSED VALVE
--- RIGHT OF WAY OR PROPERTY LINE	⊙ EXISTING WATER WELL
--- EASEMENT OR SETBACK LINE	⊗ EXISTING WOOD UTILITY POLE
--- EXISTING PAVEMENT	⊘ PROPOSED WOOD UTILITY POLE
--- PROPOSED PAVEMENT	⊙ EXISTING CONCRETE UTILITY POLE
--- CENTERLINE	⊘ PROPOSED CONCRETE UTILITY POLE
--- EXISTING STRUCTURES	⊙ EXISTING LIGHT POLE
--- EXISTING CONTOUR	⊘ PROPOSED LIGHT POLE
-x-x- FENCE LINE	⊙ GUY ANCHOR AND ANCHOR PIN
--- GATE	⊙ DRAINAGE FLOW
--- OVERHEAD ELECTRIC	⊙ TRAFFIC FLOW ARROW
--- OVERHEAD TELEPHONE CABLE	⊙ PAYMENT ARROW
--- OVERHEAD CABLE TELEVISION	⊙ FOUND CONCRETE MONUMENT
--- UNDERGROUND ELECTRIC	⊙ SET CONCRETE MONUMENT
--- UNDERGROUND TELEPHONE CABLE	⊙ FOUND IRON ROD
--- UNDERGROUND CABLE TELEVISION	⊙ SET IRON ROD
--- EXISTING GAS LINE	⊙ FOUND NAIL & DISC
--- PROPOSED GAS LINE	⊙ SET NAIL & DISC
--- EXISTING WATER MAIN	⊙ EXISTING ELEVATION
--- PROPOSED WATER MAIN	⊙ PROPOSED ELEVATION
--- EXISTING SANITARY SEWER	⊙ SOIL BORING LOCATION
--- PROPOSED SANITARY SEWER	⊙ STATE PLANE COORDINATE NUMBER
--- EXISTING FIRE HYDRANT	⊙ TRAFFIC SIGN (POST MOUNTED) SEE REGULATORY SIGN DETAILS
--- PROPOSED FIRE HYDRANT	⊙ STOP BAR
--- EXISTING WATER VALVE	⊙ HANDICAP SYMBOL

DESIGNED BY:

**JOHN P. DANIELS ENGINEERING, INC.**

209 NORTHEAST 36th AVENUE  
OCALA, FLORIDA 34470

PHONE (904) 694-4147  
FAX (904) 694-3337

PROJECT NO. 245-01

**REVIEWED  
BY CITY OF OCALA**  
 DATE 9/27/95  
 BY *Phil Shumler*

These plans have been checked to meet all codes which the City of Ocala enforces. If there are any errors, omissions, or omissions made by the person(s) checking these plans, the City will not be held responsible for the enforcement of these plans, and no CO will be issued until the said code violation(s) are corrected.

### PLAN SHEET INDEX:

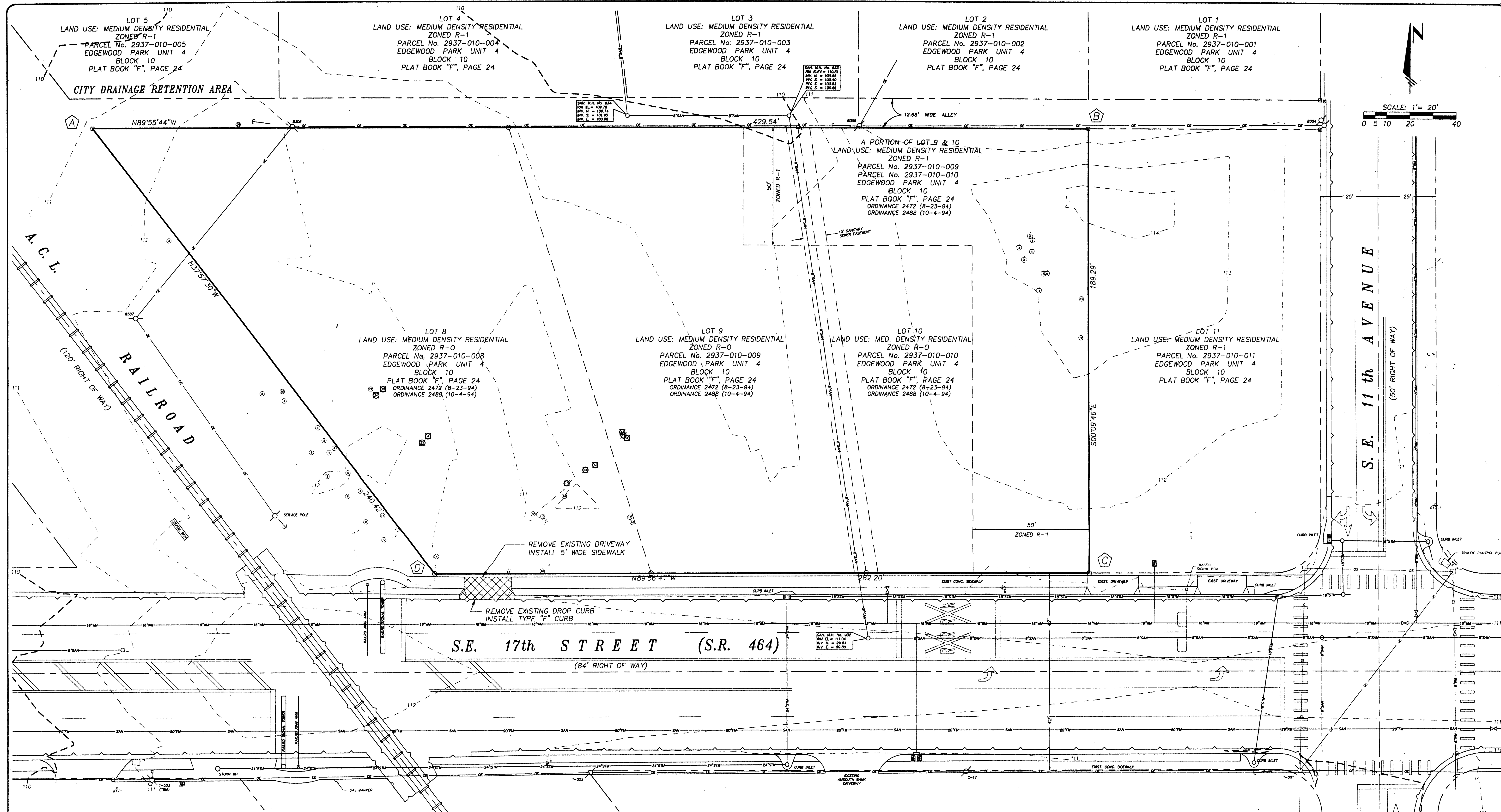
TITLE SHEET	1
SURVEY / DEMOLITION AND CLEARING PLAN	2
SITE AND UTILITY PLAN	3
PAVING, GRADING, AND DRAINAGE PLAN	4
DETAILS	5

ANY VARIATION TO THIS SITE PLAN WILL REQUIRE THE RESUBMISSION OF A REVISED SITE PLAN TO THE CITY

ALL SANITARY SEWER SERVICES PERTAINING TO THIS SITE PLAN SHALL BE FIELD EXCAVATED BY THE CONTRACTOR, PRIOR TO ANY CONSTRUCTION, IN ORDER TO DETERMINE ACTUAL INVERTS AND LOCATIONS.

**ENGINEER'S CERTIFICATION**  
 I HEREBY CERTIFY THAT THIS SITE DEVELOPMENT PLAN IS DESIGNED IN ACCORDANCE WITH ALL APPLICABLE CITY ORDINANCES EXCEPT AS NOTED, OR SHOWN HEREON.  
 RECEIVED 9/27/95  
 SEP 29 1995  
 ENGINEERING DEPT.

**RECEIVED  
SEP 28 1995**



**TREE LEGEND:**

SYMBOL	COMMON	BOTANICAL
⊙	BAY	GORDONIA LASIANTHUS
⊙	BAYBERRY	MYRICA CERIFERA
⊙	CAMPBHR	CINNAMOMUM CAMPBORA
⊙	RED CEDAR	JUNIPERUS SILICICOLA
⊙	CHERRY	PRUNUS CAROLINIANA
⊙	HACKBERRY	CELTIS OCCIDENTALIS
⊙	HICKORY	CARYA GLABRA
⊙	HOLLY	ILEX OPACA
⊙	MAGNOLIA	MAGNOLIA GRANDIFLORA
⊙	MIMOSA	ALBIZIA JULIBRISSIN
⊙	OAK	QUERCUS LAURIFOLIA
⊙	PALM	SABAL PALMETTO
⊙	PECAN	CARYA AQUATICA
⊙	PINE	PINUS ELLIOTTI
⊙	REDBUD	CERIS CANADENSIS
⊙	SPRUCE	QUERCUS LAEVIS
⊙	SWEETGUM	LIQUIDAMBAR STRYACIFLUA
⊙	SYCAMORE	PLATANUS OCCIDENTALIS

**STATE PLANE COORDINATE SYSTEM**

STATION	Y	X	SCALE FACTOR
G.P.S. PT 24	1769301.685	623251.445	0.99994241
G.P.S. PT 25	1767532.349	623163.051	0.99994242
POINT A	1758931.049	615586.067	0.99994306
POINT B	1758928.263	616015.579	0.99994302
POINT C	1758738.984	616015.121	0.99994302
POINT D	1758740.729	615732.939	0.99994305

- NOTES:**
- UNLESS OTHERWISE SHOWN, IMPROVEMENTS NOT LOCATED.
  - VERTICAL DATUM IS BASED ON A CITY OF OCALA BENCHMARK TAKEN FROM A FOUND RAILROAD SPIKE IN THE NORTH FACE OF POWER POLE #1-553, ±50 FT. WEST OF THE S.C.L. RAILROAD TRACKS AT THE SOUTH SIDE OF SOUTHEAST 17th STREET. BENCHMARK ELEVATION = 111.68, 1929 NAVD DATUM.
  - ALL ELEVATIONS REFERENCE N.G.V.D.
  - STATE PLANE COORDINATES BASED ON CITY OF OCALA G.P.S. POINTS 24 & 25, 1990 ADJUSTMENT OF THE 1983 NAVD DATUM.
  - THIS SITE DOES NOT HAVE A 100 YEAR FLOOD PLAN.

**Note: Any Previously Dated or Approved Site Plan Now VOID**

**DESCRIPTION:**  
 LOTS 8, 9, AND 10, BLOCK 10, EDGEWOOD PARK UNIT 4, AS RECORDED IN PLAT BOOK "F", PAGE 24, IN THE RECORDS OF MARION COUNTY, FLORIDA AND CONTAINING 1.55 ACRES MORE OR LESS.

**SURVEYOR'S CERTIFICATION:**  
 I HEREBY CERTIFY THAT A CONTROL SURVEY WAS MADE FOR THE SPECIFIC PURPOSE OF DETERMINING STATE PLANE COORDINATES AS SHOWN ON THIS SITE PLAN. I FURTHER CERTIFY THAT THE CONTROL SURVEY, TO THE BEST OF MY KNOWLEDGE AND BELIEF, MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 61017-8.003, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.007, OF THE FLORIDA STATUTES.

REYNALD M. BARRINEAU, P.L.S. FL. CERTIFICATE No. 3492

DATE	9-16-95
REVISIONS	
CHECKED: C.D.B.	8-17-95
DESIGNED: C.D.B.	8-16-95
DRAWN: D.B./C.B.	8-17-95
PLOTTED: D.B./C.B.	8-17-95

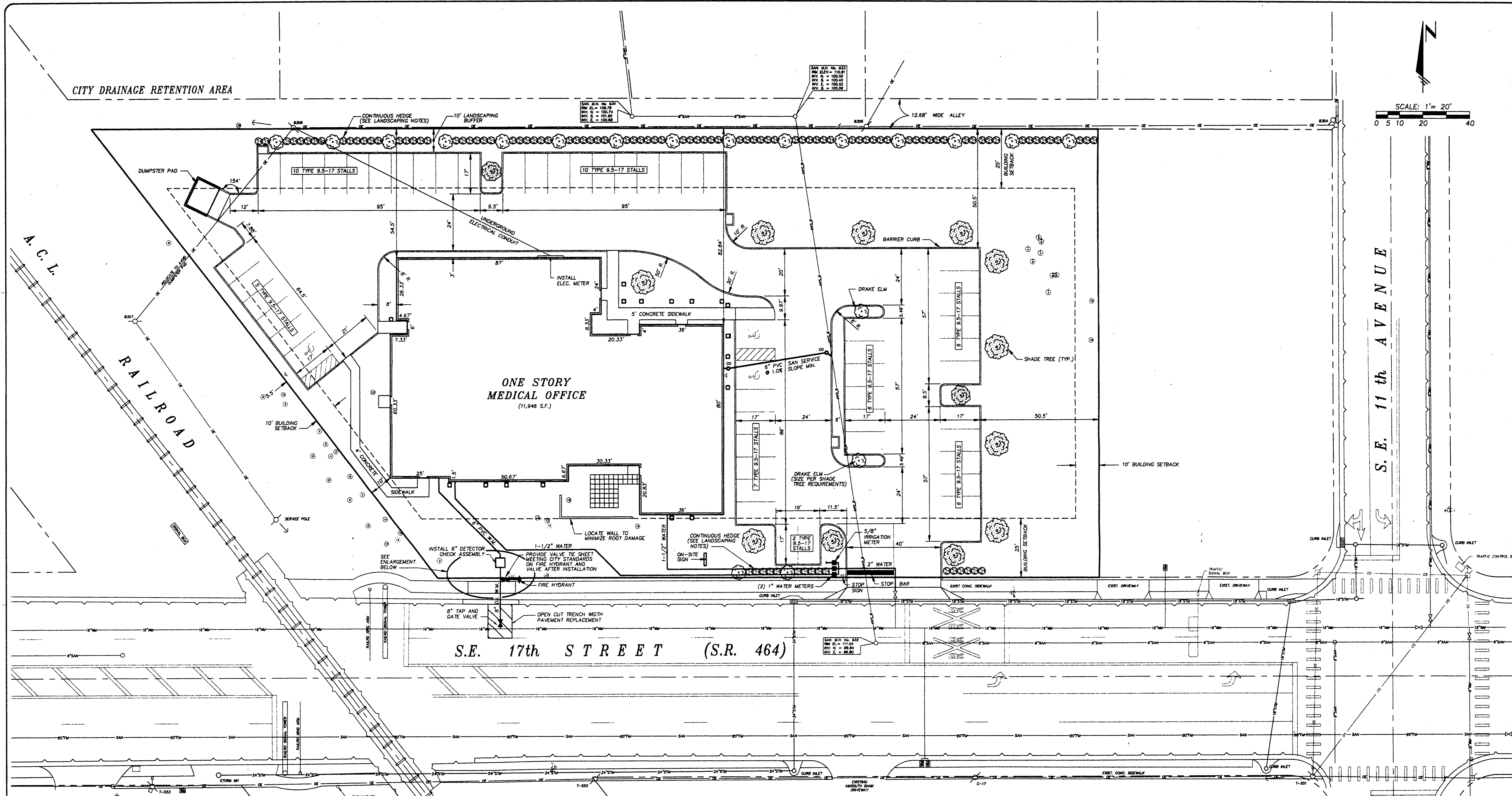
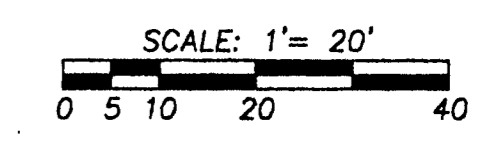
**JOHN P. DANIELS ENGINEERING, INC.**  
 209 NORTHEAST 36th AVENUE  
 OCALA, FLORIDA 34470  
 PHONE (904) 694-4147  
 FAX (904) 694-3337

**OCALA ORTHOPAEDIC GROUP, P.A.**  
 MEDICAL OFFICE

PROJECT: SURVEY/DEMOLITION AND CLEARING PLAN

"245BASE"  
 P.N. 245-01  
 Sht. 2 of 5

CITY DRAINAGE RETENTION AREA

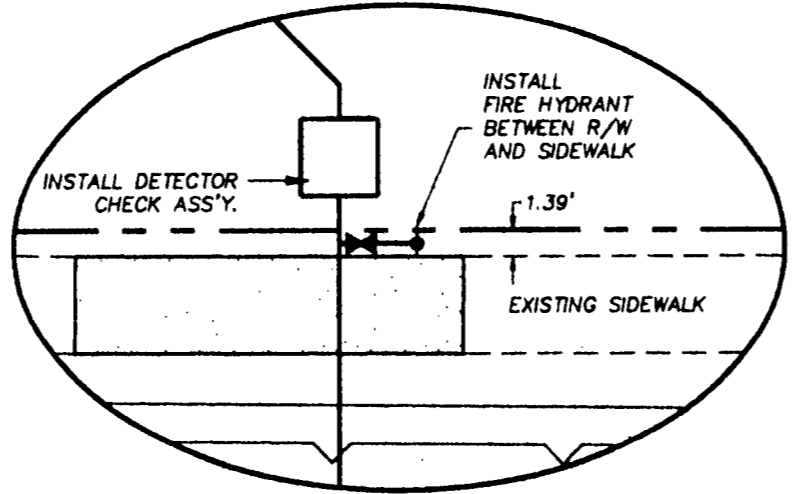


PAVEMENT, SIGNAGE & STRIPING NOTES:

- 1) PAVING SPECIFICATION: SUBBASE COMPACTED TO 98% ASSHTO T-180; 6" CRUSHED LIMEROCK BASE, COMPACTED TO 98% ASSHTO T-180; PRIME COAT, 1 1/2" GALLON/SQUARE YARD; 1" TYPE III ASPHALT CONCRETE.
- 2) PAVEMENT REMOVAL: SAW CUT PAVEMENT ALONG PROPOSED EDGE. REMOVE PAVEMENT AND BASE, BACKFILL WITH CLEAN TOPSOIL.
- 3) ALL AREAS SHOWN TO BE PAVED SHALL BE CONSTRUCTED PER PAVING REQUIREMENTS ON THIS PLAN. NEW PAVING SHALL SMOOTHLY MATCH EXISTING PAVEMENT.
- 4) ALL WORK TO COMPLY WITH F.O.D.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, DATED 1991, AND 1994 ROADWAY AND TRAFFIC DESIGN STANDARDS.
- 5) HANDICAP STALL TO BE MARKED WITH 6" BLUE AND SYMBOL TO BE MARKED WITH 4" WHITE TRAFFIC STRIPING. ALL OTHER PARKING STALLS TO BE MARKED WITH 6" WHITE TRAFFIC STRIPING.
- 6) PAVING DIMENSIONS REFER TO EDGE OF PAVING.
- 7) ALL RADII ARE 2' UNLESS OTHERWISE NOTED.
- 8) INSTALL HANDICAP SIGN (470-36) 2' BEHIND BACK OF SIDEWALK AT HANDICAP PARKING STALL. ALL SIGNS TO BE INSTALLED AT A HEIGHT OF 7' ABOVE FINISHED GRADE. HANDICAP SIGN MAY BE ATTACHED TO BUILDING WHERE APPLICABLE.
- 9) ON-SITE SIGN TO BE A MAXIMUM OF 7 FEET IN HEIGHT WITH 18 S.F. OF SIGN AREA. SET BACK FROM S.E. 17TH STREET RIGHT OF WAY A MINIMUM OF 10'.

LANDSCAPING/ EROSION NOTES:

- 1) ALL DISTURBED PUBLIC RIGHT-OF-WAY TO BE SOODED.
- 2) SOD ALL OTHER AREAS DISTURBED BY CONSTRUCTION.
- 3) SOLID SOD ALL SLOPES GREATER THAN 6" HORIZONTAL TO 1" VERTICAL.
- 4) NO SOD REQUIRED BELOW WATER LINE IN POND.



FIRE HYDRANT ENLARGEMENT

SEWER SYSTEM SPECIFICATION NOTES:

- 1) ALL SEWER SYSTEMS AND COMPONENTS WHICH ARE SHOWN TO BE OWNED AND MAINTAINED BY OUTSIDE AUTHORITY SHALL BE CONSTRUCTED TO THE STANDARDS OF THAT AUTHORITY WHERE THOSE STANDARDS EXCEED THOSE SHOWN BELOW.
- 2) ALL OTHER SEWER SYSTEMS AND COMPONENTS SHALL COMPLY WITH THE REQUIREMENTS SHOWN BELOW.
- 3) PERFORM ALL WORK IN COMPLIANCE WITH STANDARD PLUMBING CODE AND IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- 4) PIPE MATERIALS SHALL COMPLY WITH THE REQUIREMENTS AND STANDARDS SHOWN IN THE TABLE OF "WATER AND SEWER PIPE AND JOINT SPECIFICATIONS" IN THESE PLANS.
- 5) INSTALL PVC PIPE PER PROCEDURES OUTLINED IN ASTM D2231, "UNDERGROUND INSTALLATION OF FLEXIBLE THERMOPLASTIC SEWER PIPE," AND UNIBELL SPECIFICATION B-3.
- 6) CHASE PIPE AND FITTINGS IN THE TRENCH TRUE TO LINE AND GRADE AND WITH THE PIPE BOTTOM UNIFORM AND CONTINUOUSLY SUPPORTED BY A FIRM FOUNDATION AND BEDDING. LAY PIPE WITH THE BELLS UPSTREAM.
- 7) REMOVE BURRS AND SMOOTHLY BEVEL ALL CUT ENDS OF PIPE.
- 8) INSTALL LOCATING WIRE OR TAPE ON ALL NON-METALLIC FORCE MAINS.
- 9) LAMP TEST COMPLETED SEWER MAINS. REPLACE ANY PIPE SHOWING LESS THAN FULL ROUND SECTION.
- 10) TEST ALL COMPLETED SEWER MAINS FOR LEAKAGE IN ACCORDANCE WITH UNIBELL'S RECOMMENDED PRACTICE FOR LOW PRESSURE AIR TESTING. CORRECT ANY SECTION HAVING PRESSURE DROP FROM 3.5 PSI TO 3.0 PSI IN LESS THAN 3 MINUTES.
- 11) TEST ALL NEWLY INSTALLED FORCE MAINS IN ACCORDANCE WITH SECTION 4, "HYDROSTATIC TESTING" OF AWWA C-800, PRESSURE TEST AT 150 PSI MINIMUM FOR A MINIMUM TWO HOUR DURATION.
- 12) RECORD (ON RECORD DRAWINGS) THE DISTANCE TO ALL WYES AND TERMINAL POINTS FROM CENTER OF MANHOLE IMMEDIATELY DOWNSTREAM.

WATER SYSTEM SPECIFICATION NOTES:

- 1) ALL WATER SYSTEMS AND COMPONENTS WHICH ARE SHOWN TO BE OWNED AND MAINTAINED BY OUTSIDE AUTHORITY SHALL BE CONSTRUCTED TO THE STANDARDS OF THAT AUTHORITY WHERE THOSE STANDARDS EXCEED THOSE SHOWN BELOW.
- 2) ALL OTHER WATER SYSTEMS AND COMPONENTS SHALL COMPLY WITH THE REQUIREMENTS SHOWN BELOW.
- 3) PERFORM ALL WORK IN COMPLIANCE WITH STANDARD PLUMBING CODE AND IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- 4) PIPE MATERIALS SHALL COMPLY WITH THE REQUIREMENTS AND STANDARDS SHOWN IN THE TABLE OF "WATER AND SEWER PIPE AND JOINT SPECIFICATIONS" IN THESE PLANS.
- 5) PROVIDE A MINIMUM OF 36" COVER TO TOP OF PIPE FOR ALL MAINS.
- 6) PROVIDE A MINIMUM OF 36" COVER FOR ALL SERVICE LINES WITHIN THE R/W, AND 24" OUTSIDE THE R/W.
- 7) GATE VALVES: RESILIENT-SEATED GATE VALVES COMPLYING WITH AWWA C-509.
- 8) JOINT SOLVENT-WELD PIPE AND FITTINGS IN ACCORDANCE WITH ASTM D2855, "MARKING SOLVENT CEMENTED JOINTS WITH PVC AND FITTINGS" SO THAT MATING SURFACES ARE THOROUGHLY FUSED.
- 9) INSTALL THRUST BLOTTING AT ALL DIRECTION CHANGES OR DEAD ENDS.
- 10) INSTALL LOCATING WIRE OR TAPE ON ALL NON-METALLIC WATER MAINS AND SERVICES.
- 11) ALL PVC SHALL COMPLY WITH THE REQUIREMENTS OF NSF 14 AND SHALL BE LABELED WITH THE LOGO "NSF-POTABLE WATER".
- 12) PROVIDE MANUAL AIR RELIEF VALVE AT ALL LOCATIONS SHOWN, AND AT ANY OTHER HIGH POINTS IN LINE.
- 13) ALL NEW AND RELOCATED WATER MAINS, FITTINGS, AND SERVICES SHALL CONTAIN NO MORE THAN EIGHT PERCENT LEAD. ALL SOLDERED AND FLUX FOR NEW AND RELOCATED WATER LINES SHALL CONTAIN NO MORE THAN 6.2 PERCENT LEAD.
- 14) TEST ALL NEWLY INSTALLED WATER MAINS IN ACCORDANCE WITH SECTION 4, "HYDROSTATIC TESTING" OF AWWA C-800, PRESSURE TEST AT 150 PSI MINIMUM FOR A MINIMUM TWO HOUR DURATION.
- 15) DISINFECT SYSTEM PER AWWA C-651. FOLLOWING COMPLETION OF SYSTEM, OBTAIN SATISFACTORY BACTERIOLOGICAL TESTS FOR TWO CONSECUTIVE DAYS AT SAMPLE POINTS INDICATED ON PLAN. SUBMIT COPIES OF BACTERIOLOGICAL TEST RESULTS TO ENGINEER AND TO APPROPRIATE F.O.D.P. DISTRICT OFFICE WITHIN 30 DAYS OF TESTS. REFERENCE PERMIT NUMBER ON COVER SHEET OF THIS PLAN.

Note: Any Previously Dated or Approved Site Plan Now VOID

CITY OF OCALA WATER AND SEWER REGULATORY NOTES:

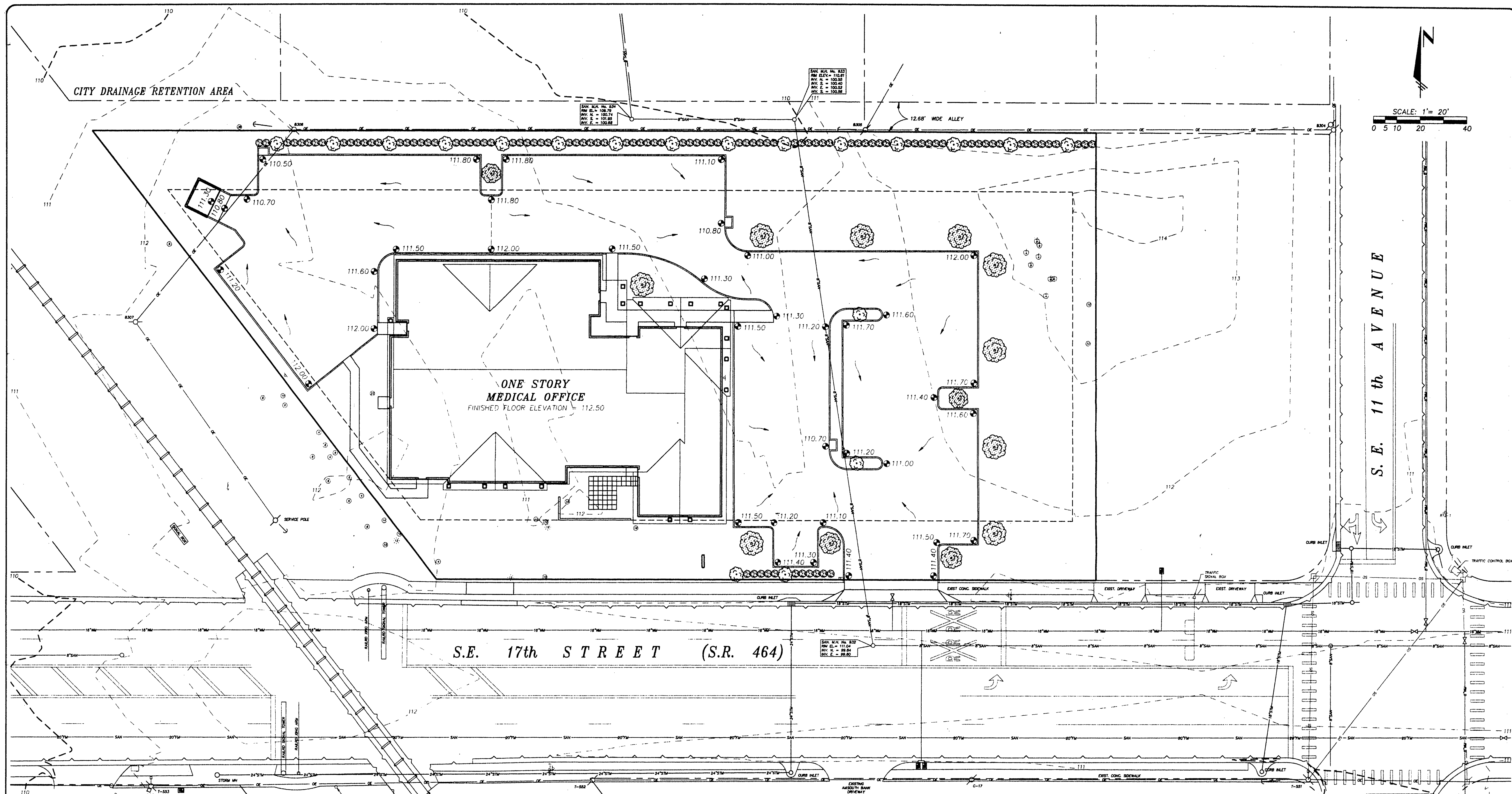
- 1) THE AVERAGE DAILY POTABLE WATER DEMAND ANTICIPATED IS 3,000 GALLONS, WITH (2) 1" METERS USING 2,000 AND 1,000 GALLONS RESPECTIVELY.
- 2) THE AVERAGE DAILY IRRIGATION WATER DEMAND ANTICIPATED IS 1,500 GALLONS.
- 3) THE AVERAGE DAILY SEWER FLOW ANTICIPATED IS 2,700 GALLONS.
- 4) ALL WATER MAINS, METERS, VALVES, AND FIRE HYDRANTS ARE EXISTING EXCEPT AS NOTED.
- 5) FIRE HYDRANTS TO BE MAINTAINED BY THE CITY ARE TO BE PAINTED RED AND FIRE HYDRANTS THAT ARE TO BE PRIVATELY MAINTAINED AND OWNED ARE TO BE PAINTED YELLOW.
- 6) ALL WATER SYSTEMS AND SEWER SYSTEMS WITHIN THE LIMITS OF THIS PROJECT WILL BE PRIVATELY OWNED AND MAINTAINED UNLESS OTHERWISE NOTED AND SHOWN ON PLANS.
- 7) ALL CONSTRUCTION OF PUBLIC WATER AND SEWER FACILITIES SHALL COMPLY WITH THE MATERIAL REQUIREMENTS AND QUALITY CONTROL STANDARDS CONTAINED IN THE CITY OF OCALA WATER AND SANITARY SEWER CONSTRUCTION MANUAL.
- 8) SEWER LATERAL LOCATED N/A WITH INVERT AND GROUND ELEVATIONS OF N/A AND N/A RESPECTIVELY.
- 9) DETECTOR CHECK SHALL BE HERSEY MODEL, DOC 11, FERRO/BR/DOC, OR APPROVED EQUAL, INSTALLED ABOVE GROUND AS PER DETAIL 23 FROM BUILDING PLANS.

NO.	REVISIONS	DATE
1	REVISION PER CITY COMMENTS ON 8-21-95	8-21-95
2	REVISION PER CITY COMMENTS ON 8-21-95	8-21-95

**John P. Daniels Engineering, Inc.**  
 209 NORTHEAST 36th AVENUE  
 OCALA, FLORIDA 34470  
 PHONE (904) 894-4147  
 FAX (904) 894-3337

**OCALA ORTHOPAEDIC GROUP, P.A.**  
 MEDICAL OFFICE

**SITE PLAN / UTILITY PLAN**  
 "245BASE"  
 P.N. 245-01  
 Sht. 3 of 5



STORM SEWER PIPE SPECIFICATIONS			
ABBREVIATION	MATERIAL	SPECIFICATION	MIN. THICKNESS
RCP (RCP)	CONCRETE, CIRCULAR (ELLIPTICAL)	FDOT SECTION 941	
SRASP (SRASP)	SPIRAL-RIB ALUMINIZED STEEL, CIRCULAR (ARCH)	FDOT SECTION 943 AASHTO M36 AASHTO M274	15" - 48" 16 GA. 54" - 60" 14 GA. 66" AND UP 12 GA.
ACCCSP (ACCCSP)	ASPHALT-COATED GALVANIZED CORRUGATED STEEL, CIRCULAR (ARCH)	FDOT SECTION 943 AASHTO M36 AASHTO M190	15" - 24" 16 GA. 30" - 36" 14 GA. 42" - 54" 12 GA. 60" - 72" 10 GA. 68" AND UP 8 GA.
ACSP (ACSP)	ALUMINIZED CORRUGATED STEEL, CIRCULAR (ARCH)	FDOT SECTION 943 AASHTO M36 AASHTO M274	15" - 48" 16 GA. 54" - 60" 14 GA. 66" AND UP 12 GA.
CAP (CAP)	CORRUGATED ALUMINUM CIRCULAR (ARCH)	FDOT SECTION 945 AASHTO M198	15" - 30" 16 GA. 36" - 42" 14 GA. 48" - 54" 12 GA. 60" AND UP 10 GA.
CPEP	CORRUGATED HIGH-DENSITY POLYETHYLENE	FDOT SECTION 948-2 AASHTO M294-B31	PER FDOT
PVC	POLYVINYL CHLORIDE	ASTM D-3034 UNI-BELL B-4	SDR 26

**SITE PREPARATION/EARTHWORK NOTES:**

- CLEAR AND STRIP ALL SURFACE VEGETATION, ROOTS, TOPSOIL AND OTHER DELECTORIOUS MATERIAL FROM ALL PROPOSED BUILDING AND PARKING AREAS, TO A MINIMUM OF FIVE (5) FEET BEYOND PROPOSED CONSTRUCTION LIMITS.
- REMOVE ANY UNSUITABLE SOILS TO A DEPTH OF AT LEAST TWO (2) FEET BELOW THE BOTTOM OF PROPOSED FOOTINGS, SLAB-ON-GRADE, AND THE PAVEMENT BASECOURSE. UNSATISFACTORY SOILS ARE THOSE IN CLASSIFICATIONS A-6, A-7, AND A-8 OF THE AASHTO SOIL CLASSIFICATION SYSTEM WHICH ARE BASICALLY INORGANIC SILTS, INORGANIC CLAYS, ORGANIC CLAYS AND PEAT OR OTHER ORGANIC SOILS.
- AFTER STRIPPING AND UNDERCUTTING AS NECESSARY, PROOFROLL THE EXPOSED SUBGRADE WITH LOADED DUMP TRUCKS OR EQUIVALENT. REMOVE AND BACKFILL SOFT SPOTS DETECTED BY THE PROOFROLLING AS DESCRIBED BELOW.
- PLACE STRUCTURAL FILL REQUIRED TO ACHIEVE BOTTOM OF FLOOR SLAB, FOOTING, AND PAVEMENT BASECOURSE ELEVATIONS IN LEVEL LIFTS OF 12 INCH MAXIMUM UNCOMPACTED THICKNESS AND COMPACT TO A MINIMUM OF 95 PERCENT OF THE MODIFIED PROCTOR (ASTM D-1557) MAXIMUM DRY DENSITY. DO NOT PLACE FILL OVER ANY NATURAL IN-PLACE SOILS UNLESS THE NATURAL DEPOSITS HAVE BEEN PROOFROLLED AS REQUIRED ABOVE. ALL STRUCTURAL FILL SHALL BE AASHTO A-1, A-2, OR A-3 MATERIALS. PROPOSED SOURCES OF STRUCTURAL FILL SHOULD BE APPROVED BY ENGINEER PRIOR TO PLACEMENT. NON-ORGANIC SANDS WHICH HAVE LESS THAN 25 PERCENT FINES PASSING A NO. 200 SIEVE WILL GENERALLY BE ACCEPTABLE FOR USE AS FILL.
- PRIOR TO BEGINNING THE COMPACTION PROCESS, MOISTURE CONTENTS WITHIN THE PROPOSED FILL SOILS SHOULD BE CONTROLLED TO WITHIN THREE (3) PERCENT OF THE MODIFIED PROCTOR OPTIMUM MOISTURE CONTENT.
- THE ENGINEER SHOULD BE RETAINED TO REVIEW FILL MATERIALS AND PROVIDE ON-SITE OBSERVATIONS AND TESTING OF THE PROOFROLLING, COMPACTION AND FILLING OPERATIONS SO THAT COMPLIANCE WITH THE RECOMMENDATIONS ABOVE CAN BE VERIFIED.
- CONSTRUCT SILT FENCES WHERE INDICATED ON PLAN PRIOR TO DEPOSITION OF ANY FILL OR OTHER SOIL COVER DISTURBANCE. COMPLETE ALL SODDING AND OTHER GRASSING PRIOR TO REMOVAL OF SILT FENCES. ALL SILT FENCING TO BE IN ACCORDANCE WITH F.D.O.T. INDEX NO. 102.
- WHETHER OR NOT SPECIFIC MEANS ARE INDICATED ON PLAN, TAKE PRECAUTIONS AS REQUIRED TO PREVENT EROSION OF MATERIALS OFFSITE, INCLUDING SILT FENCING, STRAW BARRIERS OR SPECIAL CONSTRUCTION SEQUENCING AS NECESSARY.

**STORM SEWER SYSTEM SPECIFICATION NOTES:**

- ALL STORM SEWER SYSTEMS AND COMPONENTS WHICH ARE SHOWN TO BE OWNED AND MAINTAINED BY OUTSIDE AUTHORITY SHALL BE CONSTRUCTED TO THE STANDARDS OF THAT AUTHORITY WHERE THOSE STANDARDS EXCEED THOSE SHOWN BELOW.
- ALL OTHER STORM SEWER SYSTEMS AND COMPONENTS SHALL COMPLY WITH THE REQUIREMENTS SHOWN BELOW.
- SUPPLY ALL MATERIALS AND PERFORM ALL WORK IN COMPLIANCE WITH THE REQUIREMENTS OF SECTIONS 425 AND 430 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (FDOT STANDARD SPECIFICATIONS) AND IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- SYSTEM HAS BEEN DESIGNED BASED ON FLOW CHARACTERISTICS OF SMOOTH-WALLED PIPE. WHERE SPECIFIC PIPE MATERIAL IS SHOWN, NO SUBSTITUTIONS ARE ALLOWED. PIPE LABELED "STORM" (WITHOUT REFERENCE TO SPECIFIC MATERIAL) MAY BE CONCRETE, SPIRAL-RIB METAL, OR POLYETHYLENE PIPE MEETING THE REQUIREMENTS OF THE FDOT STANDARD SPECIFICATIONS AND WHICH IS INSTALLED TO MEET THE COVER REQUIREMENTS OF INDEX 205 OF THE FDOT ROADWAY AND TRAFFIC DESIGN STANDARDS.
- CONTRACTOR MAY PROPOSE SUBSTITUTION OF CORRUGATED PIPE, SUBJECT TO ENGINEER'S EVALUATION (INCLUDING FLOW ANALYSIS AND RESIZING OF PIPES). COSTS OF THIS EVALUATION WILL BE PAID FOR BY CONTRACTOR WHETHER OR NOT SUBSTITUTION IS APPROVED.
- IN ADDITION TO ABOVE REQUIREMENTS, PIPE MATERIALS SHALL COMPLY WITH THE REQUIREMENTS AND STANDARDS SHOWN IN THE TABLE OF "STORM SEWER PIPE SPECIFICATIONS" IN THESE PLANS.
- PROVIDE WATER-TIGHT JOINTS FOR ALL STORM SEWERS.

**Note: Any Previously Dated or Approved Site Plan Now VOID**

*[Signature]*  
4/27/95

NO.	DATE	REVISIONS
1	9-18-95	REVISED PER CITY COMMENTS ON 8-9-95
2	9-18-95	REVISED PER CITY COMMENTS ON 8-27-95
3	9-18-95	REVISED PER CITY COMMENTS ON 8-27-95

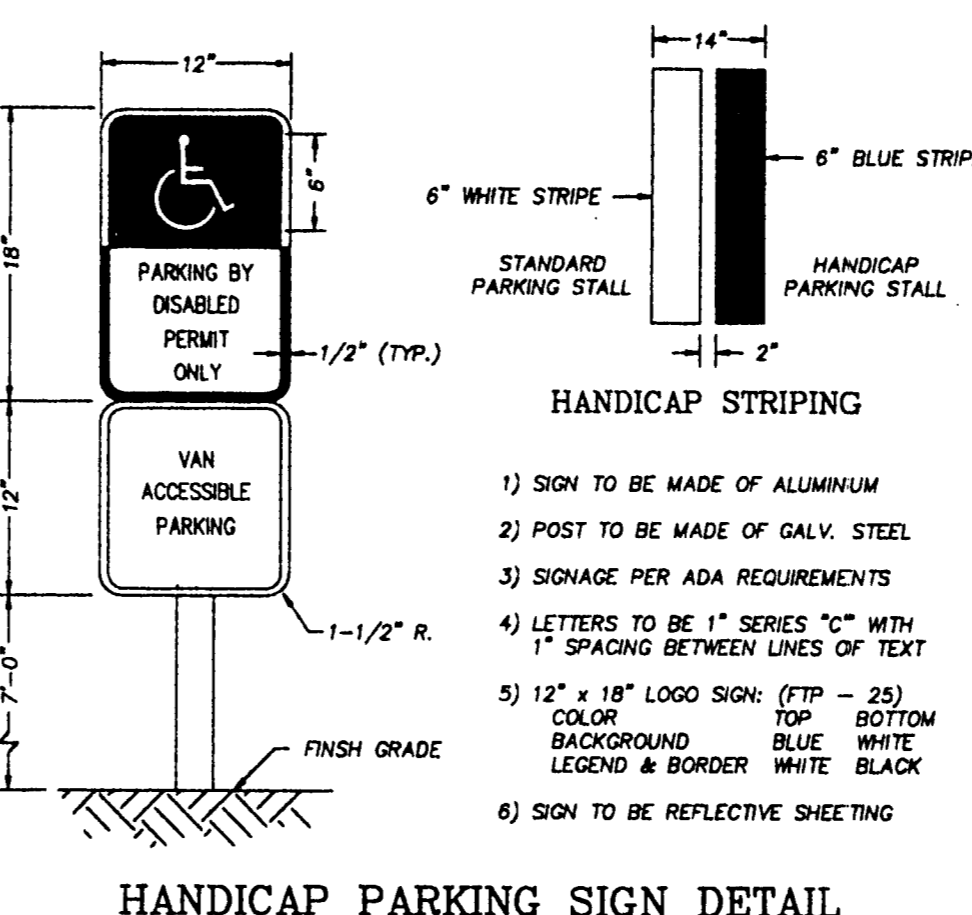
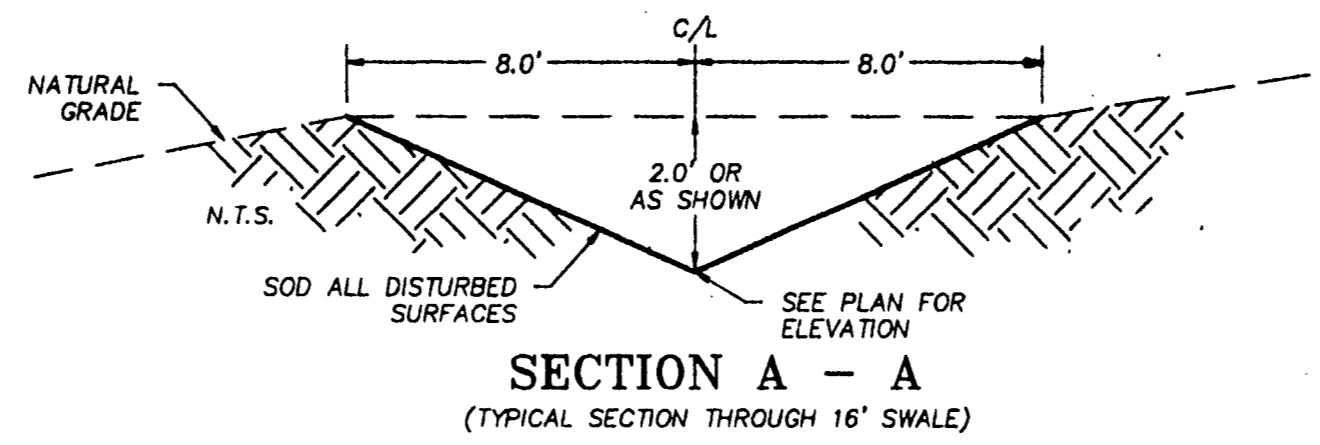
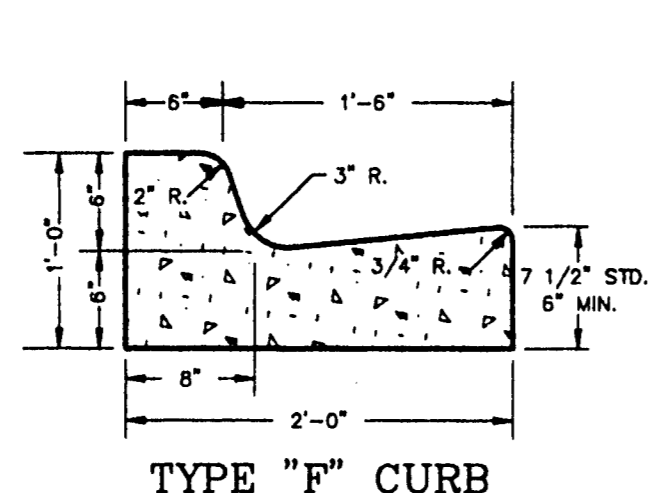
**JOHN P. DANIELS ENGINEERING, INC.**  
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**OCALA ORTHOPAEDIC GROUP, P.A.**  
 MEDICAL OFFICE

**PAVING, GRADING & DRAINAGE PLAN**  
 "245BASE"  
 P.N. 245-01  
 Sht. 4 of 5

**DRA EXCAVATION NOTES:**

- IF LIMESTONE IS ENCOUNTERED DURING DRA EXCAVATION:
  - NOTIFY ENGINEER AND WATER MANAGEMENT DISTRICT PRIOR TO ANY REMEDIAL ACTION.
  - IF DRA IS PUBLICLY OWNED OR MAINTAINED, NOTIFY APPROPRIATE LOCAL GOVERNMENT JURISDICTION.
- REMEDY LIMESTONE OUTCROP USING THE FOLLOWING PROCEDURE:
  - EXCAVATE LIMESTONE OUTCROP TO A DEPTH OF THREE FEET BELOW PROPOSED DRA BOTTOM.
  - IF ROCK SURFACE IS SOLID AND WITHOUT CHANNELS OR VOIDS, BACKFILL EXCAVATED AREA WITH SANDY CLAY, PLACE IN SIX-INCH LIFTS AND COMPACT WITH RUBBER-TIRED EQUIPMENT OR HAND-OPERATED COMPACTOR.
  - IF ROCK SURFACE CONTAINS VOIDS, OPEN CRACKS, OR CHANNELS, NOTIFY ENGINEER. DO NOT BACKFILL PRIOR TO RECEIVING ENGINEER'S SPECIFIC RECOMMENDATIONS.



**LANDSCAPING NOTES:**

- SHADE TREES SHALL BE MINIMUM 3 INCHES DBH AND SHALL BE ANY OF THE FOLLOWING SPECIES:
- BUFFER TREES SHALL BE MINIMUM 6 FEET IN HEIGHT WHEN INSTALLED, AND SHALL BE INSTALLED AT INTERVALS OF NO MORE THAN 25 FEET. BUFFER TREES SHALL BE FLORIDA No. 1 MATERIAL OF ANY OF THE FOLLOWING SPECIES.
- HEDGE PLANTS SHALL BE INSTALLED A MAXIMUM OF 3 FEET ON CENTER.
- HEDGE PLANTS SHALL BE 18 INCHES MINIMUM HEIGHT AT TIME OF INSTALLATION.
- PLANTS SHALL BE FLORIDA No. 1 MATERIAL IN 3 GALLON CONTAINERS, AND SHALL BE ANY OF THE FOLLOWING SPECIES:

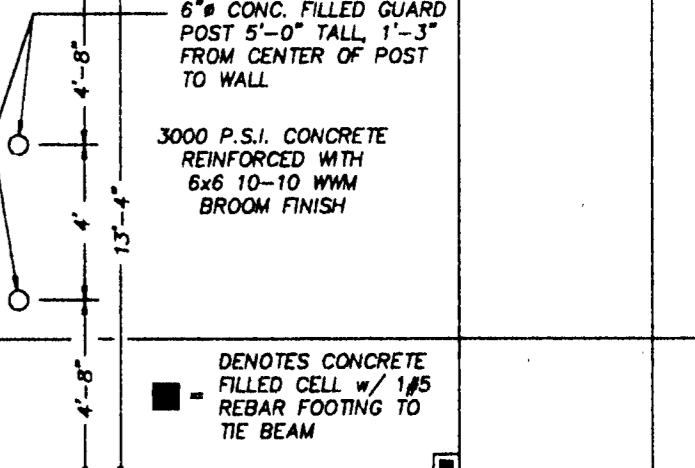
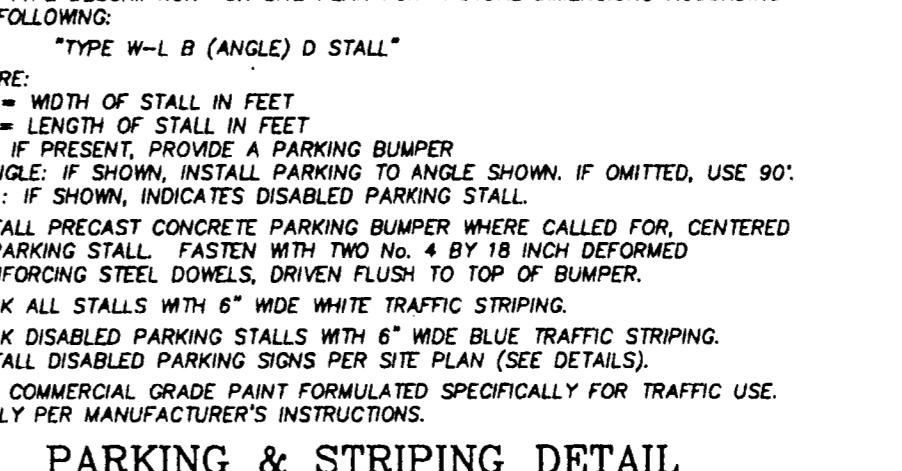
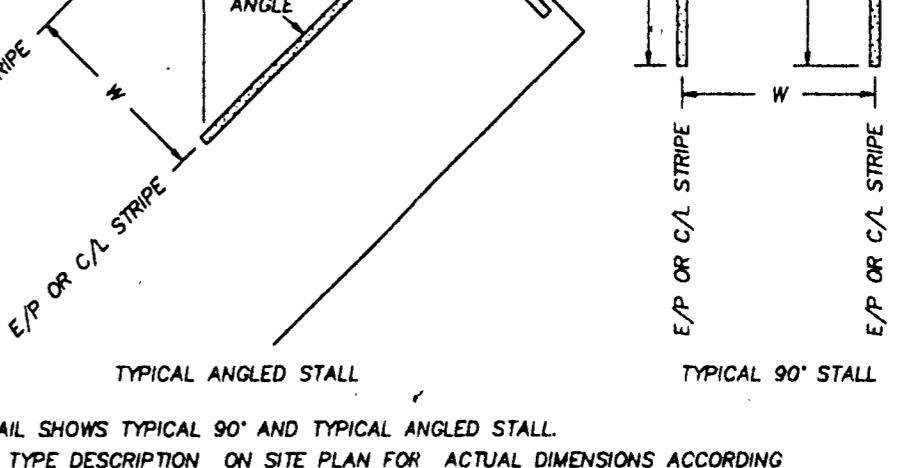
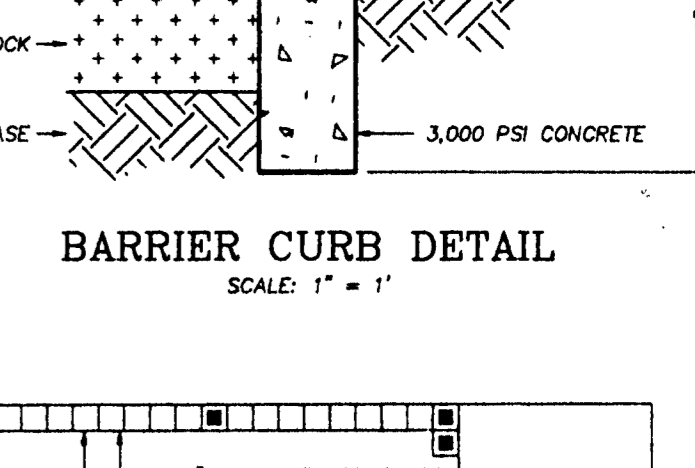
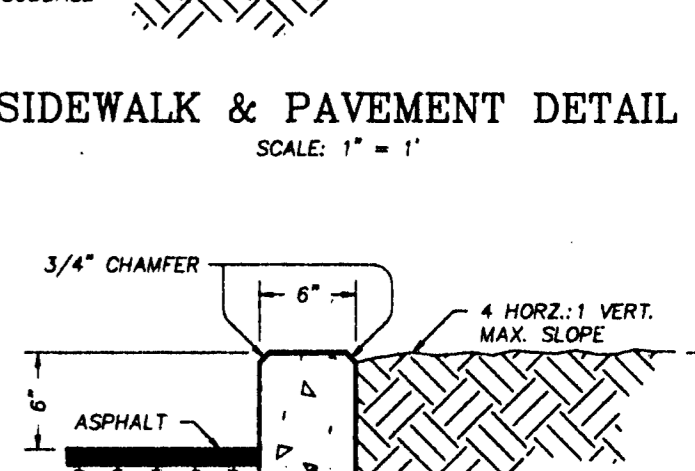
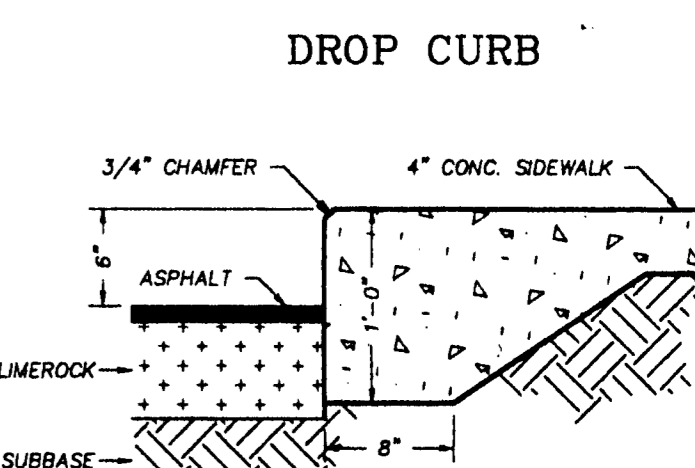
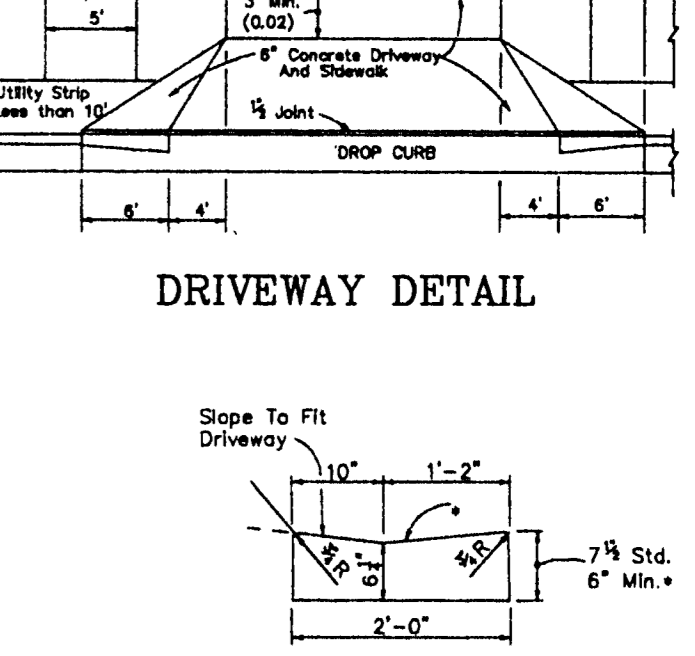
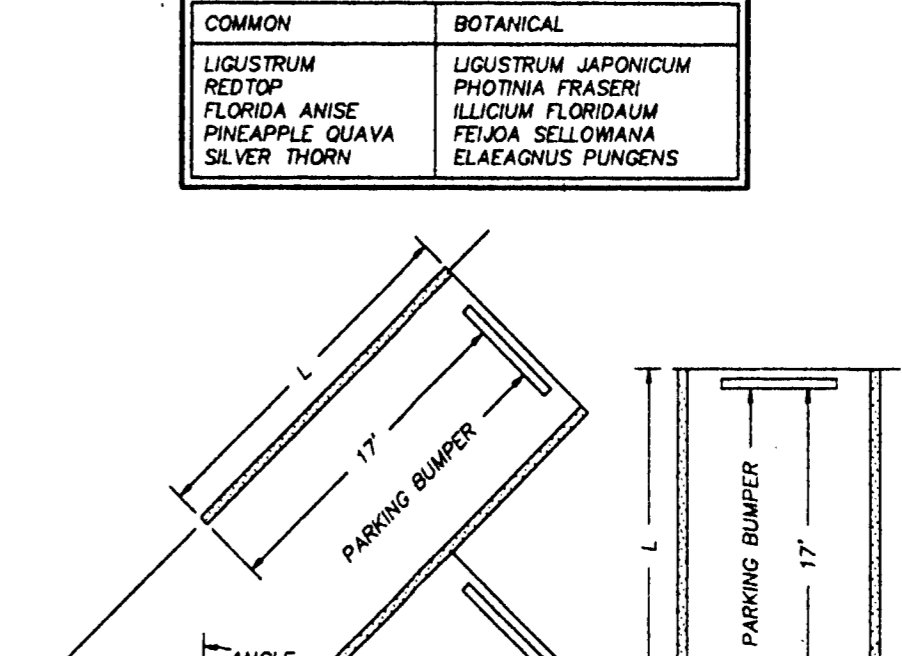
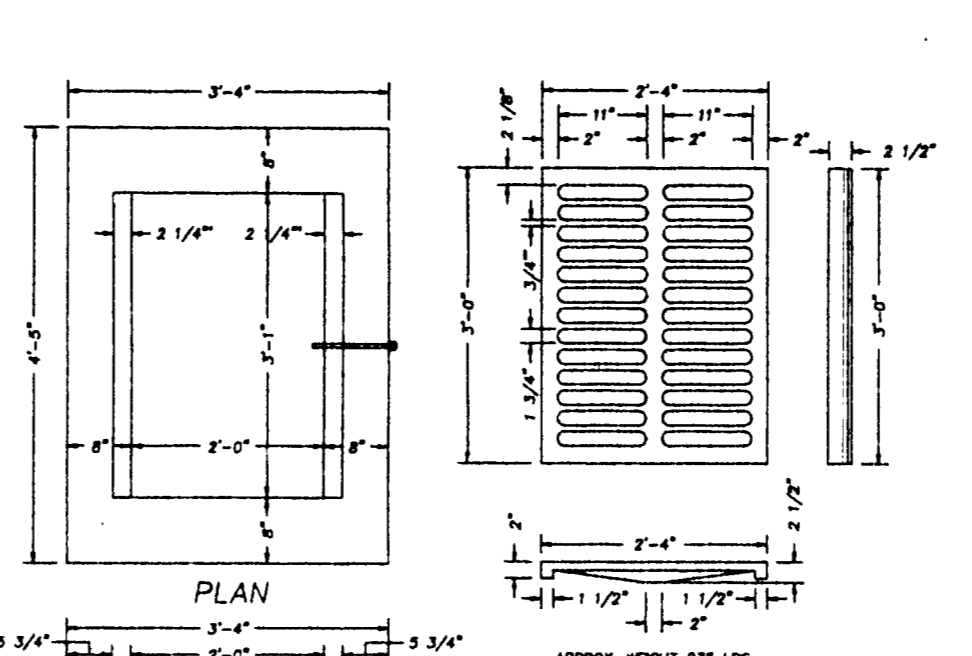
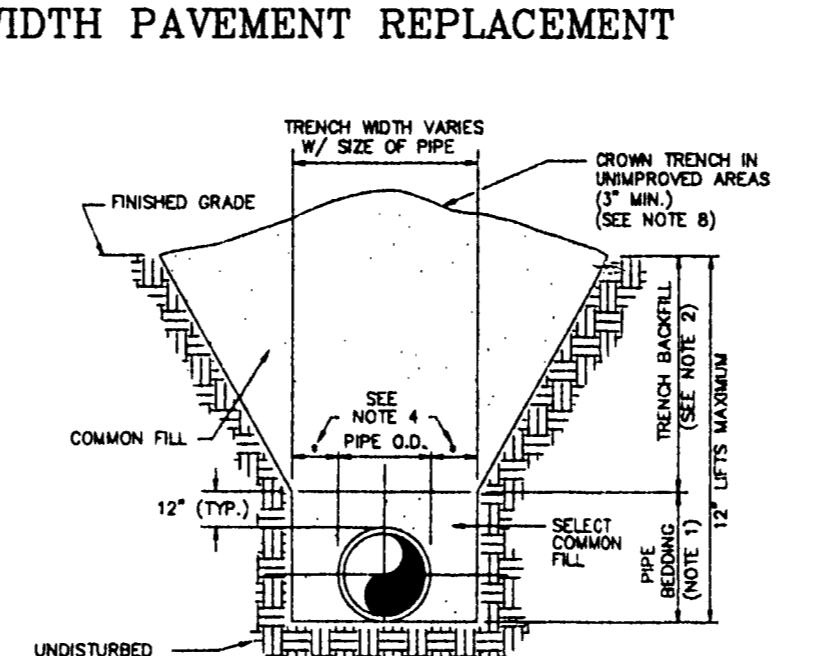
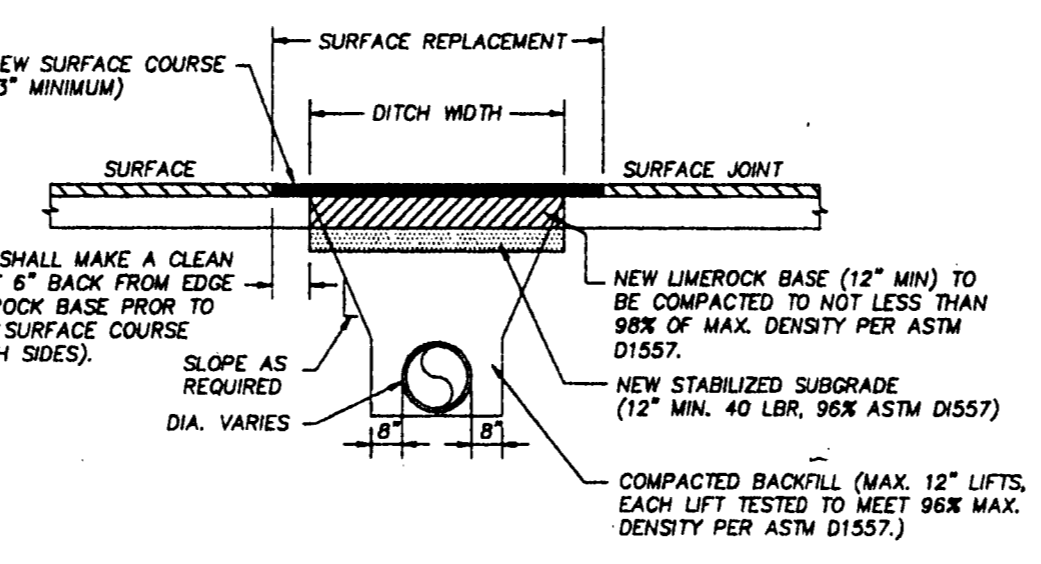
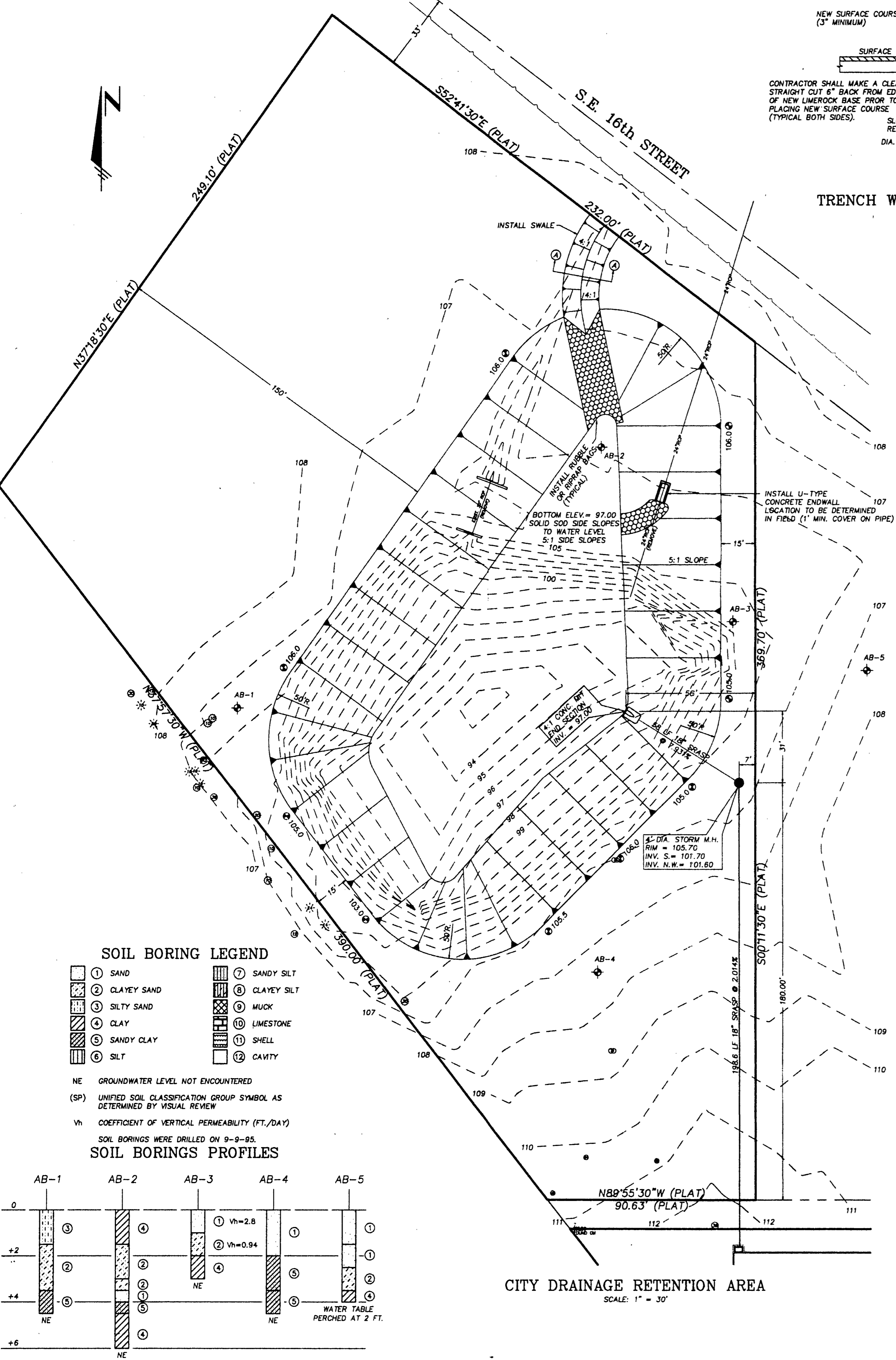
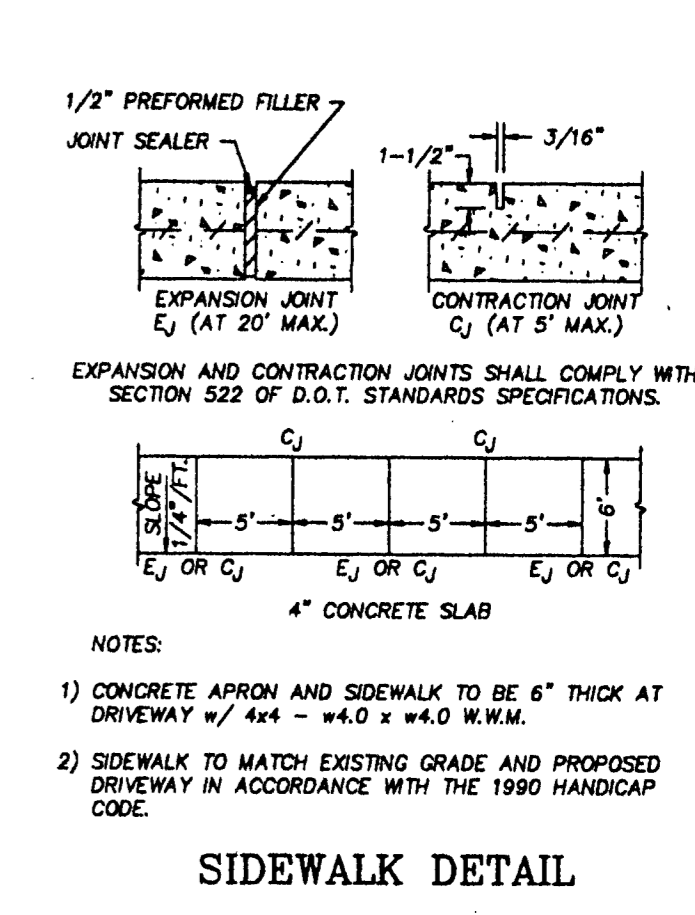
COMMON	BOTANICAL
LIVE OAK	QUERCUS VIRGINIANA
LAUREL OAK	QUERCUS LAURIFOLIA
SHUMARD OAK	QUERCUS SHUMARDII
SOUTHERN RED OAK	QUERCUS FALCATA
RED MAPLE	ACER RUBRUM
SILVER MAPLE	ACER SACCHARINUM
DRAKE ELM	ULMUS PARVIFOLIA
MAGNOLIA	MAGNOLIA GRANDIFLORA
STICKLEMOORE	PLATANUS OCCIDENTALIS
ASH	FRAXINUS
HICKORY	CARYA
PECAN	CARYA ILLINOENSIS
RIVER BIRCH	BETULA NIGRA
TULIP TREE	LIRIODENDRON TULIPIFERA

COMMON	BOTANICAL
HOLLY	ILEX OPACA
DOGWOOD	CORNUS FLORIDA
DRAKE ELM	ULMUS PARVIFOLIA
WAX MYRTLE	MIRICA CERIFERA
GRAPE MYRTLE	LAGERSTROMIA INDICA
LIGUSTRUM TREE	LIGUSTRUM JAPONICUM

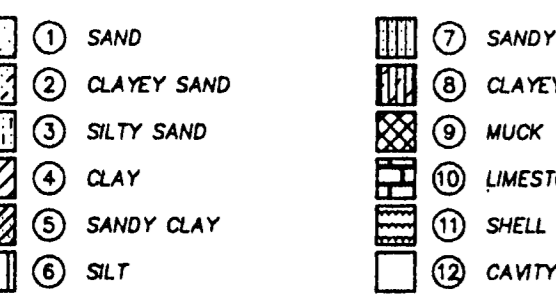
COMMON	BOTANICAL
LIGUSTRUM	LIGUSTRUM JAPONICUM
FLORIDA ANISE	PHOTINIA FRASERI
PINEAPPLE QUINA	ELAEAGNUS FLORIDALUM
SILVER THORN	ELAEAGNUS PUNGENS



- PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
- TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% (88% UNDER ROADWAYS) OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
- PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IN ACCORDANCE WITH TYPE A BEDDING AND TRENCHING DETAIL MAY BE REQUIRED AS DIRECTED BY THE ENGINEER.
- (C): 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" AND LARGER.
- WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
- ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
- FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITH MARION COUNTY RIGHT-OF-WAY SHALL COMPLY WITH REQUIREMENTS OF RIGHT-OF-WAY UTILIZATION REGULATIONS/PERMIT AND ROAD CONSTRUCTION SPECIFICATIONS.

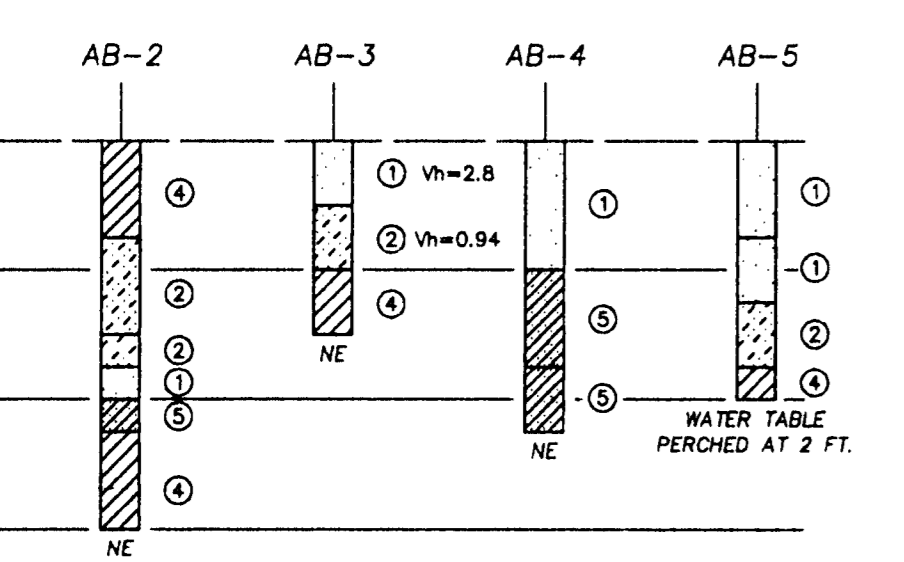
- STANDARD ABBREVIATIONS:**
- |              |  |       |                                   |
|--------------|--|-------|-----------------------------------|
| AASHTO       | AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS | LB    | LENGTH                            |
| AC           | ACRE   | LBR   | LIMBEROCK BEARING RATIO           |
| ADJ          | ADJUST   | LN    | LINEAR                            |
| ALUM         | ALUMINUM   | LT    | LEFT                              |
| APPL         | APPLICATION  | MATL  | MATERIAL                          |
| APPROX       | APPROXIMATE  | MAX   | MAXIMUM                           |
| ASTM         | AMERICAN SOCIETY FOR TESTING MATERIALS                             | MES   | METRED END SECTION                |
| AVE          | AVENUE   | MH    | MANHOLE                           |
| B/C          | BACK OF CURB   | MISC  | MISCELLANEOUS                     |
| BCCUP        | BITUMINOUS COATED CORRUGATED METAL PIPE CULVERT                    | MON   | MONUMENT                          |
| BOPA         | BITUMINOUS COATED PIPE ARCH  | N     | NORTH                             |
| BE           | BURIED ELECTRIC  | N/A   | NOT APPLICABLE                    |
| BLDG         | BUILDING   | N&C   | NAIL & CAP                        |
| BLVD         | BOULEVARD  | NE    | NORTHEAST                         |
| BM           | BENCH MARK   | NTS   | NOT TO SCALE                      |
| BT           | BURIED TELEPHONE CABLE   | NW    | NORTHWEST                         |
| C & G        | CURB AND GUTTER  | OC    | ON CENTER                         |
| CATV         | CABLE TELEVISION   | OD    | OUTSIDE DIAMETER                  |
| CC           | CENTER TO CENTER   | OE    | OVERHEAD ELECTRIC                 |
| CCEW         | CENTER TO CENTER EACH WAY  | OT    | OVERHEAD TELEPHONE                |
| CS           | CAST IRON  | PC    | POINT OF CURVATURE                |
| CP           | CAST IRON PIPE   | PCC   | POINT OF COMPOUND CURVATURE       |
| CPL          | CAST IN PLACE  | PG    | PROFILE GRADE                     |
| C/L          | CLEARANCE OR CENTER LINE   | PH    | PHASE                             |
| CM           | CONCRETE MONUMENT  | PI    | POINT OF INTERSECTION             |
| CMP          | CORRUGATED METAL PIPE  | PL    | PROPERTY LINE                     |
| CMPA         | CORRUGATED METAL PIPE ARCH   | POT   | POINT ON CURVE                    |
| CO           | CLEAN OUT  | PP    | POWER POLE                        |
| CONC         | CONCRETE   | PRC   | POINT OF REVERSE CURVATURE        |
| CONST        | CONSTRUCT  | PRM   | PERMANENT REFERENCE MONUMENT      |
| CONT         | CONTINUATION   | PSI   | POUNDS PER SQUARE INCH            |
| CP           | CORRUGATED POLYETHYLENE PIPE                                       | PT    | POINT OF TANGENCY                 |
| CR           | COUNTY ROAD  | RAD   | RADIUS                            |
| CTR          | CENTER   | RCR   | REINFORCED CONCRETE PIPE          |
| CY           | CUBIC YARD   | RD    | ROAD OR ROUND                     |
| D            | DEPTH  | REN   | REINFORCED OR REINFORCING         |
| DBH          | DITCH BOTTOM INLET   | RELOC | RELOCATE                          |
| DELN         | DIAMETER BREAST HEIGHT   | REQ   | REQUIRED                          |
| DELN         | DIAMETER   | REQD  | REQUIRED                          |
| DRW          | DRIVEWAY   | RPM   | RAISED REFLECTIVE PAVEMENT MARKER |
| DWG          | DRAWING  | RT    | RIGHT                             |
| E            | EAST   | R/W   | RIGHT OF WAY                      |
| E            | E  | S     | SOUTH                             |
| EA           | E  | SAW   | SANITARY                          |
| ECP          | ELLIPTICAL CONCRETE PIPE   | SE    | SOUTHEAST                         |
| EL OR ELEV   | ELEVATION  | SECT  | SECTION                           |
| ELEC         | ELECTRIC   | SF    | SQUARE FOOT                       |
| ESMT         | EASEMENT   | SY    | SQUARE YARD                       |
| EXIST        | EXISTING   | ST    | STATION                           |
| F & I        | FURNISH & INSTALL  | STA   | STANDARD                          |
| FDN          | FOUNDATION   | STD   | STANDARD                          |
| FDOT         | FLORIDA DEPARTMENT OF TRANSPORTATION                               | TWP   | TOWNSHIP                          |
| FE           | FLOOR ELEVATION  | TWB   | TEMPORARY BENCH MARK              |
| FES          | FLARED END SECTION   | TEL   | TELEPHONE                         |
| FH           | FIRE HYDRANT   | TEMP  | TEMPORARY                         |
| FIN          | FINISH   | TYP   | TYPICAL                           |
| FOOT OR FEET | FOOT OR FEET   | UG    | UNDERGROUND                       |
| G OR GALV    | GALVANIZED   | UTL   | UTILITIES                         |
| GAL          | GALLON   | VCC   | VERTICAL CURVE                    |
| GRD          | GROUND   | VCP   | VERTICAL CURVE                    |
| H OR HT      | HEIGHT   | VERT  | VERTICAL                          |
| HD           | HOSE BIBB  | W     | WIDTH                             |
| HDW          | HEADWALL   | W     | WEST                              |
| HORIZ        | HORIZONTAL   | WMF   | WELDED WIRE FABRIC                |
| ID           | INSIDE DIAMETER  | XING  | CROSSING                          |
| IN           | INCH   | XSEC  | CROSS SECTION                     |
| IP           | IRON PIPE  |       |                                   |

**SOIL BORING LEGEND**



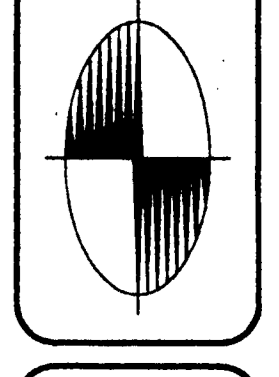
NE GROUNDWATER LEVEL NOT ENCOUNTERED  
(SP) UNIFIED SOIL CLASSIFICATION GROUP SYMBOL AS DETERMINED BY VISUAL REVIEW  
Vh COEFFICIENT OF VERTICAL PERMEABILITY (FT./DAY)  
SOIL BORINGS WERE DRILLED ON 9-9-95.

**SOIL BORINGS PROFILES**



DATE	REVISIONS
9-23-95	1. REVISED PER CITY COMMENTS ON 9-18-95
9-16-95	2. REVISED PER CITY COMMENTS ON 9-9-95
	3. REVISED PER CITY COMMENTS ON 9-9-95

**JOHN P. DANIELS ENGINEERING, INC.**  
209 NORTHEAST 36th AVENUE  
OCALA, FLORIDA 34470  
FAX (904) 694-3337  
(904) 694-4147



**OCALA ORTHOPAEDIC GROUP, P.A.**  
MEDICAL OFFICE

PROJECT: "245-DET"  
OPTION No. 1 w/ BLOCK WALL  
P.N. 245-01  
Sht. 5 of 5



City of Ocala  
Code Enforcement Division  
12/9/2025 2:04 PM



City of Ocala  
Code Enforcement Division  
11/19/2025 8:29 AM



STOP



06/12/2025 09:44:24

City of Ocala  
Code Enforcement Division



1015  
OCALA ORTHOPAEDIC  
GROUP P.A.  
advanced  
FLORIDA SURGERY  
CONSULTANTS



06/12/2025 09:42:02  
City of Ocala  
Code Enforcement Division



1015  
OCALA ORTHOPAEDIC  
GROUP, P.A.  
advanced  
REHABILITATION  
FLORIDA SURGERY  
CONSULTANTS

1015

06/12/2025 09:42:21  
City of Ocala  
Code Enforcement Division



06/12/2025 09:42:24

City of Ocala  
Code Enforcement Division



06/12/2025 09:42:52  
City of Ocala  
Code Enforcement Division



06/12/2025 09:43:06  
City of Ocala  
Code Enforcement Division



06/12/2025 09:43:38  
City of Ocala  
Code Enforcement Division



06/12/2025 09:43:53  
City of Ocala  
Code Enforcement Division



06/12/2025 09:43:57

City of Ocala  
Code Enforcement Division



07/15/2025 14:29:49  
City of Ocala  
Code Enforcement Division



City of Ocala  
Code Enforcement Division  
4/20/2026 4:06 PM



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