

SAVING MERCY VILLAGE

Ocala, Florida

PLANNED DEVELOPMENT STANDARDS BOOK

PD20-0003

September, 2020

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Revised November 30, 2023

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Revised January 23, 2026

Revised February 25, 2026

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Introduction:

The Saving Mercy Village is a Planned Development comprised of just under 10 acres set back from West Silver Springs Boulevard in Ocala, Florida. The property is located within an area of diverse mix of existing land uses that support the goals defined in the City's adopted 2035 Vision Plan principals as well as the City's Comprehensive Plan for an Employment Center Area of the City.

The Planned Development (PD) Plan for Saving Mercy Village provides a blueprint for the preferred development patterns, design qualities, community needs, and access/transportation systems for this project. This application is consistent with the City of Ocala Future Land Use classification and PD zoning.

The PD Plan for Saving Mercy Village provided a community needed development for affordable transition housing for the homeless, as a housing first model, in an area and Employment Center District where both transportation services and employment opportunity may be available.

These PD standards serve as the foundations for the planning development efforts consistent with the provisions of Division 30 of the City's Land Development Code. In compliance with the City's PD requirements, the Saving Mercy Village PD plan is comprised of several components that are intended to provide assurance that the development of the property complies with the standards and requirements of a Planned District. The PD plan Design Standards are the culmination of a comprehensive and collaborative planning process designed to provide the framework for the development and community need within this area.

The PD Standards have been prepared to encourage and regulate the residential use of the development, including affordable building and site design requirements, which help ensure the provision of sound and sustainable land use planning. These components are fully described and presented throughout this document and include the PD Master Plan and Guideline Standards for development.

Development Phasing and Statement of Intensity/Density

Development of the Saving Mercy Village project and the associated transition of the existing mobile home park and motel facilities to the planned residential housing village will take time and several years to complete. The project development is subject to the degree of charitable funding received along with community funding support and both State and federal grant funding. Therefore the buildout development of this PD is planned in four planning phases. Any number of phases may be combined depending on needs and funding. **Table 1** summarizes the planned development characteristic of the PD with a density to not exceed the City Code of Ordinance allowable 24 units per acre.

Table 1: Planned Development Summary

Development Component	Phase 1	Phase 2	Phase 3	Phase 4	Total Buildout
Duplex	20	0	0	0	20 units
Residential Apartments	0	59 units	57 units	64 units	180 units
Total					200 units

PLANNED PERSPECTIVE OF GENERAL DEVELOPMENT LAYOUT FOR SAVING MERCY VILLAGE

Planned Development Guidelines:

The following PD Guiding Principles are intended to communicate the overall general design intent of the multi-family residential and supporting administrative uses for this development. When the opportunity arises to present a superior design alternative that may not adhere to each and every standard in this guideline, the City of Ocala may permit such superior design alternative through an administrative review and approval process for the development.

The Standards and Guidelines may be amended by the applicant, from time to time, to reflect changes in building construction materials and standards, nature of support services and housing needs, changes to City standards and services, and overall project funding requirements.

These standards and guidelines have been developed along with the PD Master Plan and phasing schedule based on the development servicing housing opportunities for otherwise homeless individuals and families. The PD Plan has been developed based on existing site features, utility services, existing housing to be phased out over time and replaced with new development, and the overall vision of housing for those individuals that can assist in providing a local workforce to aid in supporting the City's adopted 2035 Vision Plan for this region of the City to continue to grow as an Employment Center.

Guiding Principles:

Proposed Uses

- Development phases of the Saving Mercy Village include duplex and multi-family accommodations for residential housing along with the related supporting facilities for this unique Planned Development. Supporting facilities include laundry and bathroom facilities, solid waste and recycle areas, and playground / dog park facilities.

Architecture and Styles Guide

- Architecture shall be of a similar style and level of quality as the examples shown on the following pages of this Guidebook.
- Buildings shall include architectural features that provide visual interest, break up aesthetically similar areas, and recognize local character
- Façade colors shall be low reflectance, subtle, or neutral tone colors. Building trim and accent areas may feature brighter colors, white or including primary colors
- The project architecture shall promote and enhance a pedestrian scale and orientation on any façade facing a street, through building articulation, transparency, or other design treatments such as railing and fence features.

- Buildings should be articulated to highlight access to building entrances and public / common spaces. Design elements for articulation and architectural relief may include but are not limited to windows, pedestrian entrances, awnings, canopies, cupolas, overhangs, recesses, projections, pilasters, arches or similar types of building materials and massing to establish visual relief.
- Buildings shall be organized to group the utilitarian functions away from the public view from public streets. Delivery and loading operations, HVAC equipment, dumpster locations, backflow preventers, and other utility and service functions shall be screened and incorporated into the overall design of the buildings and landscaping.
- Building height is limited to three-story structures.

Vehicular and Pedestrian Facilities

- Vehicular access and drive lane layout is planned for safety and emergency services. The transportation network supports multiple modes of transportation including vehicle, pedestrian, bicycle and if available local transit. The vehicle access provided within the PD is positioned to provide efficient access to parking and other site amenities.
- The location of vehicle drive lanes and parking is positioned to utilize some of the existing road access to allow efficient development phasing, while also providing development of village housing clusters and separation of different residential use intensities.
- Vehicle travel and parking areas area are consolidated where possible and efficient for tenant needs.
- Access drives are designed to minimize congestion.
- Access drives are provided for community services such as solid waste pickup, loading zone access and utility services.
- Vehicular traffic is separated from pedestrian walkways and pedestrian traffic where practical.
- Where pedestrian and traffic conflict may occur such as drive lane crossings, pedestrian cross walks and pavement markings are provided for increased safety. In some areas special paving or color markings may be utilized.
- Larger parking areas will include clearly defined pedestrian corridors to provide safe access to adjacent buildings.
- Pedestrian walkway will be hard surface materials such as concrete or asphalt.
- Bicycle parking and access ways are incorporated in the design of this Planned development. Bicycle parking is planned for one bicycle space for each 10 vehicle parking spaces. For apartment units the design criteria will be one bicycle space for each 5 units, bicycle racks shall be located near main entrances.

Site Lighting

- Light fixtures shall be appropriately designed and not impede the vision of pedestrians or motorists
- Street lights shall have a uniform motif and finish to provide continuity throughout the site
- Light fixtures shall not exceed the following heights:
 - Parking lots – 20 feet
 - Pedestrians – 15 feet

- The design of site and street lighting shall include existing and future tree locations to maintain appropriate levels of illumination
- Promote use of LED lighting
- Light fixtures and security lighting shall be cut-off fixtures
- Promote use of “dark sky” principles and practices

Signage

- An Entrance monument sign shall be located to create an arrival threshold
- Sign construction and placement shall comply with Florida Department of Transportation and City of Ocala design standards, e.g. line-of-sight safety requirements
- Signs shall complement the building architecture through style, material, and color
- Signs shall not adversely impact the vision of pedestrians or motorists
- The maximum area for wall signs shall be 32 square feet
- The maximum area for entrance sign shall be 48 square feet.

Amenities

- Usable aggregate open space as required by City of Ocala municipal code section 122-942(a)(4)(d) to be comprised of amenities comparable to those shown on photos in the following guidebook section or similar amenities of equivalent value to future residents.

Amenities are intended to include, but may not be limited to:

- ✓ Children Playground and open space Play Area
- ✓ Dog walk area (Dog Park)
- ✓ Sidewalks
- ✓ Pavilion Area
- ✓ Bicycle Parking and Seating Areas
- ✓ Laundry building

Landscape

- Plants shall be Florida No. 1
- Landscape plantings should include a diverse combination of deciduous and evergreen trees, shrubs, grasses, and ground covers
- Drought tolerant plants are encouraged
- Promote low-use irrigation
- Landscape materials that are problematic invasives are prohibited
- Shade trees shall be 10’ away from underground utilities and overhead power lines
- Shade trees shall be 4’ away from edge of pavement, curb, or sidewalk
- Shade trees shall not conflict with buildings
- Where vegetative buffers are required, evergreen shrubs shall be used to create a continuous screen. In buffer areas with an existing understory, shrubs and trees shall be used to supplement the visual screen

Parking

- Parking shall comply with the design standards of Article VI of the City of Ocala Land Development Code
- Handicap parking shall comply with ADA standards and be available to various areas of development with specific emphasis on community use buildings.
- Parking will be illuminated for nighttime safety
- Common parking and grass parking areas will be provided in the plan for overflow and longer-term parking.
- Not all units will be adjacent to a parking space or have a dedicated parking spot at the individual housing unit

Utilities

- New Utilities including electric and replacement utilities shall be designed for underground installation where practical and feasible. Existing City of Ocala electric utilities shall remain if determined acceptable by the City.
- Utilities provided shall include City of Ocala sewer service, water service, fire water supply, and City of Ocala electric. Other utilities may include limited gas service, internet and cable.

Architectural Styles:

The following artist renderings illustrate the planned architectural style for the different building features and housing for this Planned Development. Housing styles include Tiny Home Duplex Units, 2-story multi-family apartments and 3-story multi-family apartments.



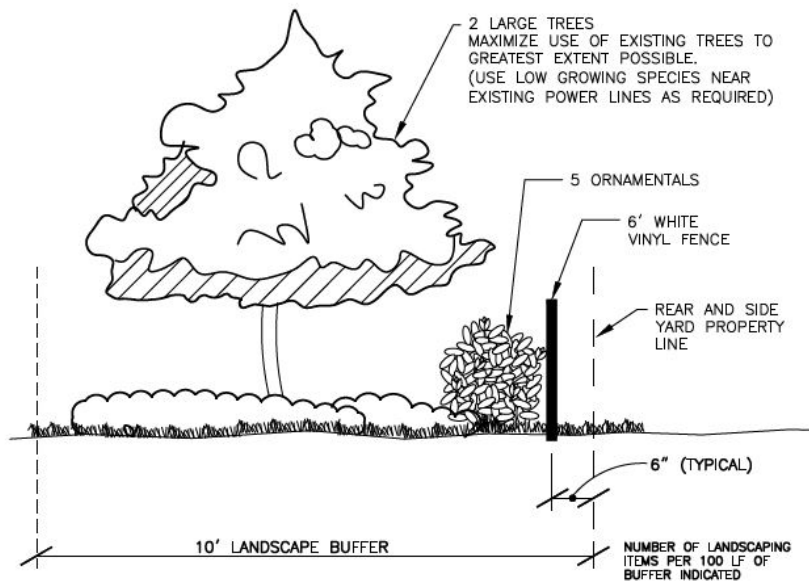
TINY HOME DUPLEX EXTERIOR VIEW



TINY HOME DUPLEXES

Vegetative Buffers:

Vegetative buffers are planned along the east, north and west side perimeter of the Planned Development to primarily provide a safety fence system and visual tree landscape area for shade and aesthetics. The planned buffer is limited in plantings to reduce maintenance and irrigation needs but enhanced with group plantings and landscape clusters around trees. This will discourage an unappealing long linear appearance of the white vinyl 6-foot-high security fencing along the development perimeter. Below is a typical cross section sketch of the planned perimeter buffer.



REAR AND SIDE YARD LANDSCAPE BUFFERS
NOT TO SCALE

Buffers areas may include trails and other similar passive recreation uses, including but not limited to landscaping, fencing, drainage/water retention areas, walls, signage and underground utilities.



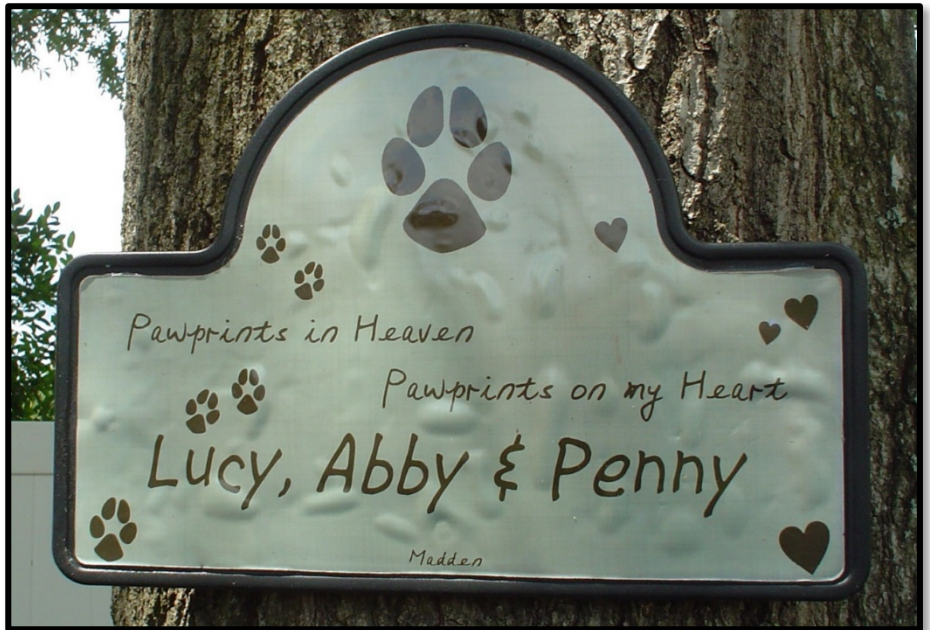
TYPICAL 6' HIGH VINYL FENCE

Amenities:

Amenities are to include playground equipment and open space for children and passive outdoor activities. The photo below is representative of the playground area.

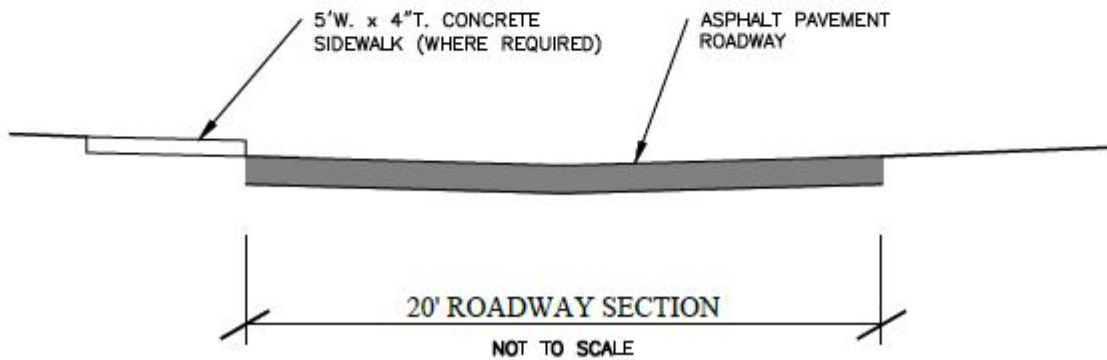
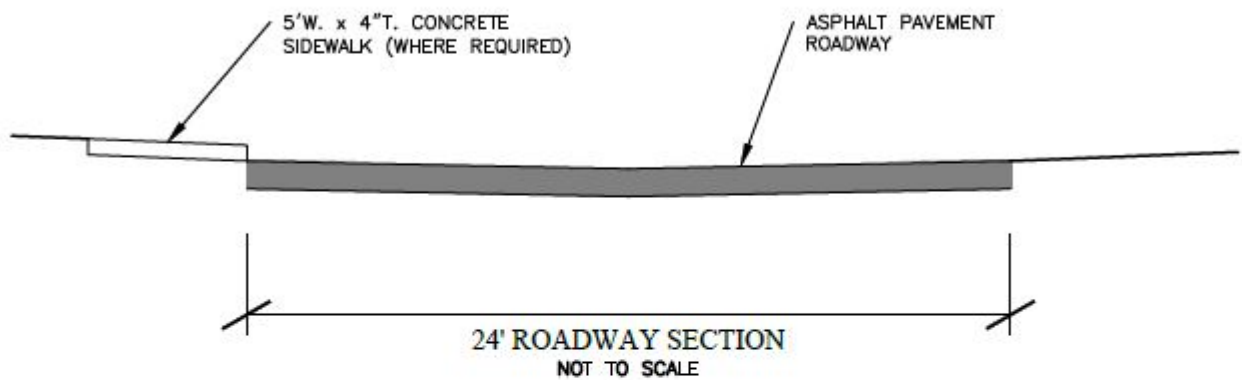


The Planned development will also include an open space area for dog walking and outdoor activity.



Access Drives and Roadway Sections:

Drive lanes and roadway sections will include 24-foot-wide access ways for primary route to service vehicles, emergency vehicles and truck deliver or pickup services. Hard surface concrete, asphalt or pavers may be utilized; however, the drive lanes will predominantly be asphalt pavement.



Signage:

The proposed entrance sign illustrated herein is to be located near the main Saving Mercy community entrance as illustrated on the PD Master Plan.

Entrance signage will be illuminated for nighttime visibility.



Note: The original sign location for the development on SR 40 is no longer available to Saving Mercy Corporation due to the commercial frontage parcel changing ownership. The original community sign at SR 40 has been removed.

Monument Entrance Sign:

Description

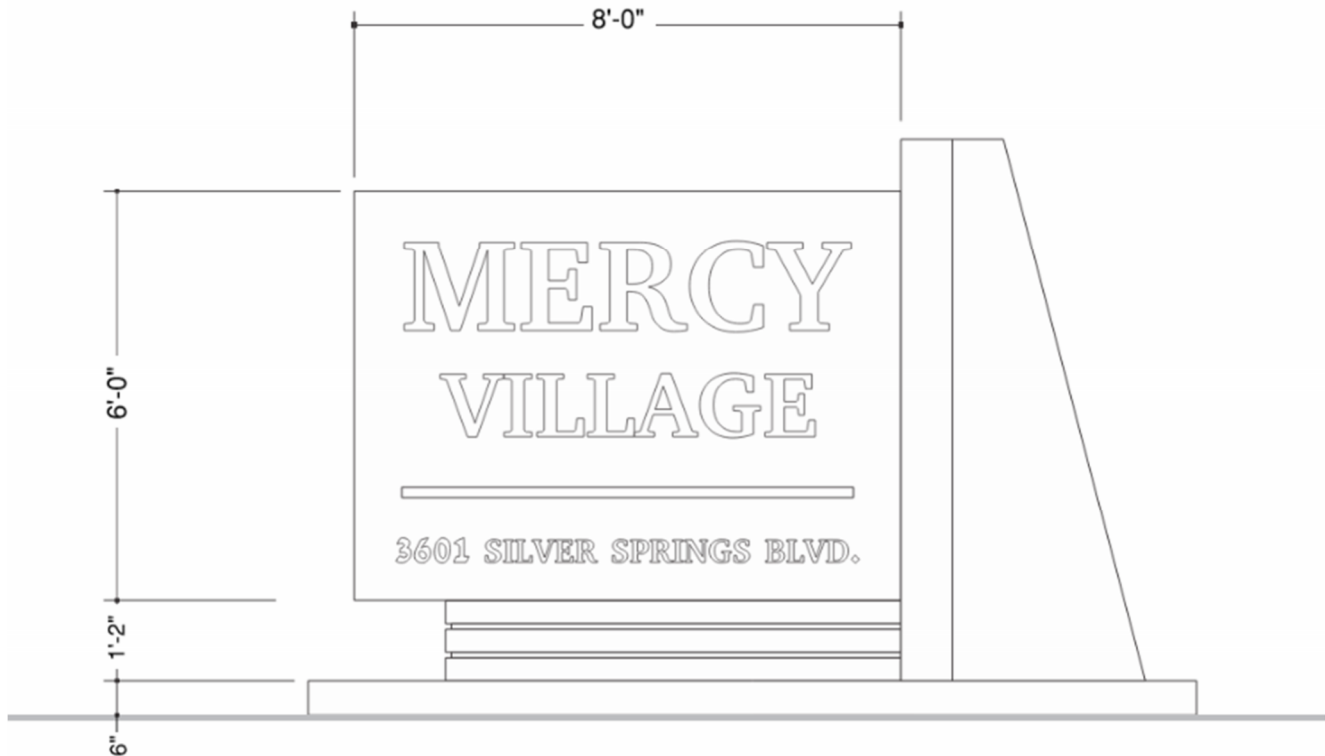
- Signs are subject to the requirements set forth in City of Ocala Code of Ordinances Chapter 110 as applicable.

Standards

- Monument signs must display the street address of the property. Where multiple addresses exist with the same street frontage, the highest and lowest street addresses must be identified. Numbers must be a minimum of 8 inches in height and be visible from both directions of travel
- Monument signs must be set back at least 10 feet from side lots lines and a minimum of 5 feet from the right of way line
- Monument signs shall match the style of their associated building

Dimensions – for Entrance Signage

- Sign area maximum: 48 square feet each side
- Maximum height: 8 feet
- Pedestal height (Min/Max) 2 feet



Typical Entrance Signage Dimensions

Number of Signs

- Two monument signs (one at each entrance) are allowed along street frontage.
- Wall signs shall be located and attached to each building identifying the building.

Signage Prohibitions

- Any sign which poses a traffic hazard or detriment to traffic safety by reason of its size, location, movement, content, coloring, or method of illumination
- Signs which move or give the appearance of moving, including banners, pennants, streamers, string pennants, balloons and all other signs which flutter, undulate, swing, oscillate, rotate, or otherwise move by natural or artificial means
- Signs should not interfere with views of buildings
- Excessive numbers of individual signs
- Individual building numbers as required by NFPA Code shall not be considered a sign

Sample Plants:

Planting Material

Botanical Name

Common Name

Shrubs, Grasses, & Groundcovers

Agapanthus africanus	Lily of the Nile
Dianella tasmanica 'Variegata'	Variegated Flax Lily
Dietes vegeta	African Iris
Illicium parviflorum	Yellow Anise
Ilex vomitoria 'Stokes Dwarf'	Schilling's Dwarf Yaupon Holly
Ligustrum japonicum	Ligustrum
Lirioe muscari	Liriope
Muhlenbergia capillaris	Muhly Grass
Paspalum notatum 'Argentine'	Argentine Bahia
Pittosporum tobira 'Variegata'	Variegated Pittosporum
Serenoa repens	Saw Palmetto
Spartina bakeri	Cordgrass
Stenotaphrum secundatum 'Floritam'	St. Augustine 'Floritam'
Tulbaghia violacea	Society Garlic
Trachelospermum jasminoides	Creeping Jasmine
Viburnum obovatum 'Mrs. Shillers Delight'	Dwarf Walters Viburnum
Viburnum odoratissimum	Sweet Viburnum
Viburnum suspensum	Sandankwa Viburnum
Zamia floridana	Coontie

Trees

Acer rubrum 'Florida Flame'	Flame Red Maple
Ilex x 'Nellie R. Stevens'	Nellie Stevens Holly
Ilex vomitoria	Weeping Yaupon Holly
Lagerstroemia indica	Crepe Myrtle
Ligustrum japonica	Ligustrum, tree-form
Liquidambar styraciflua	Sweetgum
Magnolia grandiflora 'D.D. Blanchard'	D.D. Blanchard Magnolia
Myrica cerifera	Wax Myrtle
Pinus elliotii	Slash Pine
Pinus palustris	Longleaf Pine
Prunus angustifolia	Chickasaw Plum
Sabal Palmetto	Sabal Palm
Taxodium distichum	Bald Cypress
Ulmus alata 'Winged'	Winged Elm
Quercus shumardi	Shumard Oak
Quercus Virginiana	Live Oak

Statement of Variations:

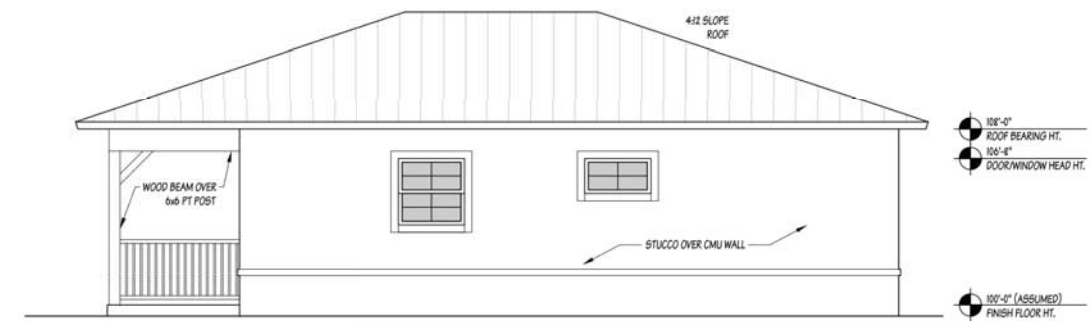
The following section defines the specific variations for this Planned Development from the City of Ocala Code of Ordinances in accordance with code section 122-943(a)(3). The following statement is a compilation of all requested variations.

Parking:

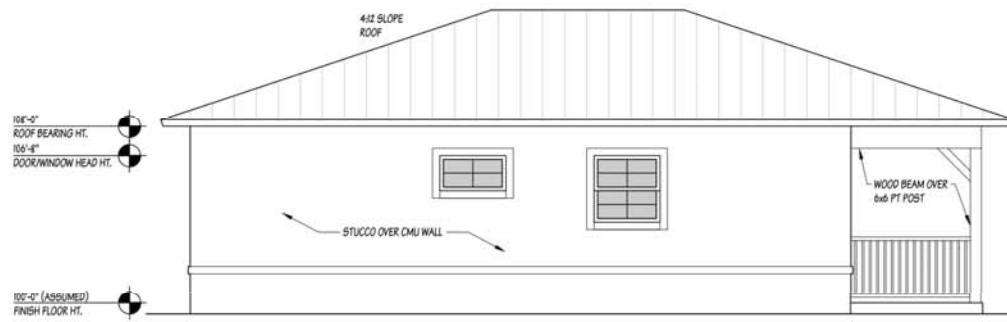
Section 122-1010(a)(2) Required Number of Parking Spaces: The number of parking spaces for two-family and multiple-family dwellings is revised from 1 ½ parking spaces for each dwelling unit to 1 parking space per dwelling unit.

SAVING MERCY VILLAGE
ARCHITECTURAL
ELEVATIONS

EXHIBIT E-2



6 ELEVATION - SIDE AT H.C. SUITE
1/4" = 1'-0"



5 ELEVATION - SIDE AT STANDARD SUITE
1/4" = 1'-0"

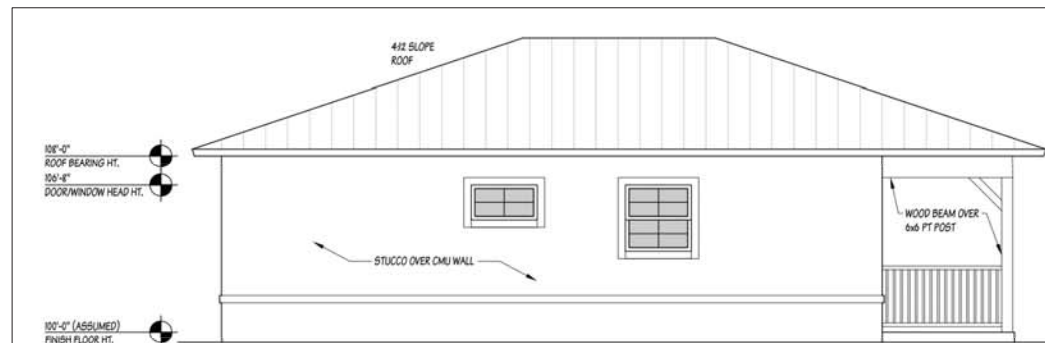


4 ELEVATION - FRONT
1/4" = 1'-0"



3 ELEVATION - REAR
1/4" = 1'-0"

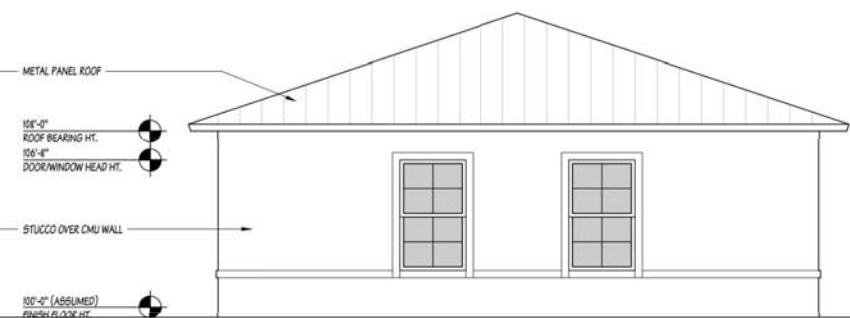
DUPLEX ELEVATIONS



5 ELEVATION - SIDE
1/4" = 1'-0"



4 ELEVATION - FRONT
1/4" = 1'-0"



3 ELEVATION - REAR
1/4" = 1'-0"

H.C. DUPLEX ELEVATIONS

SAVING MERCY VILLAGE
PLANNED DEVELOPMENT
ARCHITECTURAL ELEVATIONS

PREPARED FOR
SAVING MERCY CORPORATION
SECTION 14, TOWNSHIP 15 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA
APPROVED BY

NO. SCALE	DATE	CHECKED	DATE	CAP	DATE
08	08/20	08	08/20	08	08/20
NO. SCALE	DATE	CHECKED	DATE	CAP	DATE
08	08/20	08	08/20	08	08/20

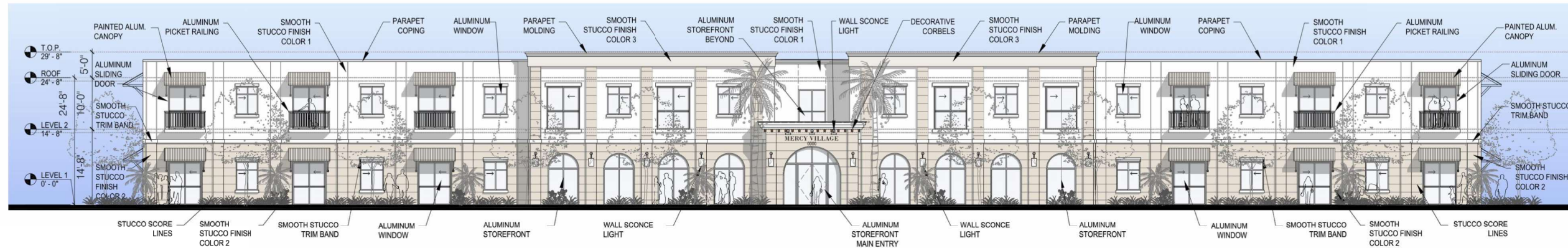
Pigeon - Roberts & Associates, LLC
905 S.E. 17th Street
Suite A
Ocala, Florida 34471
(352) 881-7700
SURVEYORS & MAPPERS
CERTIFICATION
ENGINEERING NO. 29327 • SURVEYING & MAPPING LB NO. 7467

File No.
426.03
Job No.
426
E-05 of 6

NOTE: ELEVATIONS PREPARED BY MARTINEZ ARCHITECTURE

SAVING MERCY VILLAGE APARTMENT ARCHITECTURAL ELEVATIONS

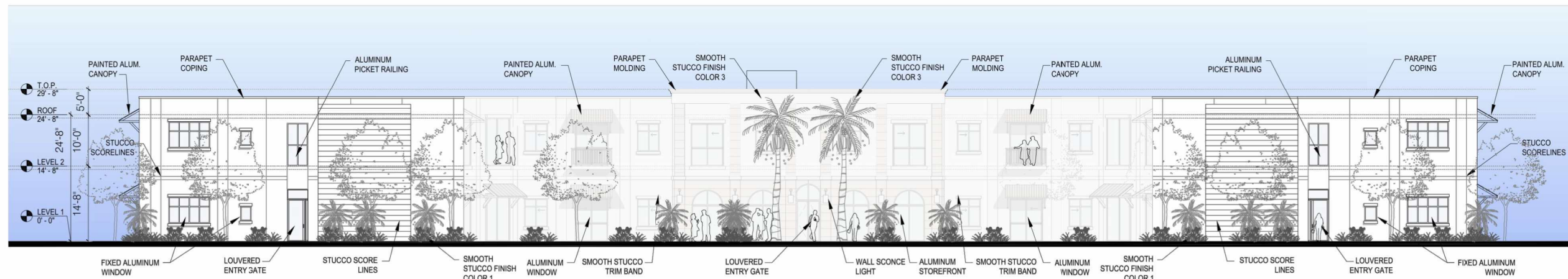
EXHIBIT E-5



1 FRONT ELEVATION - EAST
SCALE: 3/32" = 1'



2 SIDE ELEVATION - SOUTH
SCALE: 3/32" = 1'



3 REAR ELEVATION - WEST
SCALE: 3/32" = 1'

SAVING MERCY VILLAGE
PLANNED DEVELOPMENT
ARCHITECTURAL ELEVATIONS

PREPARED FOR
SAVING MERCY CORPORATION
SECTIONAL EASEMENT 15 SOUTH RANGE 21 EAST, HAVEN COUNTY, FLORIDA
REVISOR(S)
DATE

SCALE	NO.	DATE	CHECKED	DATE	DATE	DATE	DATE	DATE
SCALE	NO.	DATE	CHECKED	DATE	DATE	DATE	DATE	DATE
DATE	NO.	DATE	CHECKED	DATE	DATE	DATE	DATE	DATE
DATE	NO.	DATE	CHECKED	DATE	DATE	DATE	DATE	DATE
DATE	NO.	DATE	CHECKED	DATE	DATE	DATE	DATE	DATE

925 S.E. 17th Street
Suite A 34471
Ocala, Florida 34471
(352) 861-7399
REGISTRATION NUMBERS:
ENGINEERING NO. 26531 • SURVEYING & MAPPING LB NO. 2610

File No.
426.06
Job No.
426
E-08 of 8

Plotted: 12/27/2023 2:06:59 PM - Chuck Pigeon

EXHIBIT E-6

SEAL

ALFRED RAVELO LIC. # AR101896

OWNER

PROPOSED CONSTRUCTION OF AFFORDABLE MULTIFAMILY BUILDING

MERCY VILLAGE PHASE III

3601 WEST SILVER SPRINGS BLVD.
OCALA, FL

DATE: 01-21-2026

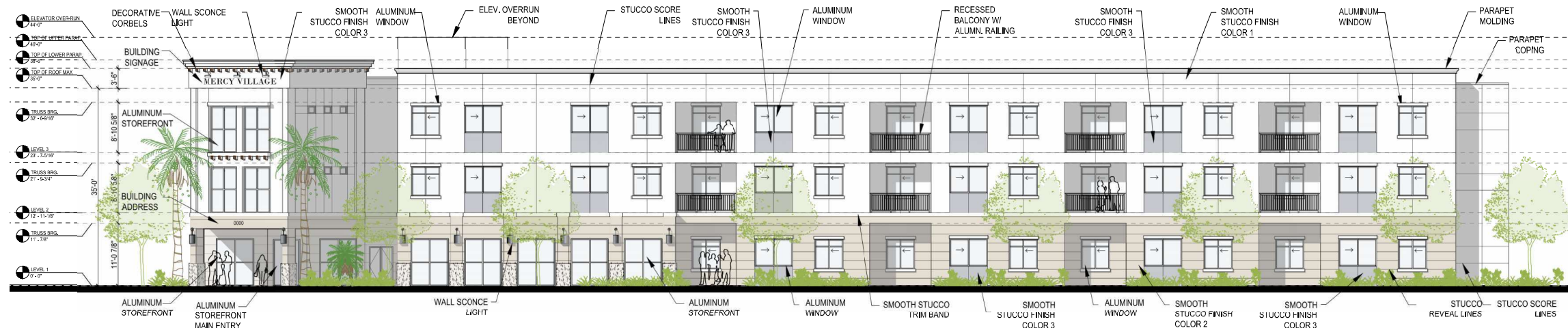
DRAWINGS SET:
SCHEMATIC SET

REVISIONS

PROJECT #: 25-015
DRAWN BY: AR/LA
CHECKED BY: AR
SCALE: AS INDICATED

SHEET NAME:
SCHEMATIC
ELEVATIONS
SHEET NUMBER:

A-1.3



1 EAST ELEVATION

SCALE: 3/32" = 1'



2 SOUTH ELEVATION

SCALE: 3/32" = 1'

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