



City of Ocala
Growth Management Department
201 S.E. 3rd Street, 2nd Floor
352-629-8421 | www.ocalafl.org

Case File # 171
COA 24-0003
Meeting Date: _____
Product Approval # _____

Application for a Certificate of Appropriateness (COA)

As required by [Section 94-82\(g\)](#) of the City of Ocala Code of Ordinances, Ocala Historic Preservation Advisory Board (OHPAB) decisions on the COAs will be based on the [Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings](#), the [Ocala Historic Preservation Design Guidelines](#), and the [Ocala Historic Preservation Code](#).

COA Application Procedure:

1. Arrange an informal pre-application conference with Planning staff.
2. Fill out and submit COA application and required material to Planning staff 30 days prior to OHPAB meeting. Please email application packets: historic@ocalafl.org.
3. Attend OHPAB meeting or send a representative with a letter of authorization.
4. Meetings are held the 1st Thursday of each month at 4:00 p.m.
5. Meeting Location: City Council Chambers, 2nd floor of City Hall (110 SE Watula Ave.)

If applicant fails to notify staff and does not attend the meeting, the application may be tabled for one month. If applicant fails to notify staff and does not attend the next monthly meeting, the application may be denied without prejudice.

There is no application fee; however, if work is performed without an approved COA, a fee of \$100 will be assessed.

Parcel #:	2820-029-007	Property Address:	705 SE 4th St, 34471
Owner:	Matthew Grow	Owner Address:	705 SE 4th St, 34471
Owner Phone #:	352-598-6494	Owner Email:	matthew.grow@gmail.com
Will there be an additional meeting representative? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (if yes, representative will need a letter of authorization*)			
If yes, name of representative:		Rep. Email:	
Rep. Phone #:		Rep. Email:	

Project Type:	<input type="checkbox"/> Addition <input type="checkbox"/> Alteration <input checked="" type="checkbox"/> Repair	<input type="checkbox"/> New Construction <input type="checkbox"/> Reroof <input type="checkbox"/> Relocation	<input type="checkbox"/> Site Work <input type="checkbox"/> Fence <input checked="" type="checkbox"/> Other concrete and gravel pad
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and road apron transition.



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Describe, by list, specific changes you are requesting to do to your property. Include the types of materials to be used, as well as dimensions. A site plan must be provided for additions to buildings, new construction (including garages, sheds, other accessory buildings), fences and site work (including driveways, parking areas and other improvements). The site plan must show setbacks of the proposed new work items from property lines. Attach additional pages as necessary.

Issue Summary:

The original driveway, a mix of gravel, dirt, and grass with a cracked 2' concrete transition to SE 4th Street, worsened after property renovations. Rain caused the driveway to turn muddy, with poor drainage pooling in the transition area. Challenges included the minimal setback (less than 10') from SE 4th Street and a large water oak tree on the southeast corner of the parcel.

Solution:

The owner obtained a ROW permit from City Engineering to replace the existing 2' apron with a 2' transition (approved due to tree roots in the ROW). For parking, 4" of #7 grey granite rock was installed over a weed barrier, bordered with 6x6 PT landscaping beams, as seen in other historic properties nearby. Concrete was added adjacent to the garage and for a walkway connecting the north porch stairs to the garage. The driveway width tapers from 22' at the road to 16' near the garage.

Required additional materials for submission:

- Completed and signed COA application
- Detailed drawings and specifications for all new materials – windows, doors, siding, roofing materials, fencing etc.
- Site plan
- Copy of property deed or proof of ownership
- Authorization letter for non-property owner representative*
- For New Construction: a set of building plans, no larger than 11 x 17, for structural changes or new construction. This includes all four elevations with drawn to scale dimensions. *
- Please list any additional attachments: Correspondence With City Engineering.
Historical photos.

Applicant Signature

Date

12/2/2024

From: matthew.grow
To: Matt.Grow
Subject: Fwd: RIGHT OF WAY UTILIZATION ROW24-0322
Date: Friday, November 1, 2024 2:20:12 PM
Attachments: [image001.png](#)
[image001.png](#)
[ROW24-0322_1.pdf](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

----- Forwarded message -----
From: [matthew.grow <matthew.grow@gmail.com>](mailto:matthew.grow@gmail.com)
Date: Fri, Nov 1, 2024, 8:25 AM
Subject: Fwd: RIGHT OF WAY UTILIZATION ROW24-0322
To: James Womer <jwomer45@gmail.com>

here is the entire document

----- Forwarded message -----
From: [Herbert Wade <hwade@ocalafl.gov>](mailto:Herbert.Wade@ocalafl.gov)
Date: Wed, Oct 23, 2024, 3:57 PM
Subject: RE: RIGHT OF WAY UTILIZATION ROW24-0322
To: [matthew.grow <matthew.grow@gmail.com>](mailto:matthew.grow@gmail.com)
Cc: Gary Anson <GAnson@ocalafl.gov>

Hello,

Please see attached conditional approved right of way utilization permits ROW24-0322. The condition is that:

- Note: The 2' of driveway apron construction may not go all the way to the right of way line.

Please remember to refer to the “GENERAL REQUIREMENTS CONCERNING PERMITS FOR UTILIZATION OF PUBLIC RIGHT-OF-WAY” located on page 3 of the R.O.W. Utilization Permit Application to ensure compliance to the conditions that you have agreed to.

If you require any further information, feel free to contact me.

Thank You,

Herbert Wade

Engineering Technician I

Transportation Engineering Division

The CITY of OCALA - Public Works

1805 NE 30th Ave, Bldg 300, Ocala, FL 34470

Direct Telephone No: (352) 401-6930

hwade@ocalafl.gov



The City of Ocala provides fiscally responsible services consistent with the community's current and future expectations

From: matthew grow <matthew.grow@gmail.com>
Sent: Wednesday, October 23, 2024 1:45 PM
To: Herbert Wade <hwade@ocalafl.gov>
Cc: Gary Anson <GAnson@ocalafl.gov>
Subject: Re: RIGHT OF WAY UTILIZATION ROW24-0322

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thank you.

On Wed, Oct 16, 2024, 5:02 PM Herbert Wade <hwade@ocalafl.gov> wrote:

Good afternoon,

I am sending this email to notify you that I have processed your permit request. The permit number for your reference is #ROW24-0322 and is currently awaiting review. After the review process is complete, I will send you an email with the approved permit attached. If you require any further information, feel free to contact me.

Thank You,

Herbert Wade

Engineering Technician I

Transportation Engineering Division

The CITY of OCALA - Public Works

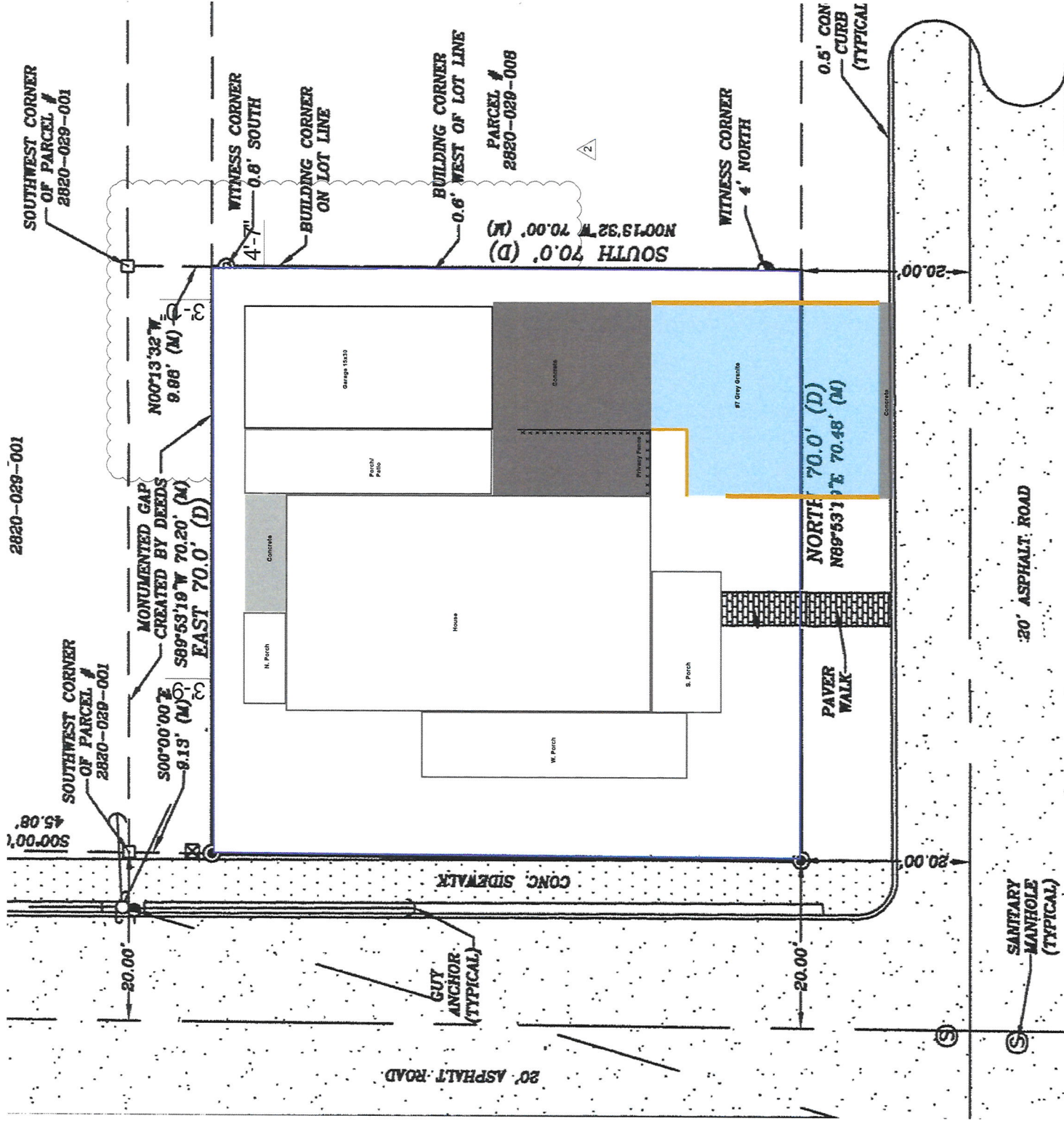
1805 NE 30th Ave, Bldg 300, Ocala, FL 34470

Direct Telephone No: (352) 401-6930

hwade@ocalafl.gov



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consistent with the community's current and future expectations





August 2023



June 2015



May 2013



Dec 2008



Nov 2007



CITY ENGINEER'S OFFICE
 Transportation Engineering Division
 1805 NE 10th Avenue, Building 300
 Ocala, FL 34470
 CONTACT: Transportation Engineering
 Division Telephone (352) 351-6725

**R.O.W. UTILIZATION PERMIT
 APPLICATION**

(Authority: City of Ocala Code of Ordinances Section 59-5 and Section 59-5)

PERMIT NUMBER: ROW24-0322 TYPE: WORK / EVENT NEWSPAPER DISPENSER

DATE OF APPLICATION: 10/15/2024 APPLICATION FEE: \$50.00

NAME OF APPLICANT: Matthew Grow COMPANY NAME: N/A
 MAILING ADDRESS: 705 SE 4th St, Ocala FL 34471
 TELE NO.: 352-598-6494 EMAIL: matthew.grow@gmail.com
 LOCATION OF WORK / EVENT / NEWSPAPER DISPENSER: Driveway to road apron, at mailing address 705 se 4th st
 PARCEL NUMBER: 2820-029-007 ZONING: Historic District

WORK / EVENT

BRIEF DESCRIPTION OF THE WORK / EVENT: Install 2'x22' 4000psi concrete apron btwn SE 4th St and driveway.
 FIELD PERSON IN CHARGE: Matt Grow CELL NO.: 352-598-6494

PROPOSED START DATE & TIME OF WORK / EVENT: _____ PROPOSED END DATE & TIME OF WORK / EVENT: _____
 FROM: 11/1/2024 7am AM TO: 11/2/2024 5 PM

WILL WORK / EVENT REQUIRE THE STREET TO BE CLOSED? NO YES PARTIALLY TOTALLY
 IF YES, IS A 'MAINTENANCE OF TRAFFIC' PLAN PER DOT INDEX 102-600 ATTACHED? NO YES

IF YES, PROVIDE PLANNED START DATE & TIME: _____ PLANNED END DATE & TIME OF STREET CLOSURE: _____
 FROM: _____ AM TO: _____ AM

IF WORK INVOLVES UNDERGROUND UTILITY INSTALLATION, DESCRIBE METHOD: OPEN EXCAVATION
 BORE JACK PUSH DIRECTIONAL BORE
 WILL THE WORK RESULT IN CITY STREET PAVEMENT DISTURBANCE? NO YES
 WILL THE WORK RESULT IN SIDEWALK AND/OR DRIVEWAY DISTURBANCE? NO YES

DESCRIBE IN MORE DETAIL THE WORK / EVENT AND OTHER FACTORS OR CONDITIONS THAT ARE AN IMPORTANT PART OF THIS R.O.W. UTILIZATION PERMIT APPLICATION:
Removal of 100 year old broken apron sections and replacing with entire new system. Unable to install complete 4' wide apron due to proximity to oak tree and root system.

I HEREBY CERTIFY THAT I HAVE MADE APPLICATION FOR THE PERMIT DESCRIBED ABOVE AND THAT I HAVE PROPER AUTHORITY AND AUTHORIZATION TO APPLY FOR SUCH PERMIT.
 I FURTHER AGREE TO COMPLY WITH ALL APPLICATION PROCESSING PROCEDURES AND WITH ALL CONDITIONS OF THIS PERMIT CONTAINED ON THE FIVE PAGES ATTACHED TO THIS APPLICATION, MOST PARTICULARLY THE RESTORATION REQUIREMENTS WITHIN THE PUBLIC RIGHT-OF-WAY.

I ACKNOWLEDGE THAT ANY APPROVAL, DIRECTION OR DETERMINATION OF THE CITY ENGINEER REFERENCED IN THIS PERMIT MAY ALSO BE MADE BY A DESIGNATED THE CITY ENGINEER.

Matt Grow 
 SIGNATURE OF PERMIT APPLICANT 10/15/2024 DATE

RIGHT-OF-WAY UTILIZATION PERMIT PROCESSING PROCEDURES

IMPORTANT: THIS APPLICATION IS TO BE SUBMITTED A MINIMUM OF FIVE (5) FULL BUSINESS DAYS PRIOR THE EXPECTED STARTING DATE - REFER TO INFORMATION ON THE FOLLOWING PAGES FOR PROCEDURES - AND SHALL BECOME A PERMIT WITH THE CITY SIGNATURES OF AUTHORIZATION.

Revision Date: **October 2022**



CITY ENGINEER'S OFFICE
Transportation Engineering Division
1805 NE 30th Avenue, Building 300
OCALA, FL 34470
CONTACT: Transportation Engineering
Division Telephone (352) 351-6725

R.O.W. UTILIZATION PERMIT APPLICATION

(Authority: City of Ocala Code of Ordinances Section 58-5 and Section 59-5)

RIGHT-OF-WAY UTILIZATION PERMIT PROCESSING PROCEDURES

IMPORTANT: THIS APPLICATION IS TO BE SUBMITTED A MINIMUM OF FIVE (5) FULL BUSINESS DAYS PRIOR TO THE EXPECTED STARTING DATE. REFER TO INFORMATION ON THE FOLLOWING PAGES FOR PROCEDURES - AND SHALL BECOME A PERMIT WITH THE CITY SIGNATURES OF AUTHORIZATION.

1. APPLICATION TO BE FILLED OUT BY APPLICANT AND SUBMITTED TO ENGINEERING DEPARTMENT FIVE (5) WORKING DAYS PRIOR TO EXPECTED STARTING DATE.
2. FEES TO BE PAID BY CHECK MADE PAYABLE TO THE CITY OF OCALA AND SUBMITTED ALONG WITH APPLICATION.
3. REVIEW AND APPROVAL OF APPLICATION TO BE MADE BY INSPECTION DIVISION AND TRAFFIC DIVISION
4. APPROVAL TO BE SIGNED BY THE CHIEF ENGINEERING INSPECTOR AND TRAFFIC ENGINEER OR THEIR DESIGNEE.
5. FINAL PERMIT WILL BE ISSUED BY THE ENGINEERING DEPARTMENT WITHIN FIVE (5) WORKING DAYS

TO BE COMPLETED BY CITY OFFICIALS ONLY

RECEIVED BY: HERBERT WADE DATE: 10/16/2024 CHECK NO. 3390

COMMENTS:

PERMISSION FOR THE ABOVE DESCRIBED WORK / EVENT / NEWSPAPER DISPENSER IS HEREBY GRANTED SUBJECT TO THE ATTACHED GENERAL REQUIREMENTS AND THE FOLLOWING SPECIFIC ADDITIONAL REQUIREMENTS:

APPROVED BY Samuel Grant APPROVED BY _____
(CHIEF ENGINEERING INSPECTOR) (TRAFFIC ENGINEER)
WORK COMPLETED ON _____ PAVING REPAIRS BY _____
INSPECTOR'S SIGNATURE _____ DATE _____

Revision Date: October 2022



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R.O.W. UTILIZATION PERMIT APPLICATION

(Authority: City of Ocala Code of Ordinances Section 58-5 and Section 59-5)

GENERAL REQUIREMENTS CONCERNING PERMITS FOR UTILIZATION OF PUBLIC RIGHT-OF-WAY

(PART OF "APPLICATION FOR PERMIT")

CONDITIONS: PERMITTEE AGREES THAT:

1. ALL WORK AUTHORIZED UNDER THIS PERMIT SHALL BE DONE IN ACCORDANCE WITH THIS APPROVED APPLICATION, THE PROVISIONS OF THE CITY ORDINANCES, AND OTHER APPLICABLE REGULATIONS.
2. PUBLIC SAFETY SHALL BE MAINTAINED DURING CONSTRUCTION IN ACCORDANCE WITH THE PROVISIONS OF THE 'MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)';
3. WHEN EXCAVATION FOR UNDERGROUND UTILITY WORK IS INCLUDED THE SCOPE OF THIS PERMIT, UTILITY COMPANIES MUST BE NOTIFIED FOR FIELD MARKING OF THEIR UTILITIES AND CONSULTED FOR INFORMATION AS TO THEIR EXISTING FACILITIES AND APPURTENANCES PURSUANT TO THE PROVISION OF FLORIDA STATUTES, CHAPTER 563.851. TELEPHONE NUMBERS TO REPORT ANY DAMAGE AND FOR COORDINATION PURPOSES ARE:

Utility Company Contacts

- FLORIDA SUNSHINE 'CALL-BEFORE-YOU-DIG': 811
- CITY OF OCALA WATER & SEWER DEPARTMENT: 352.351.6775
- CITY OF OCALA UTILITY SERVICES – ELECTRIC: 352.351.6620
- CITY OF OCALA PUBLIC WORKS DEPARTMENT – TRAFFIC (SEE 4): 352.351.6733
- EMBARC: 352.857.2766
- TECO / PEOPLES GAS: 352.622.0112
- COX COMMUNICATIONS: 352.873.5629
- AT&T: 352.237.2383
- MCIWORLD.COM: 352.258.8711

4. FOR ANY WORK TO BE DONE IN THE RIGHT OF WAY WHICH REQUIRES UNDERGROUND LOCATES AND IS WITHIN 500 FEET OF A SIGNALIZED INTERSECTION, THE APPLICANT MUST CALL THE CITY OF OCALA TRAFFIC OPERATIONS DIVISION FOR TRAFFIC SIGNAL LOCATES (352-351-6733).
5. **NEWSPAPER DISPENSER:** REFER TO CHAPTER 59 OF CITY CODE OF ORDINANCES FOR COMPLETE DETAILS. TYPICAL LOCATION CRITERIA FOR PUBLIC RIGHT-OF-WAY IS PROVIDED IN SHEET 1 ATTACHED. A PLAN SHOWING THE LOCATION OF DISPENSER IS REQUIRED. INCLUDE PARCEL NUMBER ON PLAN.
6. **TEMPORARY FIRE HYDRANT WATER METER:** TO REQUEST AND OTHERWISE COORDINATE THE INSTALLATION OF A TEMPORARY FIRE HYDRANT WATER METER CONTACT OCALA UTILITY SERVICES AT 629-8411, AT LEAST 24 HOURS PRIOR TO THE DATE THE WATER SERVICE IS NEEDED.
7. **CITY INSPECTIONS:**
 - A. ALL MATERIALS, EQUIPMENT AND WORK SHALL BE SUBJECT TO INSPECTION BY THE CITY OF OCALA AT ANY TIME.
 - B. THE PERMITTEE MUST CALL THE CITY INSPECTOR (@ 629.8419) AT LEAST ONE WORKING DAY BEFORE ANY PORTION OF CONSTRUCTION COVERED BY THIS PERMIT BEGINS. IF THIS PROCEDURE IS NOT FOLLOWED, THIS PERMIT WILL BECOME INVALID.
 - C. THE PERMITTEE MUST INFORM THE CITY INSPECTOR (@ 629.8419) AT LEAST ONE WORKING DAY IN ADVANCE OF ANY ACTIVITY ON A DIRECTIONAL BORE WITHIN CITY RIGHT-OF-WAY. DIRECTIONAL BORE TO BE PERFORMED PER SECTION 475.4.12 OF CITY OF OCALA STANDARD SPECIFICATIONS FOR CONSTRUCTION OF STREETS, STORMWATER, TRAFFIC, WATER AND SEWER INFRASTRUCTURE; OCTOBER 2018.
8. PRIVATE DRIVEWAYS, PUBLIC UTILITIES, AND OTHER SUCH IMPROVEMENTS PERMITTED HERewith WHICH ARE NOT AVAILABLE FOR IMMEDIATE USE BY THE GENERAL PUBLIC ARE CONSIDERED AS REMAINING IN PRIVATE OWNERSHIP AND ACCOMMODATED WITHIN THE PUBLIC RIGHT-OF-WAY OR OTHER PUBLIC AREAS. THE OWNERS OF SUCH FACILITIES, OR THEIR SUCCESSORS OR ASSIGNS, SHALL BE RESPONSIBLE FOR MAINTAINING SUCH FACILITIES IN GOOD AND SAFE REPAIR.
9. OPEN CUTS ACROSS PAVEMENT WITHIN CITY RIGHT-OF-WAY ARE DISCOURAGED. BEFORE A PAVEMENT CAN BE APPROVED FOR AN OPEN CUT THE PAVEMENT MUST BE 5 YEARS OR OLDER. THIS APPROVAL CAN ONLY BE GIVEN BY THE CITY ENGINEER. THE APPROVED METHODS FOR CONSTRUCTING UTILITIES ACROSS PAVEMENTS THAT CANNOT BE OPEN CUT ARE 'BORING AND JACKING', 'DIRECTIONAL BORING' OR 'PUSHING' BENEATH THE PAVEMENT.
10. AFTER A PERMIT HAS BEEN OBTAINED TO WORK WITHIN THE CITY RIGHT-OF-WAY, ALL CONSTRUCTION PERTAINING TO THE PERMIT SHALL BE DONE BY A FLORIDA CERTIFIED CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE UTILITY AND MAINTENANCE AND REPAIR THEREOF FOR A WARRANTY PERIOD OF 1 YEAR.
11. WHERE BRICK OR OTHER USABLE MATERIAL ARE REMOVED WITHIN THE STREET PAVEMENT STRUCTURE FOR THE INSTALLATION OF A UTILITY, SAID MATERIAL WILL BE DELIVERED TO THE CITY PUBLIC WORKS STORAGE YARD AND THE TRENCH CUT RESTORED WITH BELOW INDICATED BASE COURSE MATERIAL AND ASPHALT CONCRETE SURFACE COURSE, AS DESCRIBED HEREIN.

Revision Date: October 2022



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R.O.W. UTILIZATION PERMIT APPLICATION

(Authority: City of Ocala Code of Ordinances Section 58-5 and Section 59-5)

12. **TRENCH BACKFILL AND COMPACTION:** TRENCH BACKFILL SHALL BE CONSTRUCTED WITH SUITABLE MATERIAL PLACED IN 12 INCH LIFTS WETTING OR DRYING WILL BE REQUIRED TO OBTAIN PROPER MOISTURE CONTENT AND TAMPED WITH MECHANICAL TAMPER TO OBTAIN REQUIRED COMPACTION. ALL BACKFILL SHALL BE COMPACTED TO A DENSITY OF AT LEAST ONE HUNDRED (100%) OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T99 (STANDARD PROCTOR). DENSITY TESTS SHALL BE REQUIRED AT LEAST EACH 12 INCHES OF COMPACTED FILL. DENSITY TESTS SHALL BE REQUIRED NOT MORE THAN 500' APART. (SECTION 120 AND 125-8 OF FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2018 EDITION AND CITY OF OCALA CODE OF ORDINANCES, SECTION 83-378).
13. **BASE COURSE MATERIAL** TO BE USED IN ALL OPEN CUTS SHALL BE EQUAL TO OR BETTER THAN THE EXISTING BASE BOTH IN QUALITY AND THICKNESS. THE DECISION AS TO THE TYPE AND AMOUNT OF BASE MATERIAL IN EACH INDIVIDUAL CUT WILL BE DETERMINED BY THE CITY ENGINEER. WHERE LIMEROCK IS USED AS A BASE MATERIAL, IT SHALL BE THOROUGHLY COMPACTED IN 6 INCH LAYERS WITH A MINIMUM TOTAL THICKNESS OF 12 INCHES, TO RECEIVE THE SURFACE COURSE. THE LIMEROCK MATERIAL SHALL BE OF QUALITY ACCEPTABLE TO THE CITY OF OCALA AND THE BASE SHALL BE MAINTAINED IN A CONDITION ACCEPTABLE TO THE CITY ENGINEER UNTIL SURFACE COURSE IS APPLIED TO ENSURE A GOOD RIDING SURFACE. ONE LIMEROCK DENSITY TEST OF AT LEAST 98% COMPACTION WILL BE REQUIRED PRIOR TO SURFACING. LIMEROCK SHALL BE PRIMED PRIOR TO PAVING.
14. THE PERIOD OF TIME BETWEEN THE RESTORATION OF THE BASE MATERIAL AND THE APPLICATION OF THE FINISHED SURFACE COURSE SHALL NOT EXCEED SEVEN (7) CALENDAR DAYS EXCEPT BY WRITTEN AUTHORIZATION BY THE CITY ENGINEER'S OFFICE.
15. SURFACE COURSE SHALL BE A TYPE EQUAL TO OR BETTER THAN EXISTING, TO BE DETERMINED BY THE CITY ENGINEER. FOR EACH LOCATION WHERE THE SURFACE COURSE IS OF ASPHALTIC CONCRETE IT SHALL BE FOOT SP 9.5 WITH A MINIMUM OF 1,500 LBS MARSHALL STABILITY AND WITH A MINIMUM COMPACTED THICKNESS OF 1 ½ INCHES FOR RESIDENTIAL STREETS.
16. BEFORE SURFACE COURSE IS APPLIED TO THE AREA IT SHALL BE SAW CUT AND SQUARED TO FORM A RECTANGULAR SHAPE, THE SIDES OF WHICH SHALL BE A MINIMUM OF 2 FEET FROM THE FARTHEST EXTENSION OF THE CUT ON ALL SIDES, OR AS DIRECTED BY THE CITY ENGINEER.
17. IN AREAS WHERE PAVEMENT CUTS ARE CLOSE OR IN A ROW, THE ENTIRE AREA, INCLUDING THAT BETWEEN PATCHES, SHALL BE SAW-CUT AND RESURFACED IN A CONTINUOUS STRIP, THE WIDTH OF WHICH, IF IN QUESTION, SHALL BE DETERMINED BY THE CITY ENGINEER.
18. WHERE A UTILITY IS INSTALLED IN AN UNPAVED STREET, SAID STREET WILL BE STABILIZED FROM DITCH LINE TO DITCH LINE AND RESTORED TO CONDITION EQUAL TO OR BETTER THAN ORIGINAL UNDISTURBED CONDITION.
19. ALL UNDERGROUND UTILITY CROSSING INSTALLATION SHALL BE LAID AT A MINIMUM DEPTH OF 36 INCHES BELOW THE PAVEMENT. EXCEPTIONS MAY BE MADE, IN SPECIAL CASES, IF APPROVED IN WRITING BY THE CITY ENGINEER.
20. WHERE A UTILITY IS INSTALLED IN AN UNPAVED PORTION OF THE CITY RIGHT-OF-WAY, THE UNPAVED DISTURBED AREA SHALL BE RESTORED IN A MANNER ACCEPTABLE TO THE CITY, INCLUDING RESTORATION OF GRASSED AREA WITH BAHIA SOD, DRIVEWAYS AND SIDEWALKS RESTORED IN KIND, AS WELL AS DRAINS, RETAINING WALLS, CURBS, ETC.
21. ALL STREET EXCAVATION SHALL BE DONE IN KEEPING WITH STANDARDS, POLICIES AND PROCEDURES OF THE CITY OF OCALA, SUBJECT TO THE INTERPRETATION OF THE CITY ENGINEER.
22. IF A SEWER LATERAL, WATERLINE OR ANY RELATED WATER-FACILITY, OR OTHER PRIVATE UTILITY IS BROKEN OR DAMAGED DURING CONSTRUCTION, IMMEDIATE NOTIFICATION OF THE APPROPRIATE AGENCY IS REQUIRED.
23. CONSTRUCTION AND MAINTENANCE OF SUCH UTILITY SHALL NOT INTERFERE WITH THE RIGHTS OF A PRIOR OCCUPANT.
24. ALL PROJECTS AND WORK ON CITY STREETS SHALL HAVE AN APPROVED TRAFFIC CONTROL (MOT) PLAN. ALL WORK SHALL BE EXECUTED UNDER THE ESTABLISHED 'MOT' PLAN, AND THE LATEST FOOT DESIGN STANDARD INDEX NO. 102-500 THAT CONTAINS INFORMATION SPECIFIC TO THE STATE GUIDELINES ON TRAFFIC CONTROL IN WORK ZONES, FOR CONSTRUCTION AND MAINTENANCE OPERATION, AND UTILITY WORK.
25. IT IS EXPRESSLY STIPULATED THAT THIS PERMIT IS A LICENSE FOR PERMISSIVE USE ONLY AND THAT PLACING OF FACILITIES UPON PUBLIC PROPERTY PURSUANT TO THIS PERMIT SHALL NOT OPERATE TO CREATE OR VEST ANY PROPERTY RIGHTS IN SAID HOLDER.
26. THE ATTACHED SKETCH COVERING DETAILS OF THIS INSTALLATION SHALL BE MADE A PART OF THIS PERMIT. ADDITIONAL SKETCHES SHALL BE FURNISHED WHERE ATTACHED SKETCH IS NOT APPLICABLE.
27. IT IS UNDERSTOOD AND AGREED THAT THE RIGHTS AND PRIVILEGES HEREIN SET OUT ARE GRANTED ONLY TO THE EXTENT OF THE CITY'S RIGHT, TITLE AND INTEREST IN THE LAND TO BE ENTERED UPON AND USED BY THE HOLDER, AND THE HOLDER WILL, AT ALL TIMES, ASSUME ALL RISK OF AND INDEMNIFY, DEFEND, AND SAVE HARMLESS THE CITY OF OCALA AND THE ENGINEERING DEPARTMENT FROM AND AGAINST ANY AND ALL LOSS, DAMAGE, COST OR EXPENSE ARISING IN ANY MANNER ON ACCOUNT OF THE EXERCISE OR ATTEMPTED EXERCISES BY SAID HOLDER OF THE AFORESAID RIGHTS AND PRIVILEGES.
28. WITH REFERENCE TO STREET CLOSINGS, THIS PERMIT WILL BE REQUIRED FOR THE TEMPORARY CLOSING OF PUBLIC STREETS, ETC.

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(Authority: City of Ocala Code of Ordinances Section 58-5 and Section 59-5)

DIRECTIONAL DRILL BORE LOG

NOTE: All bores must be constructed in compliance with the requirements of City of Ocala Standard Specifications for Water & Sewer Construction, Volume II, Section 475

PROJECT NAME: _____

DATE OF BORE: _____ TIME BEGIN: _____ TIME COMPLETE: _____

BORE CONTRACTOR: _____

FOREMAN'S NAME: _____ FOREMAN'S CELL PHONE NUMBER: _____

DIRECTIONAL BORE UNIT (MODEL & MANUF.): _____

TYPE OF FACILITY (WATER, GAS, SEWER, ETC): _____

LOCATION OF BORE: _____

CARRIER PIPE TOTAL LENGTH (FT): _____

REAMER SIZE (IN): _____

CASING TOTAL LENGTH (IF APPLICABLE): _____

SIZE OF PIPE (IN): _____ TYPE OF PIPE (HDPE, PVC, ETC): _____ DR RATING: _____

TYPE OF JOINT (WELD, COUPLING, ETC): _____

PROBLEMS ENCOUNTERED: _____

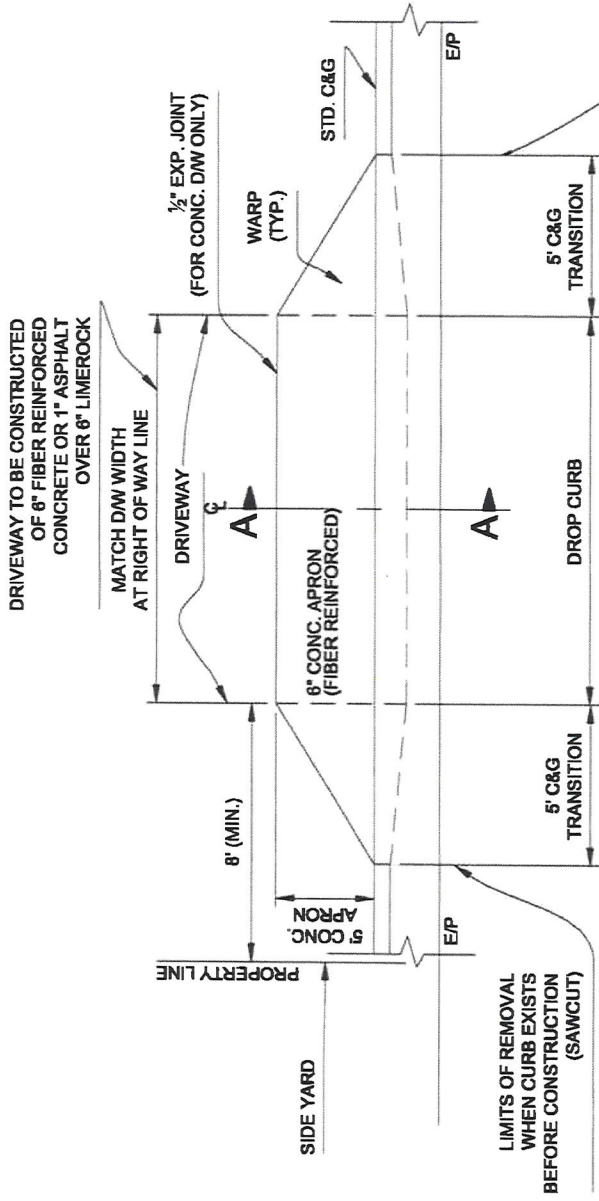
BORE INFORMATION LOG	
RECORD BORE DEPTH AT A MINIMUM OF 10 FOOT INTERVALS ALONG ENTIRE BORE PATH, REFERENCING DISTANCES FROM EDGE OF PAVEMENT, FACE OF CURB, ETC RECORD THE BEGINNING AND ENDING DEPTHS	
LOCATION:	DEPTH (FT):
LOCATION:	DEPTH:
LOCATION:	DEPTH:
LOCATION:	DEPTH:
LOCATION:	DEPTH:
LOCATION:	DEPTH:
LOCATION:	DEPTH:
LOCATION:	DEPTH:
LOCATION:	DEPTH:



Driveway Standards Cover Sheet

Driveway Construction General Notes:

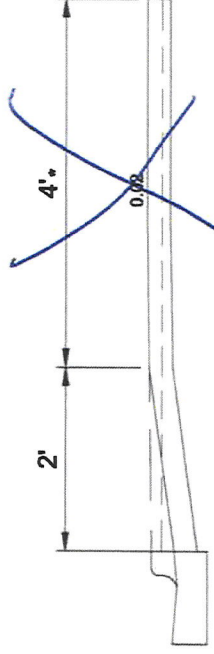
1. 6" thick 3,000 PSI fiber reinforced concrete or 6x6 wire mesh required for driveway approach, applies to all driveway section areas within the right of way and up to the property line. All concrete section areas to include fiber reinforced concrete or 6x6 wire mesh throughout the entire driveway area poured.
MAG
2. Subgrade shall be compacted to a minimum of 95% modified proctor, any soil disturbed within 1 foot of the building structure perimeter shall be treated for termites.
MAG
3. A minimum driveway width of 10' feet is required. Maximum width of a residential driveway is 24' feet per driveway policy.
MAG
4. Provide a clean precise cut at driveway connection, tie into existing curb cut smoothly.
MAG
5. Driveway shall be constructed in a manner as to not cause an obstruction to the natural storm water surface flow. The existing drainage pattern shall not be altered without a professional signed and sealed engineered drainage and grading plan submitted and reviewed prior to completion of work.
MAG
6. See all attached Ocala Driveway Specification Standard Sheets R-1, R-2, R-3, and R-4, driveway flares shall be per the standard details provided.
MAG



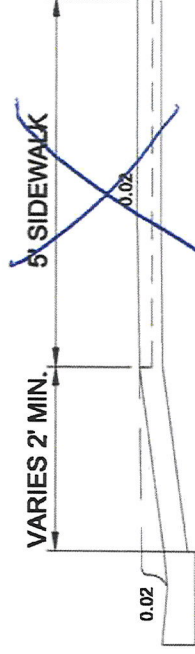
PLAN

NOTE:
SAWCUT CONTRACTION JOINTS
EQUALLY SPACED AT NOT MORE
THAN 10' INTERVALS.

LIMITS OF REMOVAL
WHEN CURB EXISTS
BEFORE CONSTRUCTION
(SAWCUT)



TURNOUT WITH SIDEWALK ADJACENT TO CURB



* THE 2% PORTION OF SIDEWALK BETWEEN DRIVEWAY MAY BE REDUCED TO 3' MIN. IN RESTRICTED CONDITIONS WHEN APPROVED BY THE ENGINEERING DEPARTMENT

TURNOUT WITH SIDEWALK AND UTILITY STRIP

SECTION

NOTES:

1. FOR RESIDENTIAL TURNOUTS WITH RADIAL RETURNS : MINIMUM 25' RADIUS, MAXIMUM 50' RADIUS. THE RETURN RADIUS SHALL NOT PASS BEYOND ADJOINING PROPERTY BOUNDARY LINE EXTENDED.
2. FOR COMMERCIAL & INDUSTRIAL TURNOUTS : REFER TO FOOT INDEX #615.

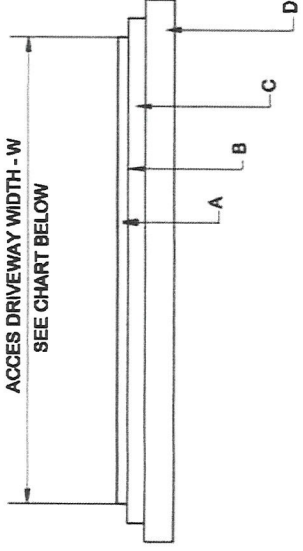


**CITY OF OCALA
STANDARD**

**TYPICAL RESIDENTIAL
DRIVEWAY DETAIL "A"**

R-3

Version of
JAN. 21, 2010



SECTION

MATERIALS OF CONSTRUCTION:

- A. SP 9.5 ASPHALT SURFACE COURSE.
- B. PRIME COAT, W/SAND APPLICATION, APPLIED AT A MINIMUM RATE OF 0.10 GALLONS PER SQUARE YARD.
- C. LIMEROCK BASE COURSE, LBR 100 MINIMUM, COMPACTED TO 98% MAXIMUM DENSITY PER AASHTO T-180.
- D. STABILIZED SUBGRADE TYPE 'B', LBR 40 MINIMUM, COMPACTED TO 98% MAXIMUM DENSITY, PER AASHTO T-180.

ACCESS DRIVEWAY - MINIMUM REQUIREMENTS WITHIN STREET RIGHT-OF-WAY							
BUILDING ZONE	DRIVEWAY WIDTH - W		CURB RADII		FLEXIBLE PAVEMENT SECTION COURSE THICKNESSES		
	MIN	MAX	MIN	MAX	A	C	D
RESIDENTIAL	5 FT	8 FT	20 FT	24 FT	5 FT	6 INCHES	5 (STABILIZED SUBGRADE) 8 INCHES
INDUSTRIAL	14 FT	18 FT	24 FT	36 FT	30 FT	8 INCHES	12 INCHES
COMMERCIAL	14 FT	18 FT	24 FT	36 FT	50 FT	4 INCHES	10 INCHES
INSTITUTIONAL	8 FT	12 FT	16 FT	24 FT	35 FT (1)	1 INCH	6 INCHES

- (1) 36 FT. RADIUS STANDARD DETAIL R-1 AND R-2.
- (2) STABILIZED SUBGRADE COURSE CAN BE REDUCED BY 2 INCHES FOR EVERY INCH OF ADDITIONAL LIMEROCK BASE COURSE PROVIDED.
- (3) 5/8" CONC RETE PAVEMENT SECTION FOR RESIDENTIAL DRIVEWAYS SHALL BE 6 INCHES OF FIBER REINFORCED 2500 P.S. CONCRETE OVER A STABILIZED SUBGRADE.

NOTES:

1. MATERIALS AND METHODS OF CONSTRUCTION FOR THE ACCESS DRIVEWAY WITHIN THE STREET RIGHT OF WAY SHALL BE IN ACCORDANCE WITH THE FDOT 'STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION', CURRENT EDITION.
2. ALL UNSUITABLE MATERIAL UNDER THE PROPOSED PAVEMENT, SUCH AS CLAY AND ROOTS, SHALL BE REMOVED TO A MINIMUM DEPTH OF 18 INCHES BELOW THE BOTTOM OF THE STABILIZED SUBGRADE. AN UNDERDRAIN SHALL BE INSTALLED THROUGH THE UNSUITABLE SECTION AREA.
3. INVERTED CROWN PAVEMENT SECTION MAY BE USED IF INCORPORATED INTO THE SITE STORM DRAINAGE DESIGN.
4. DROP (MIAMI) CURB MAY BE USED WHEN IT WILL ADEQUATELY CONTAIN SURFACE DRAINAGE AND NOT INTERFERE WITH CURB INLET STRUCTURES.
5. REFER TO CITY DRIVEWAY POLICY FOR MORE ACCESS DRIVEWAY REQUIREMENTS.



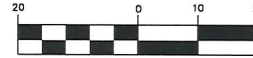
**CITY OF OCALA
STANDARD**

**ACCESS DRIVEWAY
TYPICAL SECTION**

R-2

Version of
JAN. 21, 2010

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

DESCRIPTION:
1) MEASURED BEARINGS BASED ON THE MONUMENTED EAST RIGHT OF WAY LINE OF S.E. SANCHEZ AVENUE SAID BEARING BEING ASSUMED AS S.00°00'00"E.
2) SURVEY BASED ON EXISTING MONUMENTATION OF CALDWELL'S ADDITION TO OCALA, FLORIDA ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK "E", PAGE(S) 4, PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

- NOTES:
- 1) MEASURED BEARINGS BASED ON THE MONUMENTED EAST RIGHT OF WAY LINE OF S.E. SANCHEZ AVENUE SAID BEARING BEING ASSUMED AS S.00°00'00"E.
 - 2) SURVEY BASED ON EXISTING MONUMENTATION OF CALDWELL'S ADDITION TO OCALA, FLORIDA.
 - 3) DESCRIPTION FURNISHED BY CLIENT.
 - 4) BOUNDARY SURVEY FOR MATTHEW ALLAN GROW AND CINDY ANN GROW.
 - 5) LANDS SHOWN HEREON HAVE NOT BEEN ABSTRACTED FOR RIGHT-OF-WAY, EASEMENTS, AND/OR OTHER INSTRUMENTS OF RECORD BY THIS SURVEYOR.
 - 6) REPRODUCTIONS OF THIS SKETCH ARE NOT VALID UNLESS SIGNED & SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.
 - 7) SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
 - 8) NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES, INCLUDING BUT NOT LIMITED TO SEPTIC TANKS, SEWER FORCE MAINS, POTABLE WATER FORCE MAINS, TELEPHONE AND/OR FIBEROPTIC CABLES, ETC. BEFORE EXCAVATIONS ARE BEGUN, THE APPROPRIATE AGENCY SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FIELD LOCATION.
 - 9) LANDS SHOWN HEREON ARE CONSIDERED TO BE IN ZONE "X" AREAS DETERMINED TO BE OUTSIDE THE 100-YEAR FLOOD PLAIN, AS ESTABLISHED BY THE NATIONAL FLOOD INSURANCE PROGRAM, COMMUNITY PANEL #12083C-0517E D, DATED APRIL 19, 2017.
 - 10) THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE BENEFIT OF THE PARTY(IES) NAMED HEREON, AND SHALL NOT BE DUPLICATED OR RELIED UPON BY ANY OTHER INDIVIDUAL OR ENTITY WITHOUT AUTHORIZATION FROM BOHANON & ASSOCIATES LAND SURVEYING, LLC.

LEGEND:

- N=NORTH, E=EAST, S=SOUTH, W=WEST (OR ANY COMBINATION)
 ° = DEGREES WHEN USED IN A BEARING AND/OR ANGLE
 ' = MINUTES WHEN USED IN A BEARING AND/OR ANGLE
 " = SECONDS WHEN USED IN A BEARING AND/OR ANGLE
 - = FEET WHEN USED IN A DISTANCE
 P.C. = POINT OF CURVATURE
 P.T. = POINT OF TANGENCY
 P.R.C. = POINT OF REVERSE CURVATURE
 P.C.C. = POINT OF COMPOUND CURVATURE
 P.I. = POINT OF INTERSECTION
 L.S. = LICENSED SURVEYOR
 L.B. = LICENSED BUSINESS
 R.L.S. = REGISTERED LAND SURVEYOR
 P.S.M. = PROFESSIONAL SURVEYOR & MAPPER
 E.S. = ELECTRIC SERVICE
 P.C.P. = PERMANENT CONTROL POINT
 PROP. = PROPOSED
 COV. = COVERED
 CONC. = CONCRETE
 A/C = AIR CONDITIONER
 I.D. = IDENTIFICATION
 (M) = MEASURED DISTANCE OR BEARING
 (P) = PLAT DISTANCE OR BEARING
 (D) = DEED DISTANCE OR BEARING
 (C) = CALCULATED DISTANCE OR BEARING
 -/- = LINE NOT DRAWN TO SCALE
 ⊙ = FOUND 5/8" IRON ROD AND CAP (LB 3991)
 ⊙ = SET 5/8" IRON ROD AND CAP (LB 8181)
 ⊙ = FOUND 5/8" IRON ROD AND CAP (LB 2566)
 ⊙ = FOUND 4"x4" CONCRETE MONUMENT (NO ID)

CERTIFY TO: MATTHEW ALLAN GROW AND CINDY ANN GROW; AMERIS BANK, ISAOA(ATIMA) AFFILIATED TITLE OF CENTRAL FLORIDA, LTD.; FIRST AMERICAN TITLE INSURANCE COMPANY

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION, AND THE PLAT AND DESCRIPTION ABOVE IS A CORRECT REPRESENTATION OF THE LANDS SURVEYED AND MEETS THE ESTABLISHED STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 61-12.050-052, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

Jimmy L. Bohanon
 JIMMY L. BOHANON, PSM # 6172
 OF BOHANON & ASSOCIATES LAND SURVEYING, LLC
 6520 S.E. 113th STREET
 BELLEVIEW, FL 34420

12/06/2018
 DATE

NO.	DATE	BY	REVISION:
1			
2			
3			

BOUNDARY SURVEY FOR: MATTHEW ALLAN GROW AND CINDY ANN GROW
 BOHANON & ASSOCIATES LAND SURVEYING, LLC
 "COMPLETE SURVEYING & MAPPING SERVICE"
 LICENSED BUSINESS #181
 P.O. BOX 5477 OCALA, FLORIDA 34478
 OFFICE: (352) 236-2212

JOB: 18-923	DATE: 12/5/18	VOLUME: 5/36	SHEET: 1 OF 1
DRAWN: TCM			
REVIEWED: JLB			

