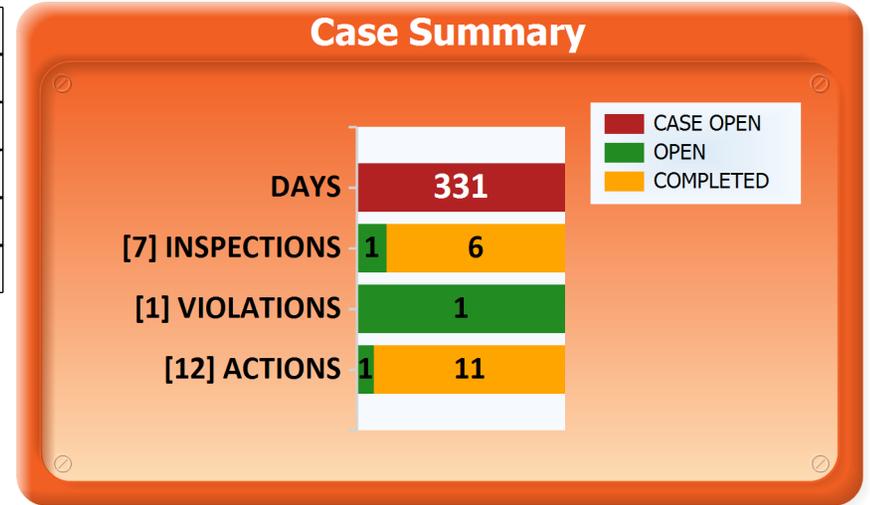


# OCALA Case Details - No Attachments

City of Ocala

Case Number  
**2024\_10804**

Description: DILAPIDATED ROOF		Status: HEARING	
Type: BUILDING REGULATIONS		Subtype: STANDARD HOUSING	
Opened: 4/10/2024	Closed:	Last Action: 3/13/2025	Flw Up: 3/11/2025
Site Address: 828 NW 9TH ST OCALA, FL 344755912			
Site APN: 2570-202-303		Officer: JENNIPHER L BULLER	
Details:			



## ADDITIONAL SITES

## LINKED CASES

### CHRONOLOGY

CHRONOLOGY TYPE	STAFF NAME	ACTION DATE	COMPLETION DATE	NOTES
ADMIN POSTING	SHANEKA GREENE	1/29/2025	1/29/2025	NOVPH
ADMIN POSTING	YVETTE J GRILLO	1/21/2025	1/21/2025	NOVPH
CERTIFIED MAIL	SHANEKA GREENE	1/29/2025	1/29/2025	UPDATED NOVPH MAILED 91 7199 9991 7039 7937 9961 SNOW ANNIE L EST SNOW MCGILL G 828 NW 9TH ST OCALA FL 34475-5912
CERTIFIED MAIL	YVETTE J GRILLO	1/21/2025	1/21/2025	NOVPH 91 7199 9991 7039 7682 3337 SNOW, ANNIE L. EST SNOW, MCGILL G. 828 NW 9TH ST OCALA, FL 34475-5912

# OCALA Case Details - No Attachments

City of Ocala

Case Number  
**2024\_10804**

CONTACT	JENNIPHER L BULLER	1/6/2025	1/6/2025	I called the resident, EDNA SNOW 352-433-6215 for status. Left voicemail.
CONTACT	JENNIPHER L BULLER	2/5/2025	2/5/2025	Michael with Next Dimension Roofing (potential contractor) 321-307-5794. Property owner is deceased. Cannot pull due to (probate) issue.
HEARING CODE BOARD	YVETTE J GRILLO	3/13/2025		NEW BUSINESS
OFFICER POSTING	JENNIPHER L BULLER	1/21/2025	1/21/2025	Notice of Violation and Public Hearing.
OFFICER POSTING	JENNIPHER L BULLER	1/29/2025	1/29/2025	Corrected Notice of Violation and Public Hearing.
PHONE CALL	JB	4/15/2024	4/15/2024	ON 04/15/2024, I RECEIVED A PHONE CALL FROM THE RESIDENT, EDNA SNOW 352-433-6215 SHE SAID HER BROTHER, KENNETH MCGILL 352-553-5794 WOULD BE TAKING CARE OF THE ROOF/PERMIT.
PHONE CALL	JB	4/22/2024	4/22/2024	ON 04/22/2024, KENNETH 352-553-5794 MS. SNOW'S BROTHER JUST WANTED ADDITIONAL INFORMATION. OWNER IS DECEASED AND NO PROBATE HAS NEVER TAKEN PLACE.
				<p>Find the Respondent(s) guilty of violating city code section(s): 82-151 and order to:</p> <p>1.) (a) Apply for and obtain any required permits needed to meet the Current Florida Building Code and the 1994 Edition of the International Standard Housing Code as adopted in City Ordinance 82-151, specifically for roof replacement, by 4:00pm on Thursday, May 1st, 2025. Once the permits are obtained, all repairs to the structure shall be completed within 90 days after the issuance of the initial permits. If the Respondent(s) fail to comply by 7:00am on Friday, May 2nd, 2025, or if the permits issued are not inspected and finalized by the 91st day after permit issuance, subsection (c) shall apply;</p> <p>(b) Any work required to meet the current Florida Building Code and the 1994 Edition of the International Standard Housing Code as adopted in City Ordinance 82-151 that does</p>

# OCALA Case Details - No Attachments

City of Ocala

Case Number  
**2024\_10804**

STAFF RECOMMENDATION	DALE HOLLINGSWORTH	3/3/2025	3/3/2025	<p>not require permits to complete, the Respondent(s) shall complete said work by 4:00pm on Thursday, May 1st, 2025. If the Respondent(s) fail to comply by 7:00am on Friday, May 2nd, 2025, subsection (d) shall apply. This section includes removal of any open storage of an inoperable vehicle, ice box, refrigerator, stove, glass, building material, and building rubbish. Additionally, the property must be free from weeds, dead trees, trash, garbage, etc., all pursuant to section 307.4 of the 1994 Edition of the International Standard Housing Code.</p> <p>(c) Failure to comply with any subsection of this item in the times allowed for compliance the City shall enter upon the property and take whatever steps are necessary to bring the violations into compliance, to include clean-up of the property pursuant to the Care of Premises section (307.4) of the 1994 Edition of the International Standard Housing Code. Additionally, there shall be a ?ne of \$100.00 per day thereafter that shall run in addition to any other ?nes until all violations have been abated.</p> <p>2.) Pay the cost of prosecution of \$359.36 by May 1st, 2025.</p>
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## CONTACTS

NAME TYPE	NAME	ADDRESS	PHONE	FAX	EMAIL
OWNER	SNOW ANNIE L EST SNOW MCGILL G	SNOW MCGILL G , NW 9THST			

## FINANCIAL INFORMATION

DESCRIPTION	ACCOUNT	QTY	AMOUNT	PAID	PAID DATE	RECEIPT #	CHECK #	METHOD	PAID BY	CLTD BY
CERTIFIED POSTAGE	001-359-000-000-06-35960	2	\$14.36	\$0.00						
CLERICAL AND CASEWORK TIME	001-359-000-000-06-35960	10	\$220.00	\$0.00						

# OCALA Case Details - No Attachments

City of Ocala

Case Number  
**2024\_10804**

DESCRIPTION	ACCOUNT	QTY	AMOUNT	PAID	PAID DATE	RECEIPT #	CHECK #	METHOD	PAID BY	CLTD BY
INSPECTION FEE	001-359-000-000-06-35960	7	\$87.50	\$0.00						
RECORDING COSTS	001-359-000-000-06-35960	2	\$37.50	\$0.00						
Total Paid for CASE FEES:			\$359.36	\$0.00						
<b>TOTALS:</b>			<b>\$359.36</b>	<b>\$0.00</b>						

INSPECTIONS						
INSPECTION TYPE	INSPECTOR	SCHEDULED DATE	COMPLETED DATE	RESULT	REMARKS	NOTES
FOLLOW UP	JLB	1/6/2025	1/6/2025	NON COMPLIANT		BLD24-1434 status, finalized? Permit has not been finalized. No inspections on file. I conducted a follow up inspection. Permit BLD24-1434 expired without a final inspection. I conducted a on-site inspection and observed the roof remained in a dilapidated state. Photos attached. No contact made at location. I observed a large tree trunk in the yard (tree debris). I called Ms. Snow and left voicemail. Follow up scheduled.
FOLLOW UP	JLB	1/21/2025	1/21/2025	NON COMPLIANT		NEXT DIMENSION CONSTRUCTION (ROOF) CONTRACTOR (352)857-1469 concerning permit BLD24-1434. They have had no further communication with home owner to commence work. Will cancel/revoke permit. I provided them the phone number to Permitting.
FOLLOW UP	JLB	2/11/2025	2/11/2025	NON COMPLIANT		I conducted a follow up inspection per compliance date listed on the Notice of Violation and Public Hearing. I found no permit on file for a re-roof. Proceed to scheduled hearing, 03/13/2025.
FOLLOW UP	JLB	3/11/2025				



# Case Details - No Attachments

City of Ocala

Case Number  
**2024\_10804**

FOLLOW-UP	JENNIPHER BULLER	9/25/2024	9/25/2024	COMPLETE		BLD24-1434 issued 06/24/2024 for re-roof expires 12/21/2024.
FOLLOW-UP	JENNIPHER BULLER	5/8/2024	5/6/2024	COMPLETE		On 05/08/2024, I received a call from Edna 352-433-6215. She asked for an extension. She is working to get funding to have the roof replaced. Follow up scheduled in 30 days.
INITIAL	JENNIPHER BULLER	4/10/2024	4/10/2024	COMPLETE		On 04/10/2024, while in the area I observed the roof upon the residence to be in a dilapidated state (buckled in several areas, divots, sunken area, and missing shingles). I made contact with the current resident. She said the house belonged to her mother, but she was on the will. She said she was on a fixed income and did not have the funds to replace the roof. She did inquire about assistance. I provided her with my business card and I could direct her to community development. Standard housing checklist completed. Courtesy letter and checklist mailed to property owner of record. Follow up scheduled.

## VIOLATIONS

VIOLATION TYPE	USER NAME	OBSERVED DATE	CORRECTED DATE	LOCATION	REMARKS	NOTES
STANDARD HOUSING CODE ADOPTED		4/10/2024			Dilapidated/defective roof. Obtain permit and completed final inspection for re-roof.	There is hereby adopted by reference the Standard Housing Code, 1994 edition, as recommended by the Southern Building Code Congress, International, Inc. One copy of such code shall be maintained in the office of the building official for public inspection. (Code 1961, 8-86.1; Code 1985, Â§ 7-351; Ord. No. 2060, Â§ 9, 1-3-89; Ord. No. 2753, Â§ 7, 8-19-97)



Jimmy H. Cowan, Jr., CFA  
**Marion County Property Appraiser**

501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

2024 Property Record Card  
**Real Estate**

2570-202-303

[GOOGLE Street View](#)

Prime Key: 1231523

[Beta MAP IT+](#)

Current as of 4/10/2024

[Property Information](#)

SNOW ANNIE L EST  
 SNOW MCGILL G  
 828 NW 9TH ST  
 Ocala FL 34475-5912

[Taxes / Assessments:](#)

Map ID: 178

[Millage:](#) 1001 - Ocala

[M.S.T.U.](#)

[PC:](#) 01

Acres: .15

Situs: Situs: 828 NW 9TH ST Ocala

[2023 Certified Value](#)

Land Just Value	\$4,560		
Buildings	\$23,531		
Miscellaneous	\$141		
Total Just Value	\$28,232		
Total Assessed Value	\$22,212	Impact	(\$6,020)
Exemptions	\$0	<a href="#">Ex Codes:</a>	
Total Taxable	\$22,212		
School Taxable	\$28,232		

[History of Assessed Values](#)

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2023	\$4,560	\$23,531	\$141	\$28,232	\$22,212	\$0	\$22,212
2022	\$3,600	\$21,083	\$141	\$24,824	\$20,193	\$0	\$20,193
2021	\$2,640	\$16,236	\$141	\$19,017	\$18,357	\$0	\$18,357

[Property Transfer History](#)

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
<a href="#">UNRE/INST</a>	11/2014	71 DTH CER	0	U	I	\$100
<a href="#">UNRE/INST</a>	04/2006	71 DTH CER	0	U	I	\$100
<a href="#">0559/0306</a>	06/1973	02 DEED NC	0	Q	I	\$8,300

[Property Description](#)

SEC 07 TWP 15 RGE 22  
 PLAT BOOK E PAGE 013  
 GOSS ADD Ocala  
 N 130 FT OF E 50 FT OF LOT 3 BLK 2 RGE 2

[Land Data - Warning: Verify Zoning](#)

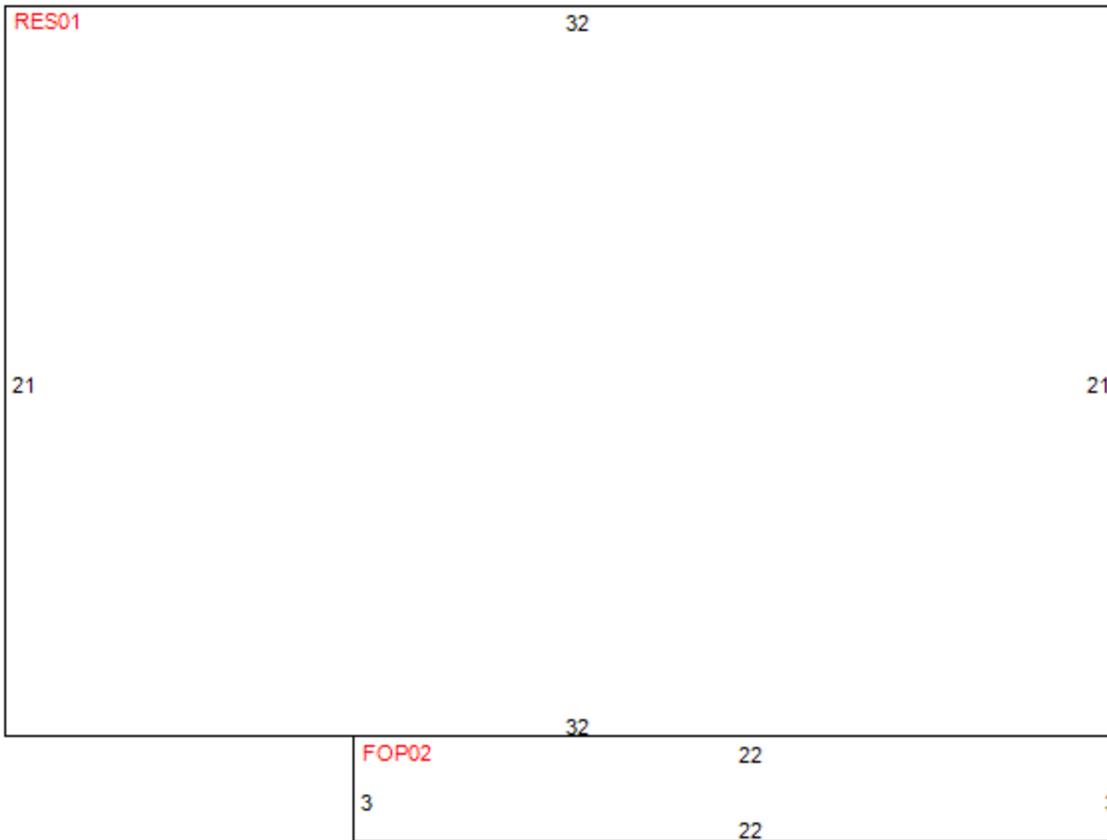
Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
0100		50.0	130.0	R2	50.00	FF							
Neighborhood 4493 - AGNEWS/GOSS/WW2ND													
Mkt: 8 70													

[Traverse](#)

**Building 1 of 1**

RES01=L32D21R32U21.D21

FOP02=D3L22U3R22.



[Building Characteristics](#)

**Improvement** 1F - SFR- 01 FAMILY RESID  
**Effective Age** 7 - 30-34 YRS  
**Condition** 3  
**Quality Grade** 300 - LOW  
**Inspected on** 7/11/2023 by 181

**Year Built** 1974  
**Physical Deterioration** 0%  
**Obsolescence: Functional** 0%  
**Obsolescence: Locational** 0%  
**Architecture** 0 - STANDARD SFR  
**Base Perimeter** 106

Type	Exterior Walls	Stories	Year Built	Finished	Attic	Bsmt Area	Bsmt Finish	Ground Floor Area	Total Flr Area
RES 0124	- CONC BLK-PAINT	1.00	1974	N		0 %	0 %	672	672
FOP 0201	- NO EXTERIOR	1.00	1974	N		0 %	0 %	66	66

**Section: 1**

<b>Roof Style:</b> 10 GABLE	<b>Floor Finish:</b> 42 CERAMIC/PORCELAIN TILE	<b>Bedrooms:</b> 2	<b>Blt-In Kitchen:</b> Y
<b>Roof Cover:</b> 08 FBRGLASS SHNGL	<b>Wall Finish:</b> 16 DRYWALL-PAINT	<b>4 Fixture Baths:</b> 0	<b>Dishwasher:</b> N
<b>Heat Meth 1:</b> 06 CONVECTION	<b>Heat Fuel 1:</b> 10 ELECTRIC	<b>3 Fixture Baths:</b> 1	<b>Garbage Disposal:</b> N
<b>Heat Meth 2:</b> 00	<b>Heat Fuel 2:</b> 00	<b>2 Fixture Baths:</b> 0	<b>Garbage Compactor:</b> N
<b>Foundation:</b> 7 BLK PERIMETER	<b>Fireplaces:</b> 0	<b>Extra Fixtures:</b> 2	<b>Intercom:</b> N
<b>A/C:</b> N			<b>Vacuum:</b> N

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
144 PAVING ASPHALT	213.00	SF	5	1974	1	0.0	0.0

Appraiser Notes

Planning and Building

\*\* Permit Search \*\*

Permit Number	Date Issued	Date Completed	Description

WARRANTY DEED  
FROM CORPORATION

RAMCO FORM 33  
BOOK 559 PAGE 306

This Warranty Deed Made and executed the 1 day of March A. D. 1973 by

GULF SHORE DREDGING CO, INC.  
a corporation existing under the laws of the State of Florida and having its principal place of  
business at Post Office Box 8456, Tampa, Florida  
hereinafter called the grantor, to

ANNIE LEE SNOW and GLADYS MC GILL, her daughter  
whose postoffice address is 828 N.W. 9th St., Ocala, Florida 32670

hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and  
the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

Witnesseth: That the grantor, for and in consideration of the sum of \$ 10.00 and other  
valuable considerations, receipt whereof is hereby acknowledged, by these presents does grant, bargain, sell,  
alien, remise, release, convey and confirm unto the grantee, all that certain land situate in Marion  
County, Florida, viz:

Commence at the NE corner of Lot 3, Block 2 of Goss Addition, as  
per plat thereof recorded in the Public Records of Marion County,  
Florida and thence South 130 feet, then West 50 feet, then North 130  
feet, then East 50 feet to a point of beginning.

FILED  
1973 APR -9 PM 3:53  
CLERK CIRCUIT COURT  
MARION COUNTY, FLA.

MARION  
COUNTY  
038866

FLORIDA  
DEPT. OF REVENUE  
APR-973 RB. 11021  
DOCUMENTARY  
STAMP TAX  
09.35

STATE OF FLORIDA  
DEPARTMENT OF REVENUE  
STAMP TAX  
24.90

Together with all the tenements, hereditaments and appurtenances thereto belonging or in any-  
wise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that it is lawfully seized of said land in fee  
simple; that it has good right and lawful authority to sell and convey said land; that it hereby fully war-  
rants the title to said land and will defend the same against the lawful claims of all persons whomsoever;  
and that said land is free of all encumbrances

(CORPORATE SEAL)

In Witness Whereof the grantor has caused these presents to  
be executed in its name, and its corporate seal to be hereunto affixed, by its  
proper officers thereunto duly authorized, the day and year first above written.

ATTEST: Anna Langlotti  
Asst. Vice Pres. ~~XXXXX~~

..... GULF SHORE DREDGING CO., INC. ....

Signed, sealed and delivered in the presence of:  
Charles Beazley  
W. T. Hodges

By W. T. Hodges  
W. T. Hodges, President

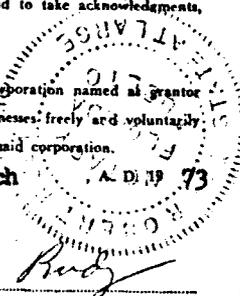
STATE OF FLORIDA  
COUNTY OF MARION

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State and County aforesaid to take acknowledgments,  
personally appeared W. T. Hodges, and Anna Langlotti

well known to me to be the - President and Asst. Vice Pres. respectively of the corporation named as grantor  
in the foregoing deed, and that they severally acknowledged executing the same in the presence of two subscribing witnesses freely and voluntarily  
under authority duly vested in them by said corporation and that the seal affixed thereto is the true corporate seal of said corporation.

WITNESS my hand and official seal in the County and State last aforesaid this 20th day of March A. D. 1973

Filed and recorded APR 9 1973 in O. R. Book 559 Page 306  
Record Verified. John E. Nicholson, Clerk of Circuit Court, Marion Co. Fla  
By E. T. James D. C.



This Instrument prepared by  
Address W. T. Hodges  
of GULFSHORE DREDGING CO., Inc.  
P. O. BOX 8456 - TAMPA, FLA. 33604

Notary Public, State of Florida of Large  
My Commission Expires Mar. 29th 1976



# City of Ocala

GROWTH MANAGEMENT DEPARTMENT  
CODE ENFORCEMENT DIVISION  
201 SE 3<sup>rd</sup> STREET (2<sup>nd</sup> floor) OCALA, FLORIDA 34471  
Phone: (352) 629-8309

## NOTICE OF VIOLATION AND PUBLIC HEARING

01/21/2025

SNOW ANNIE L EST  
SNOW MCGILL G  
828 NW 9TH ST  
OCALA FL 34475-5912

**Case Number:** 2024\_10804

**Property:** 828 NW 9<sup>TH</sup> ST | 2570-202-303, Ocala, Florida

**Compliance required Date:** 02/11/2025

**Public Hearing Date:** 03/13/2025

Dear property owner, or agent;

You are hereby notified that the following violation(s) exists relating to the City of Ocala Code of Ordinances:

### Violation(s):

#### **Section 82-151 - Standard Housing Code adopted.**

Dilapidated/defective roof. Obtain permit and completed final inspection for re-roof. Tree debris upon property. Remove large tree debris (tree trunk) from property.

This correspondence will serve as notification that the above stated violation(s) must be corrected by **February 11<sup>th</sup>, 2025**. **IT SHALL BE THE RESPONSIBILITY OF YOU, THE RESPONDENT, TO REQUEST A RE-INSPECTION TO VERIFY COMPLIANCE ON, OR BEFORE THIS DATE.** If you, the respondent, fails to verify compliance on or before the aforementioned date, or if the code enforcement officer elects to proceed to a public hearing even after compliance is met, the public hearing will be conducted as follows:

On **03/13/2025**, in the City Council Chamber, City Hall, of the City of Ocala, 110 SE Watula Avenue, at 5:30 P.M., in accordance with the City of Ocala Code of Ordinances, Section 2-441(b), a hearing will be held before the Municipal Code Enforcement Board/Special Magistrate of the City of Ocala, to determine whether you have violated the provisions of the City of Ocala Code of Ordinances.

The Municipal Code Enforcement Board/Special Magistrate has the authority to levy fines up to \$250 per day for a first violation and up to \$500 per day for a repeat violation, and to levy a lien on the real and personal property of the violator(s). A cost of prosecution will be levied in this case pursuant to Florida Statutes section 162.07(2).

You are entitled to be represented by counsel, present testimony, and evidence, and to testify on your behalf. Subpoenas for witnesses and for records, surveys, plats, and other materials may be requested and will be issued by this Board/

Special Magistrate through the office of the City Clerk of the City of Ocala, Florida. If you should decide to appeal any decision made by this Code Enforcement Board/Special Magistrate with respect to any matter considered at this meeting, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, on which the appeal is to be based.

IF SPECIAL ACCOMMODATIONS ARE NEEDED FOR YOU TO ATTEND OR PARTICIPATE IN THIS MEETING, PLEASE CALL 48 HOURS IN ADVANCE SO ARRANGEMENTS CAN BE MADE. PLEASE CALL THE SECRETARY OF THE MUNICIPAL CODE ENFORCEMENT BOARD/SPECIAL MAGISTRATE AT (352) 629-8309 TO MAKE SPECIAL ARRANGEMENTS.

Signed this 21<sup>st</sup> day of January 2025



Jennifer Buller  
Code Enforcement Supervisor



*City of Ocala*  
**CODE ENFORCEMENT DIVISION**  
 STANDARD HOUSING CODE – 1994 EDITION  
 INSPECTION CHECKLIST

CASE NUMBER: 2024 10804

DATE: 04/10/2024

ADDRESS: 828 NW 9th Street

PARCEL ID: 2570-202-303

\*A mark or check next to a code section indicates a violation of such.

<b>302.1 – Sanitary Facilities</b>	Must contain kitchen sink, lavatory, tub or shower, and water closet properly installed and in working order.
<b>302.2 – Location of Sanitary Facilities</b>	Fixtures must be located within unit. Water closet, tub, or shower and lavatory must be in room no less than 30sq ft.
<b>302.3 – Hot and Cold Water Supply</b>	Must have cold and hot water connected to kitchen sink, lavatory, and tub or shower.
<b>302.4 – Water Heating Facilities</b>	Must have properly installed & maintained water heating facility to heat water to not less than 120 degrees.
<b>302.5, .5.1, .5.2, .5.3, .5.4 – Heating Facilities</b>	Must have heating facilities properly installed & maintained, and capable of safely heating all habitable rooms & bathrooms.
<b>302.6 – Kitchen Facilities</b>	Kitchen equipped with properly maintained food prep surfaces, shelving, cabinets, drawers, freestanding or permanently installed cookstove, mechanical refrigeration.
<b>302.7 – Garbage Disposal Facilities</b>	Adequate garbage disposal facilities or garbage storage containers.
<b>302.8 – Fire Protection</b>	Comply with the applicable provisions of the fire prevention code of the applicable governing body.
<b>302.9 – Smoke Detector Systems</b>	Must contain an approved listed smoke detector.
<b>303.1 – Windows</b>	Every habitable room must have at least 1 window or skylight.
<b>303.2, .2.1, .2.2 – Ventilation</b>	Every habitable room must have at least 1 window or skylight which can be easily opened to ventilate the room.
<b>303.3 – Bathroom</b>	Every bathroom shall comply with the ventilation requirements in 303.2, unless equipped w/ approved ventilating system.
<b>303.4 – Electrical Lights and Outlets</b>	Every habitable room must have 2 remote receptacles. Bedrooms and bathrooms must have 1 wall switch controlled lighting outlet. Kitchens must have 2 receptacles, and wall or ceiling lighting outlet controlled by a wall switch.
<b>303.5 – Light in Public Halls and Stairways</b>	Every hall and inside stairway other than in one-family dwellings shall be lighted at all times.



# *City of Ocala*

## CODE ENFORCEMENT DIVISION

### STANDARD HOUSING CODE – 1994 EDITION

### INSPECTION CHECKLIST

<b>304 – Minimum Electrical Requirements</b>	Every outlet, fixture, wiring, and equipment shall be installed, maintained and connected to a source of power in accordance w/ the provisions of the electrical code of the AHJ.
<b>305.1 – Foundation</b>	Shall be maintained in a safe manner and capable of supporting the load which normal use may cause to be placed thereon.
<b>305.2 – Exterior Walls</b>	Exterior walls shall be free of holes, breaks, loose or rotting boards or timbers, and any conditions which might admit rain, or dampness to the interior portions of the walls.
✓ <b>305.3, .3.1, .3.2 – Roofs</b>	Roof, and all portions, additions, or sections shall be structurally sound & maintained, and display signs of deterioration, abuse or improper installation that could be construed to affect the purpose of that item
<b>305.4 – Means of Egress</b>	Every unit shall have safe, unobstructed means of egress with minimum ceiling height of 7ft. Stairs shall have head room of no less than 6’8”.
<b>305.5 – Stairs, Porches, &amp; Appurtenances</b>	Every inside & outside stair, porch and any appurtenance shall be safe to use & capable of supporting the load that normal use may cause to be placed thereon, and kept in sound condition and good repair.
<b>305.6 – Protective Railings</b>	Railings shall be required on any unenclosed structure over 30” above ground level, or on steps containing 4 or more risers.
<b>305.7 – Windows</b>	Window shall be substantially weathertight, watertight and rodent proof, and shall be kept in sound working condition and good repair.
<b>305.8 – Windows to be Glazed</b>	Every window sash shall be fully supplied with glass window panes or an approved substitute which are without open cracks or holes.
<b>305.9 – Window Sash</b>	Window sash shall be properly fitted and weathertight within the window frame.
<b>305.10 – Windows to be Openable</b>	Every window required for light and ventilation for habitable rooms shall be capable of being easily opened and secured in position by window hardware.
<b>305.11.1 – Exterior Doors (Weathertight)</b>	Shall be substantially weathertight, watertight, and rodent proof, and kept in sound working condition and good repair.
<b>305.11.2 – Exterior Doors (Hardware)</b>	Shall have properly installed and maintained hardware to insure ease of operation to open, close, and secure in open or closed position.
<b>305.12.1 – Exterior Door Frames (Weatherstripping)</b>	Shall have properly installed and maintained weatherstripping to be substantially weathertight, watertight, and rodent and insect resistant.



# *City of Ocala*

## CODE ENFORCEMENT DIVISION

### STANDARD HOUSING CODE – 1994 EDITION

### INSPECTION CHECKLIST

<b>305.12.2 – Exterior Door Frames (Maintenance)</b>	Exterior door jambs, stops, headers and moldings shall be securely attached to the structure, maintained in good condition without splitting or deterioration that would minimize the strength and security of the door in a closed position.
<b>305.13.1, .13.2 – Screens</b>	Units without central A/C shall have screens on all openable windows and doors used or required for ventilation. Shall be stretched, fitted, and maintained without open rips or tears. A closing device shall be installed on all screen doors.
<b>305.14 – Protective Treatment</b>	All exterior wood surfaces, other than decay resistant woods, shall be protected from the elements and decay by painting or other protective treatment. Siding must be weather tight.
<b>305.15 – Accessory Structures</b>	Garages, storage buildings and all other accessory structures shall be maintained and kept in good repair and sound structural condition.
<b>305.16, .16.1, .16.2 – Interior Floors, Walls, and Ceilings</b>	Every floor, interior wall and ceiling shall be substantially rodent proof, kept in sound condition and good repair, safe to use, and capable of supporting the load. Toilet, bathroom, and kitchen floors must be easily kept clean and sanitary.
<b>305.17 – Structural Supports</b>	Every structural element of the dwelling shall be maintained structurally sound and show no evidence of deterioration which would render it incapable of carrying normal loads.
<b>305.18 – Protective Railings for Interior Stairs</b>	Interior stairs and stairwells more than four risers high shall have handrails. Handrails or protective railings shall be capable of bearing normally imposed loads and be maintained in good condition.
<b>305.19, .19.1, .19.2 – Firestopping and Draftstopping</b>	Firestopping must be maintained to cut off all concealed draft openings.
<b>305.20 – Interior Doors</b>	Every interior door shall fit within its frame and shall be capable of being opened and closed.
<b>305.21 – Interior Door Hardware</b>	Every interior door shall be provided with proper hardware, securely attached and maintained in good condition.
<b>305.22 – Bathroom Doors</b>	Privacy of bathrooms shall be afforded by doors complete with privacy hardware intended by the manufacturer for that purpose.
<b>305.23, .23.1, .23.2 – Skirting</b>	Skirting shall be maintained free from broken or missing sections, pieces or cross members.
<b>306.1 – Required Space in Dwelling Unit</b>	Units shall contain at least 150sq ft for the first occupant, and additional 100sq ft for each additional occupant.



# City of Ocala

## CODE ENFORCEMENT DIVISION

### STANDARD HOUSING CODE – 1994 EDITION

### INSPECTION CHECKLIST

<b>306.2 – Required Space in Sleeping Rooms</b>	Every sleeping room occupied for sleeping by 1 occupant shall have at least 70sq ft. Any sleeping room occupied for sleeping by more than 1 person shall have at least 50sq ft per occupant.
<b>306.3, .3.1, .3.2 – Minimum Ceiling Height</b>	Habitable rooms shall have no less than 7’ ceiling height. If any room has a sloping ceiling, the ceiling height is required in only one-half of the room area.
<b>306.4 – Occupancy of Dwelling Unit Below Grade</b>	No basement or cellar space shall be used as a habitable room or unit unless the necessary requirements are met as listed in the Standard Housing Code section 306.4.
<b>307.1 – Sanitation</b>	Owners of multiple dwelling units are responsible for keeping the shared or common areas of the dwelling and premises clean and sanitary.
<b>307.2 – Cleanliness</b>	Tenants of a dwelling unit shall keep the unit and premises which he occupies or is provided for his particular use clean and sanitary.
<b>307.3 – Garbage Disposal</b>	Tenants shall dispose of all of his garbage in a clean and sanitary manner by placing it in garbage disposal facilities or garbage storage containers.
<b>307.4 – Care of Premises</b>	The property must be kept free and clean from any open storage of inoperable vehicle, ice box, refrigerator, stove, glass, building material, & building rubbish. Also must be free from weeds, dead trees, trash, garbage, etc.
<b>307.5 – Extermination</b>	Occupants responsible for extermination in single dwelling unit. Owners responsible for extermination in buildings containing two or more dwelling units. Wood destroying organism extermination is always the owner’s responsibility.
<b>307.6 – Use &amp; Operation of Supplied Plumbing Fixtures</b>	Every tenant of a dwelling unit shall keep all plumbing fixtures therein in a clean and sanitary condition and shall be responsible for the exercise of reasonable care in the proper use and operation thereof.

NOTES:

Dilapidated roof. Obtain permit to repair roof and complete final inspection. Tree debris in yard. Remove tree debris.

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CODE ENFORCEMENT INSPECTOR: **Jennipher L. Buller**

Digitally signed by Jennipher L. Buller  
Date: 2024.04.10 14:58:41 -04'00'

CITY OF OCALA  
GROWTH MANAGEMENT DEPARTMENT  
CODE ENFORCEMENT DIVISION  
201 SE 3<sup>rd</sup> STREET (2<sup>nd</sup> floor), OCALA, FLORIDA 34471

CITY OF OCALA  
Petitioner,

vs.

CASE NO: 2024\_10804

SNOW ANNIE L EST  
SNOW MCGILL G  
828 NW 9TH ST  
OCALA FL 34475-5912  
Respondents /

AFFIDAVIT OF POSTING  
Section 2-446 (b) 2(b)

STATE OF FLORIDA  
COUNTY OF MARION

BEFORE ME, the undersigned authority personally appeared, Jennipher Buller, Code Enforcement Supervisor, City of Ocala, who after being duly sworn, deposes and says as follows:

1. I did on 29<sup>th</sup> January 2025, post the **Notice of Violation and Public Hearing** in the above styled cause of this action, located at **828 NW 9<sup>TH</sup> ST | 2570-202-303**, Ocala, Florida, upon which the violations are alleged to exist.
2. This Affidavit is provided pursuant to Section 2-446(b) 2 (b), Code of Ordinances of the City of Ocala.

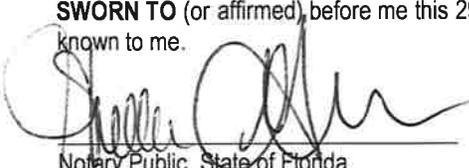
FURTHER, AFFIANT SAYETH NAUGHT.

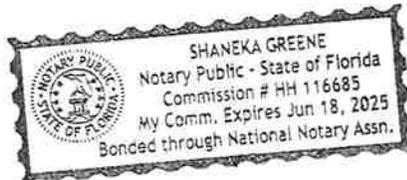
Dated this 29<sup>th</sup> day of January 2025

  
Jennipher Buller,  
Code Enforcement Supervisor  
City of Ocala

STATE OF FLORIDA  
MARION COUNTY

SWORN TO (or affirmed) before me this 29<sup>th</sup> day of January 2025, Jennipher Buller, Code Enforcement Supervisor, City of Ocala, who is personally known to me.

  
Notary Public, State of Florida



**BEFORE THE CODE ENFORCEMENT SPECIAL MAGISTRATE  
OCALA, MARION COUNTY, FLORIDA**

THE CITY OF OCALA

CASE NO: 2024\_10804

Petitioner,

VS.

**SNOW ANNIE L EST  
SNOW MCGILL G**

Respondents \_\_\_\_\_ /

**AFFIDAVIT OF CASE PROSECUTION COSTS  
FSS. 162.07(2)**

**STATE OF FLORIDA  
COUNTY OF MARION**

**BEFORE ME**, the undersigned authority, personally appeared, JENNIPHER L BULLER, Code Enforcement Officer for the City of Ocala, who being duly sworn, deposes and says: Listed in exhibit below are the costs involved in the prosecution of the respondent(s) in this case.

**1. Code Enforcement Special Magistrate Hearing:**

	<b>Cost</b>	<b># of hour(s)</b>	<b>Total:</b>
Attorney Fees:			

**2. Inspector(s) Time:**

	<b>Cost</b>	<b># @ .5 hour(s)</b>	<b>Total:</b>
Inspection(s)	\$12.50	7	\$87.50

**3. Clerical & Casework Time:**

	<b>Cost</b>	<b># of hour(s)</b>	<b>Total:</b>
Clerical:	\$22.00	10	\$220.00

**4. Recording Cost(s): (i.e. Lien(s) / Lien release(s) / Satisfaction, etc.)**

	<b>Cost</b>	<b># of page(s)</b>	<b>Addl. page(s)</b>	<b># of addl. page(s)</b>	<b>Total:</b>
Fee(s):	\$18.75	2			\$37.50

**5. Copies of Related Document(s):**

	<b>Cost</b>	<b># of page(s)</b>	<b>Total:</b>
Clerical:			

**6. Postage Cost(s):**

	<b>Cost</b>	<b># of Regular</b>	<b>Cost</b>	<b># of Certified</b>	<b>Total</b>
Postage:			\$14.36	2	\$14.36

**Total Costs: \$359.36**

**PAYMENT IN FULL IS DUE UPON RECEIPT. MAKE CHECKS PAYABLE TO CITY OF OCALA.**

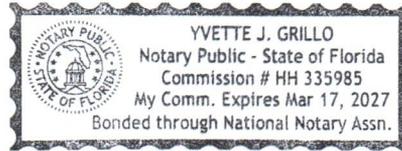
FURTHER. AFFIANT SAYETH NOT. Dated This:  
3/6/2025

STATE OF FLORIDA  
COUNTY OF MARION

  
JENNIPHER L BULLER  
Code Enforcement Officer, City of  
Ocala

The foregoing Affidavit of Case Prosecution Costs was acknowledged before me this: 6 Mar by  
JENNIPHER L BULLER who is personally known to me and who did take an oath.

  
Secretary and Notary Public, State of  
Florida





04/10/2024 13:44  
City of Ocala  
Code Enforcement Division



City of Ocala  
Code Enforcement Division  
1/6/2025 10:09 AM



City of Ocala  
Code Enforcement Division  
1/6/2025 10:09 AM



City of Ocala  
Code Enforcement Division  
1/29/2025 9:07 AM



## City of Ocala

GROWTH MANAGEMENT DEPARTMENT  
CODE ENFORCEMENT DIVISION  
201 SE 3<sup>rd</sup> STREET (2<sup>nd</sup> floor) OCALA, FLORIDA 34471  
Phone: (352) 629-8309

### NOTICE OF VIOLATION AND PUBLIC HEARING

01/21/2025

SNOW ANNIE L EST  
SNOW MCGILL G  
828 NW 9TH ST  
OCALA FL 34475-5912

Case Number: 2024\_10804

Property: 828 NW 9<sup>TH</sup> ST | 2570-202-303, Ocala, Florida

Compliance required Date: 02/11/2025

Public Hearing Date: 03/13/2025

Dear property owner, or agent;

You are hereby notified that the following violation(s) exists relating to the City of Ocala Code of Ordinances:

**Violation(s):**

**Section 82-151 - Standard Housing Code adopted.**

Dilapidated/defective roof. Obtain permit and completed final inspection for re-roof.

This correspondence will serve as notification that the above stated violation(s) must be corrected by **February 11<sup>th</sup>, 2025**. **IT SHALL BE THE RESPONSIBILITY OF YOU, THE RESPONDENT, TO REQUEST A RE-INSPECTION TO VERIFY COMPLIANCE ON, OR BEFORE THIS DATE.** If you, the respondent, fails to verify compliance on or before the aforementioned date, or if the code enforcement officer elects to proceed to a public hearing even after compliance is met, the public hearing will be conducted as follows:

On **03/13/2025**, in the City Council Chamber, City Hall, of the City of Ocala, 110 SE Watula Avenue, at 5:30 P.M., in accordance with the City of Ocala Code of Ordinances, Section 2-441(b), a hearing will be held before the Municipal Code Enforcement Board/Special Magistrate of the City of Ocala, to determine whether you have violated the provisions of the City of Ocala Code of Ordinances.

The Municipal Code Enforcement Board/Special Magistrate has the authority to levy fines up to \$250 per day for a first violation and up to \$500 per day for a repeat violation, and to levy a lien on the real and personal property of the violator(s). A cost of prosecution will be levied in this case pursuant to Florida Statutes section 162.07(2).

You are entitled to be represented by counsel, present testimony, and evidence, and to testify on your behalf. Subpoenas for witnesses and for records, surveys, plats, and other materials may be requested and will be issued by this Board/Special Magistrate through the office of the City Clerk of the City of Ocala, Florida. If you should decide to appeal any

City of Ocala  
Code Enforcement Division  
1/29/2025 9:06 AM