


kinward
at Heathbrook

PD STANDARDS

Prepared: February 6, 2026

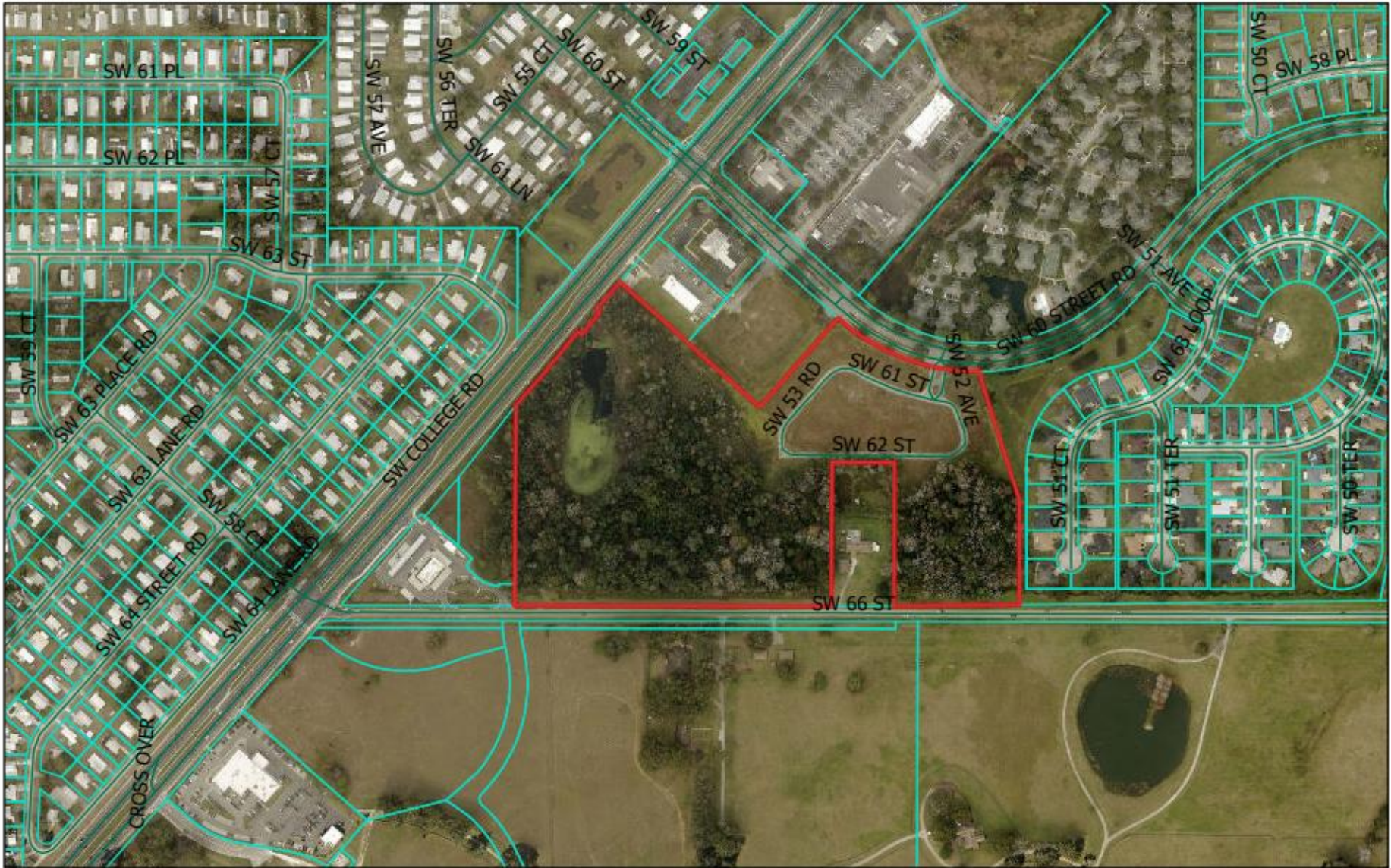


Middleton (Headquarters)
7413 Alford Avenue
Middleton, FL 34762

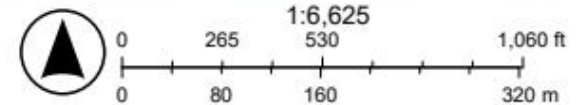
Ocala
406 E Silver Springs Blvd
Suite 200
Ocala, FL 34470

Clearwater
314 S. Missouri Avenue
Suite 101
Clearwater, FL 33756

Kinward at Heathbrook



9/5/2025, 8:31:45 AM



AGENCY	PERMIT #	SUBMITTED	STATUS

DATE	REVISIONS	BY

PLANNED DEVELOPMENT (PD) PLANS FOR KINWARD AT HEATHBROOK

LEGAL DESCRIPTION

COMMENCE AT THE SOUTHEAST CORNER OF THE SOUTHEAST 1/4 OF SECTION 4, TOWNSHIP 16 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA; THENCE NORTH 00° 37' 42" EAST 40.19 FEET TO THE NORTH RIGHT OF WAY LINE OF SOUTHWEST 66TH STREET (A MAINTENANCE RIGHT OF WAY); THENCE ALONG SAID NORTH RIGHT OF WAY SOUTH 89° 25' 18" WEST, 1544.34 FEET TO THE POINT OF BEGINNING; SAID POINT ALSO BEING THE SOUTHWEST CORNER OF 'HEATH BROOK HILLS' SUBDIVISION AS RECORDED IN PLAT BOOK 7, PAGES 120 AND 121, OF PUBLIC RECORDS OF MARION COUNTY, FLORIDA; THENCE CONTINUE ALONG SAID NORTH RIGHT OF WAY SOUTH 89° 25' 18" WEST, 436.94 FEET; THENCE NORTH 00° 31' 20" EAST, 499.53 FEET; THENCE NORTH 89° 43' 12" WEST, 219.96 FEET; THENCE SOUTH 00° 32' 25" WEST, 499.87 FEET TO THE AFOREMENTIONED NORTH RIGHT OF WAY OF WILLIAMS ROAD (SW 66TH STREET); THENCE ALONG SAID RIGHT OF WAY, NORTH 89° 44' 43" WEST, 1103.74 FEET; THENCE DEPARTING SAID NORTH RIGHT OF WAY, NORTH 00° 29' 25" EAST, 694.35 FEET TO THE SOUTHEASTERLY RIGHT OF WAY OF STATE ROAD 200; SAID POINT BEING ON A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 23002.31 FEET, A CENTRAL ANGLE OF 00° 49' 55" AND A CHORD BEARING AND DISTANCE OF NORTH 40° 24' 29" EAST, 333.97 FEET; THENCE NORTHEASTERLY ALONG SAID CURVE 333.98 FEET; THENCE ALONG SAID RIGHT OF WAY SOUTH 49° 42' 28" EAST, 16.16 FEET TO A POINT ON A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 22818.31 FEET, A CENTRAL ANGLE OF 00° 14' 59" AND A CHORD BEARING AND DISTANCE OF NORTH 40° 25' 02" EAST, AT 99.50 FEET; THENCE NORTHEASTERLY ALONG SAID CURVE AND SAID RIGHT OF WAY, 99.50 FEET; THENCE CONTINUE ALONG SAID RIGHT OF WAY NORTH 49° 27' 28" WEST, 17.00 FEET TO A POINT ON A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 22835.31, A CENTRAL ANGLE OF 00° 19' 14" AND A CHORD BEARING AND DISTANCE OF NORTH 40° 42' 09" EAST, AT 127.74 FEET; THENCE NORTHEASTERLY ALONG SAID CURVE AND RIGHT OF WAY OF STATE ROAD 200, 127.74 FEET; THENCE DEPARTING SAID RIGHT OF WAY OF STATE ROAD 200, SOUTH 48° 11' 23" EAST 652.19 FEET; THENCE NORTH 41° 48' 37" EAST 412.06 FEET TO THE SOUTHERLY RIGHT OF WAY OF TARTAN ROAD, SAID POINT BEING ON A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 730.00 FEET, A CENTRAL ANGLE OF 42° 22' 44" AND A CHORD BEARING AND DISTANCE OF SOUTH 69° 22' 46" EAST, AT 527.72 FEET; THENCE SOUTHEASTERLY ALONG SAID CURVE AND RIGHT OF WAY OF TARTAN ROAD, 539.94 FEET TO A CORNER OF 'HEATHBROOK SOUTH B-2' SUBDIVISION AS RECORDED IN PLAT BOOK 7, PAGES 116 THROUGH 119 OF PUBLIC RECORDS OF MARION COUNTY, FLORIDA; SAID POINT ALSO BEING THE NORTHWESTERLY CORNER OF THE AFOREMENTIONED 'HEATH BROOK HILLS' SUBDIVISION AND ON A CURVE CONCAVE EASTERLY HAVING A RADIUS OF 1080.00 FEET, A CENTRAL ANGLE OF 05° 44' 39" AND A CHORD BEARING AND DISTANCE OF SOUTH 14° 53' 05" EAST, AT 108.23 FEET; THENCE SOUTHERLY ALONG SAID CURVE AND WEST BOUNDARY LINE OF SAID 'HEATH BROOK HILLS' SUBDIVISION, 108.28 FEET TO THE POINT OF TANGENCY; THENCE SOUTH 17° 45' 25" EAST, 356.11 FEET; THENCE SOUTH 00° 00' 12" WEST, 365.81 FEET TO THE POINT OF BEGINNING.



SECTION 4; TOWNSHIP 16 SOUTH; RANGE 21 EAST
MARION COUNTY, FLORIDA

Sheet List Table

Sheet Number	Sheet Title
PD00	COVER SHEET
PD01	SITE PLAN
PD02	OPEN SPACE PLAN

SITE DATA

1. PARCEL ID NUMBER: 2389-100-009
 2. ZONING: PLANNED DEVELOPMENT (PD)
 3. FUTURE LAND USE: LOW INTENSITY (LI)
 4. EXISTING FLOOD ZONE: ZONES X, A, AND AE
PANEL #12083C0702E
EFFECTIVE DATE APRIL 19, 2017
 5. BUILDING TYPE: RESIDENTIAL
 6. BUILDING USE: SINGLE-FAMILY ATTACHED
 7. PHASE I: 17 BUILDINGS (92 UNITS)
 8. PHASE II: 9 BUILDINGS (54 UNITS)
 9. TOTAL PROPOSED UNITS: 146
 10. PROPOSED DENSITY: 4.53 UNITS / AC (146 UNITS / 32.22 AC)
 11. REQUIRED PARKING (1 SPACES PER UNIT): 146 SPACES (1 * 146 UNITS)
 - PROVIDED GARAGE PARKING 146 SPACES
 - PROVIDED DRIVEWAY PARKING 146 SPACES
 - PROVIDED AMENITY CENTER PARKING 11 SPACES
 - PROVIDED OFFSTREET PARKING 70 SPACES
 - TOTAL PARKING 373 SPACES
(INCLUDES 4 HANDICAP SPACES)
 12. TRAFFIC CALCULATIONS: HEATH BROOK DRI TRIP ASSIGNMENT - 6/20/18
 - (PER EXHIBIT C OF THE DRI DO) 0.62 NET TRIPS
 - DISCOUNT PER APPROVED DRI TRAFFIC STUDY 22%
 - TOTAL NET TRIPS (146 UNITS * 0.4836) 71 NET TRIPS
- TRAFFIC STATEMENT: THE PROJECT GENERATES LESS THAN 100 NET NEW PEAK HOUR TRIPS

I:\MARION\KIN VILLAGES\PROJECTS\KINWARD AT HEATH BROOK\CONSTRUCTION\PD00 Forward Cover.dwg PLOT DATE: 12/11/2025 4:13 PM SAVE DATE: 12/11/2025 LAST SAVED BY: KMERITT

KINWARD AT HEATHBROOK

OWNER
KEYS AT OCALA II, LLC
6854 78TH AVENUE N.
PINELLAS PARK, FL 33781

DEVELOPER
EISENHOWER PROPERTY GROUP, LLC
111 S ARMENIA AVE
TAMPA, FL 33609

ENGINEER
CLYMER FARNER BARLEY, INC.
2100 SE 17TH STREET, STE 202
OCALA, FL 34471
BEAU CLYMER, PE
FL LIC. NO. 99053
(352) 913-2360

SURVEYOR
CLYMER FARNER BARLEY SURVEYING, LLC
2100 SE 17TH STREET, STE 202
OCALA, FL 34471
GARY L. MILAM, PSM
FL LIC. NO. 5058
(352) 913-2360



CFB | CLYMER FARNER BARLEY
CLYMER FARNER BARLEY, Inc.
4450 NE 83RD RD, MIDDLETON, FL 34762
(352) 748-3126

NOT FOR CONSTRUCTION

PROPOSED TREE SCHEDULE

(SAMPLE LIST OF MATERIALS THAT MAY BE USED FOR THIS PROJECT)

ALL REQUIRED SHADE TREES SHALL BE 3.5" CAL. MIN. ALL REQUIRED ORNAMENTAL TREES TO BE 30 GALLON MIN.

Shade Trees

- Bald Cypress
- Live Oak
- Pine, various species
- Red Maple
- Shumard Oak
- Southern Magnolia

Ornamental Trees

- Bottlebrush
- Crape Myrtle
- Holly, various
- Japanese Blueberry
- Ligustrum Tree
- Little Gem Magnolia
- Pindo Palm
- Sabal Palm

GENERAL NOTES:

1. Full landscape and irrigation plans demonstrating compliance with all City of Ocala and Heathbrook requirements will be provided at the time of site submittal.
2. All site areas which are not built upon or paved shall be landscaped, sodded, seeded, and/or mulched, unless left in a natural, undisturbed state.
3. All plant material used shall be equal to or exceed the grade of Florida #1 as per "Grades and Standards for Nursery Plants", State of Florida, latest edition.
4. All landscaping shall be installed in a professional manner following acceptable nursery practices as set by the Florida Nurserymen and Growers Association (FNGA).
5. The Owner, including successors and assigns, shall be responsible for the maintenance of the landscaping on-site and the grassed rights-of-way.
6. All landscaped areas shall be watered by a 100% automatic irrigation system equipped with a rain sensor device pursuant to F.S. Chapter 373. The water source shall be an irrigation well, location tbd. An irrigation plan shall be submitted prior to co, if required.
7. Landscaping shall conform generally to water-efficient design principles, including the use of native and/or drought tolerant species.
8. Designs shown are diagrammatic and the final design will vary from what is shown herein as needed to accommodate site conditions, existing trees to remain, and other contextual issues.

SITE DATA

Total Site Area: 32.22 ac.
(See CIVIL Site Plan prepared by Clymer Farmer Barley, Inc.)

INTERIOR LANDSCAPE CALCULATIONS

See Sheet 4

OPEN SPACE CALCULATIONS

Refer to CIVIL drawings for Open Space calculations.

TREE CALCULATIONS

Based on site survey data prepared 5/15/21 by Devel & Associates and provided by Clymer Farmer Barley Inc.

Detailed tree preservation and removal plans will be prepared during the permitting process

MITIGATION TREE CALCULATIONS

Total existing trees = 1194
Total shade trees required to be preserved = 129 (4 trees/acre x 32.22 ac)
Total trees preserved = 346
Total shade trees preserved = 315 (assumes miscellaneous trees are shade)

SITE SHADE TREE CALCULATIONS

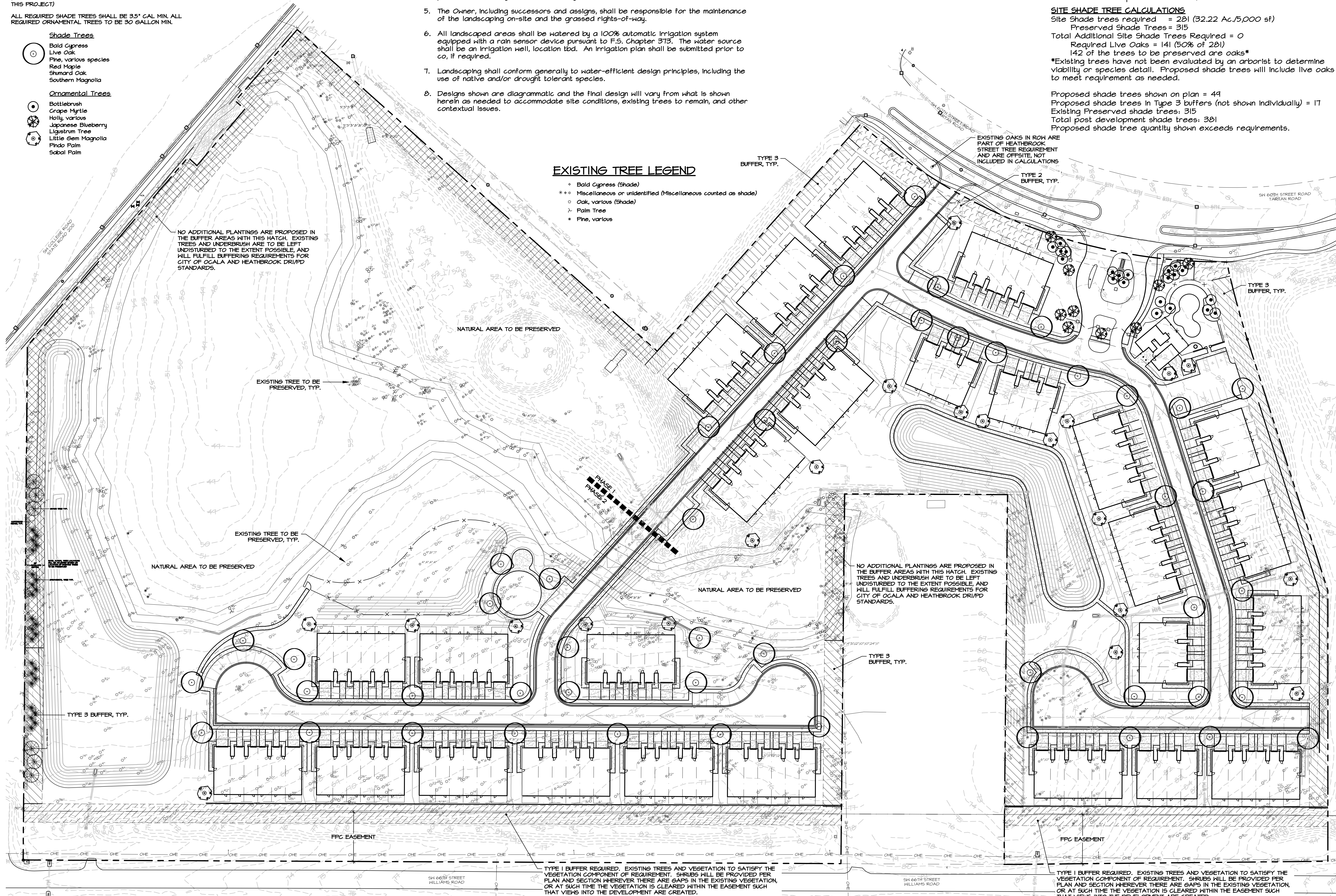
Site Shade trees required = 281 (32.22 Ac./5,000 sf)
Preserved Shade Trees = 315
Total Additional Site Shade Trees Required = 0
Required Live Oaks = 141 (50% of 281)
142 of the trees to be preserved are oaks*

*Existing trees have not been evaluated by an arborist to determine viability or species detail. Proposed shade trees will include live oaks to meet requirement as needed.

Proposed shade trees shown on plan = 49
Proposed shade trees in Type 3 buffers (not shown individually) = 17
Existing Preserved shade trees: 315
Total post development shade trees: 381
Proposed shade tree quantity shown exceeds requirements.

EXISTING TREE LEGEND

- Bald Cypress (Shade)
- * Miscellaneous or unidentified (Miscellaneous counted as shade)
- Oak, various (Shade)
- Palm Tree
- Pine, various

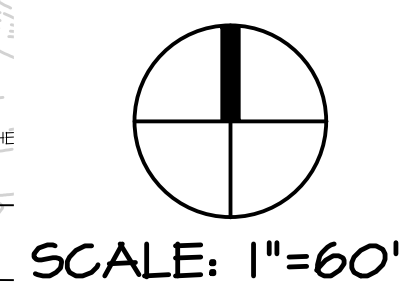


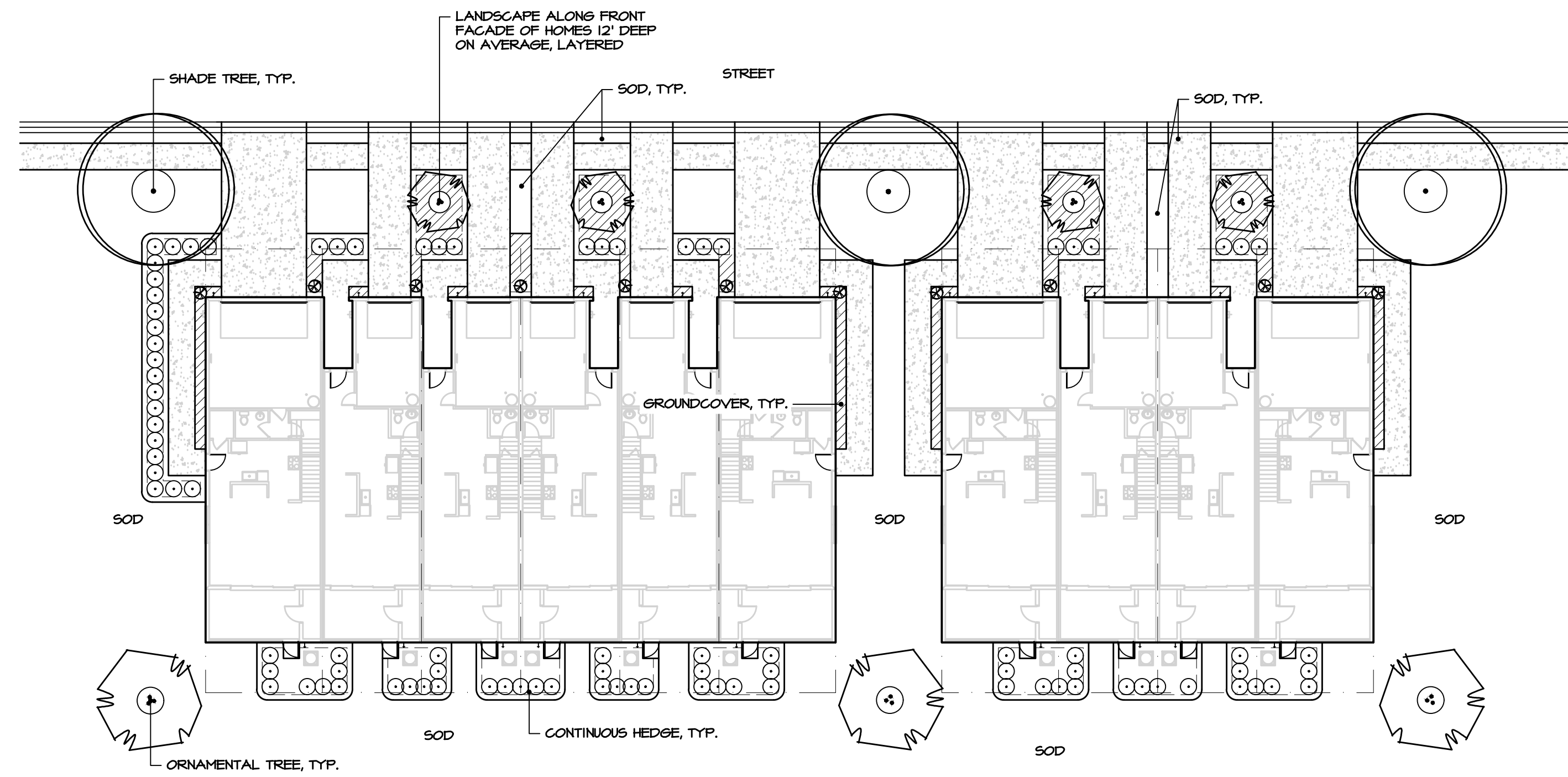
MPA Michael Pape & Associates, PA
LAND PLANNING • SITE DESIGN • LANDSCAPE ARCHITECTURE
2351 SE 17th Street • Ocala, FL • 352.351.3500 • www.MPA-LA.com

KINWARD AT HEATHBROOK
OCALA, FLORIDA
MASTER LANDSCAPE AND
TREE PRESERVATION PLAN

DATE: 2/6/26
DWN BY: ABT
CHKD BY: SMS

SHEET 4 OF 1





PROPOSED LANDSCAPE MATERIALS SCHEDULE

(SAMPLE LIST OF MATERIALS THAT MAY BE USED FOR THIS PROJECT)
 ALL REQUIRED SHADE TREES SHALL BE 3.5" CAL. MIN.
 ALL REQUIRED ORNAMENTAL TREES SHALL BE 30 GALLON MIN. 6'-8" IN HEIGHT.
 ALL REQUIRED SHRUB MATERIAL SHALL BE 3 GALLON MIN.

Shrubs/Groundcover/Accent Plants

- African Iris, white
- Annals, seasonal
- Arabesque Miscanthus
- Bamboo
- Blueberry Flax Lily
- Confederate Jasmine
- Coolibee
- Cordgrass
- Crimum Lily, red
- Curly Leaf Ligustrum
- Desert Candle
- Dwarf Bamboo
- Dwarf Burford Holly
- Dwarf Confederate Jasmine
- Dwarf Mexican Petunia, purple
- Dwarf Nandina
- Dwarf Walters Viburnum
- Dwarf Yaupon Holly
- Emerald Goddess Liriope
- Evergreen Paspalum
- Golden Dewdrop
- Green Fountain Grass
- Indian Hawthorn, white
- Japanese Yew
- Ligustrum
- Lily-of-the-Nile
- Mixed Annuals & Perennials
- Muhly Grass
- Pampas Grass
- Parson's Juniper
- Plumbago
- Sandwicha Viburnum
- Sax Palmetto
- Society Garlic
- Sweet Viburnum
- Trailing Lantana, purple

Ornamental Trees

- Bottlebrush
- Crape Myrtle
- Holly, various
- Japanese Blueberry
- Ligustrum Tree
- Little Gem Magnolia
- Pindo Palm
- Sabal Palm

Shade Trees

- Bald Cypress
- Live Oak
- Pine, various species
- Red Maple
- Shumard Oak
- Southern Magnolia

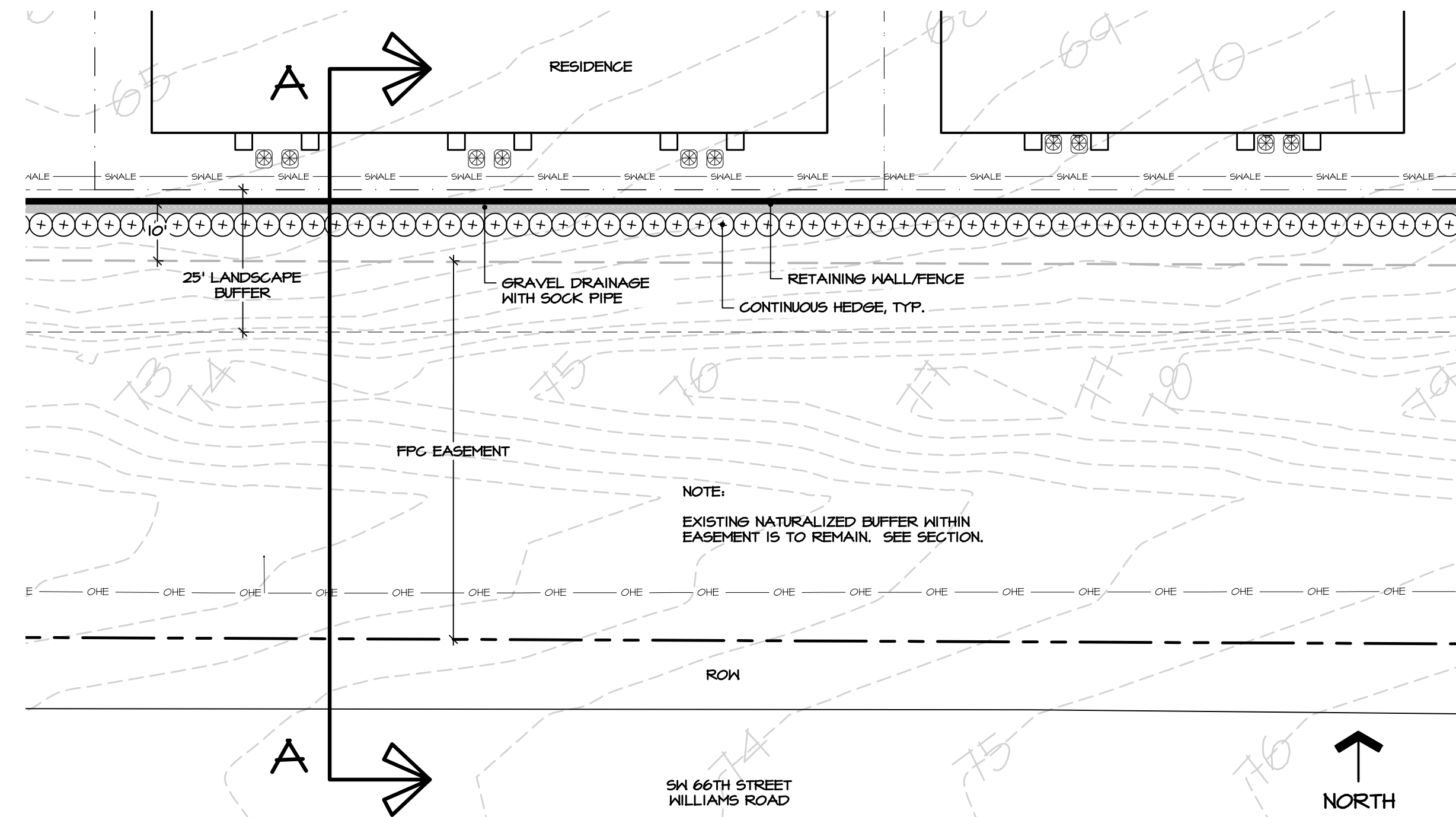
Sod
 SOD = Irrigated St Augustine
 SODI = Unirrigated Bahia

NOTES:

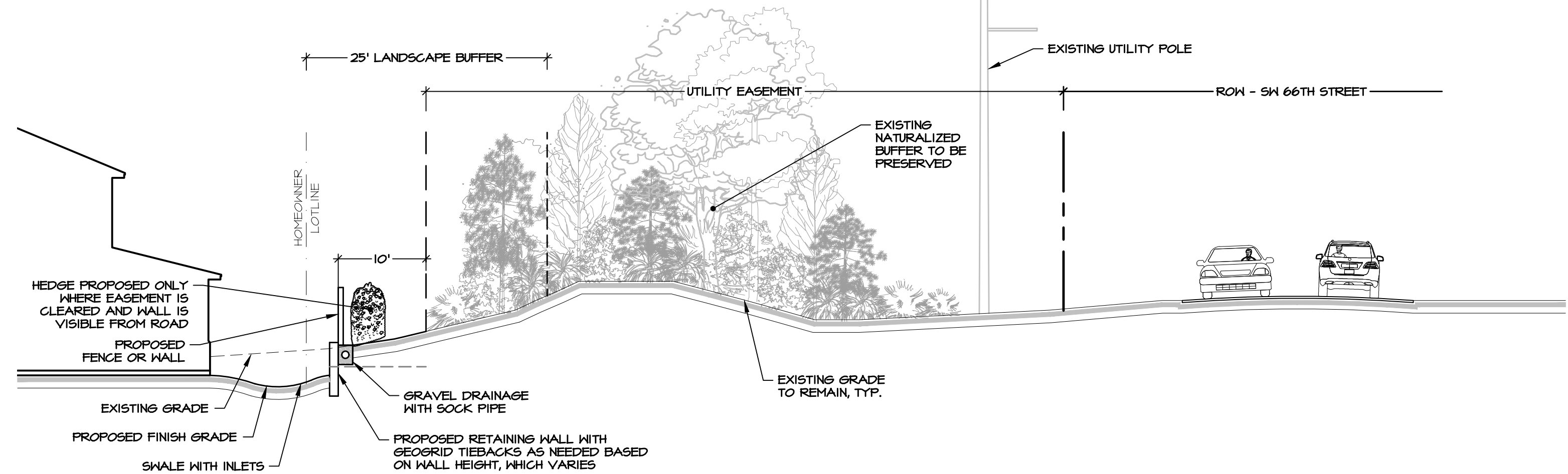
1. A FENCE OR WALL AT LEAST SIX (6) FEET IN HEIGHT WILL BE CONSTRUCTED ALONG PORTIONS OF THE BUFFER.
2. BERMS WILL BE PROVIDED WHERE REQUIRED AND IF COMPATIBLE WITH SITE GRADING

UNIT TYPICAL LANDSCAPE FOR 4 AND 6 UNIT BUILDINGS

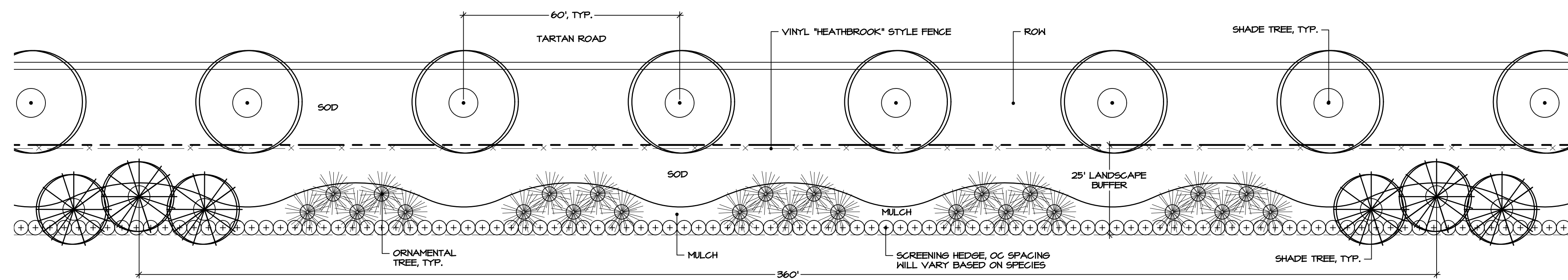
SCALE: 1" = 20'



TYPE I TYPICAL BUFFER

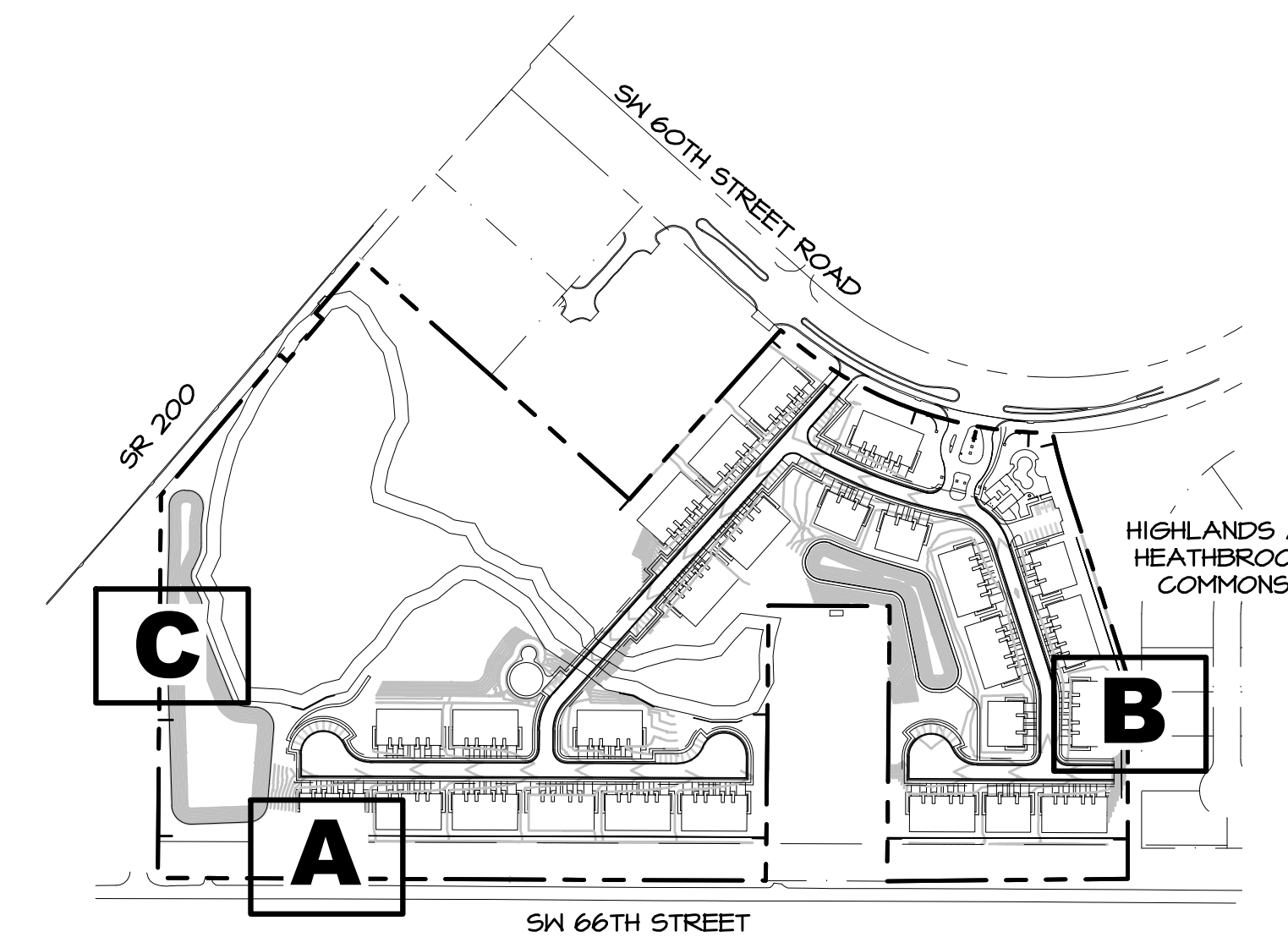


SECTION A-A THRU TYPE I BUFFER



TYPE 2 TYPICAL BUFFER (FRONTAGE TARTAN ROAD)

SCALE: 1" = 20'



LOCATION MAP, NOT TO SCALE

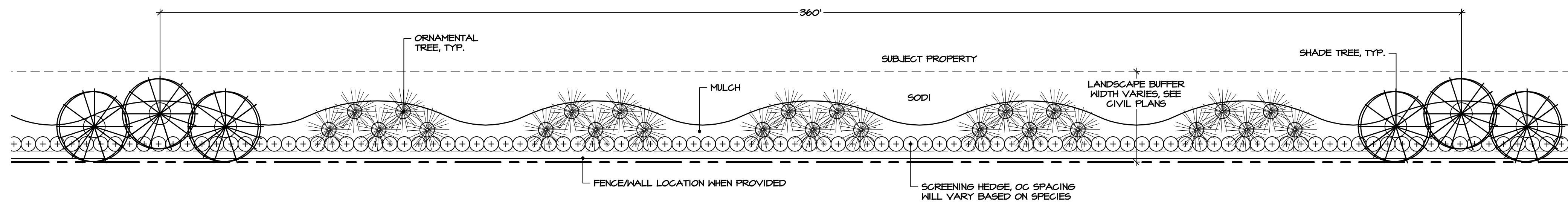
NOT FOR CONSTRUCTION

MPA Michael Pape & Associates, PA
 LAND PLANNING • SITE DESIGN • LANDSCAPE ARCHITECTURE
 2351 SE 17th Street, Ocala, FL • 352.351.3500 • www.MPA-LA.com

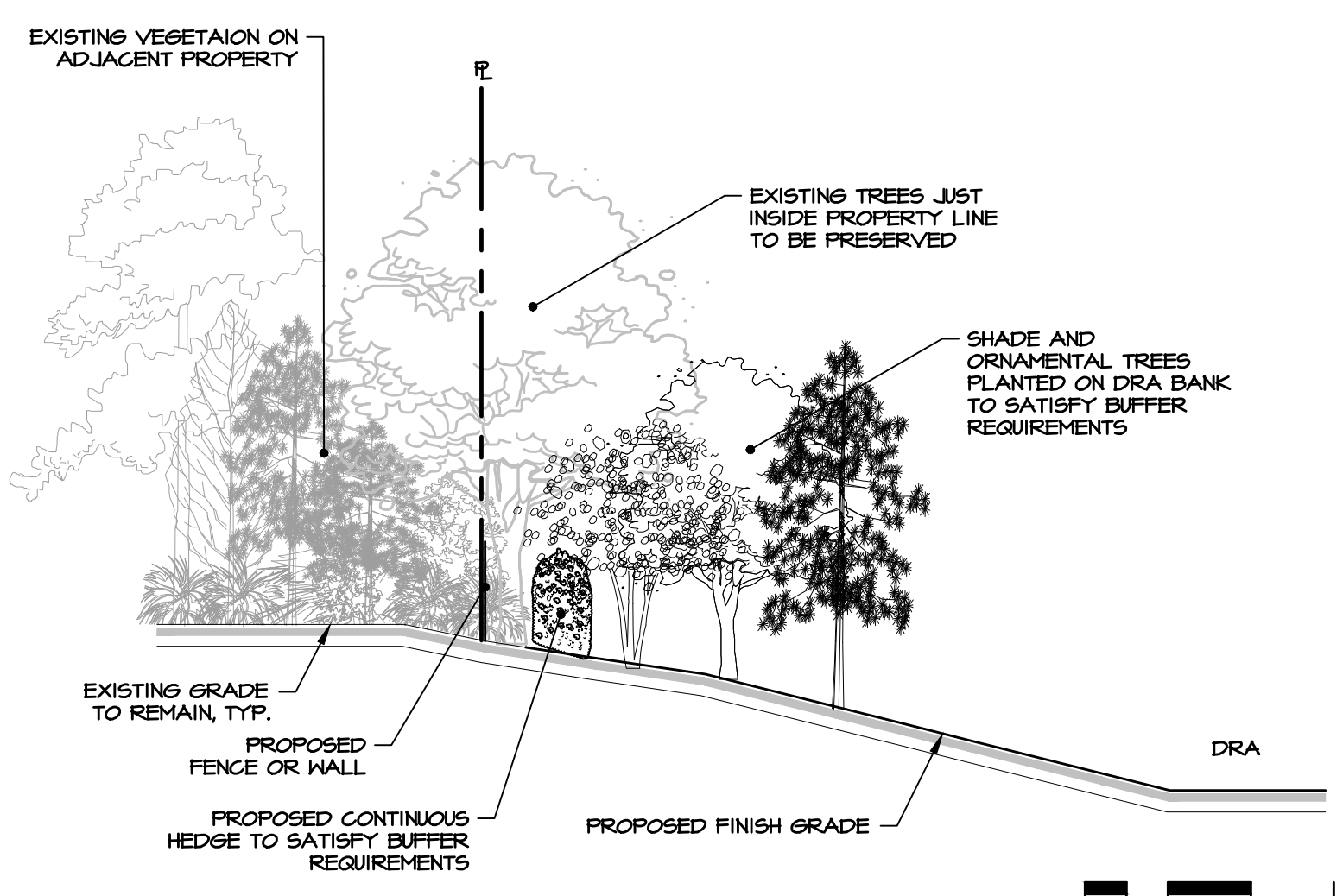
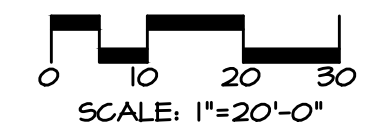
KINWARD AT HEATHBROOK
 OCALA, FLORIDA
 UNIT TYPICAL LANDSCAPE AND
 LANDSCAPE BUFFER PLAN

DATE: 2/6/26
 DWN BY: ABT
 CHKD. BY: SMS

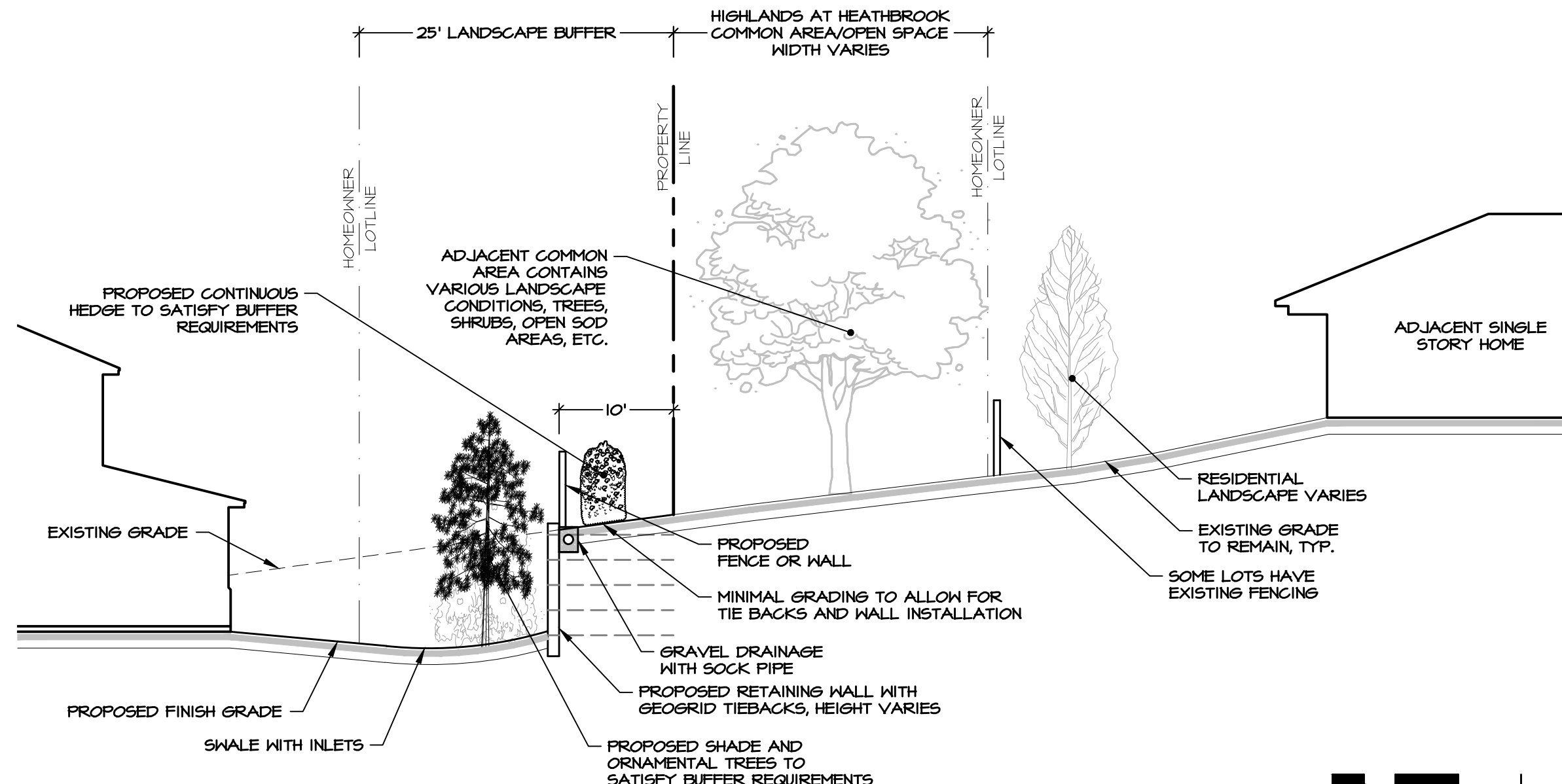
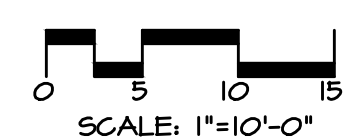
SHEET 5 OF 1



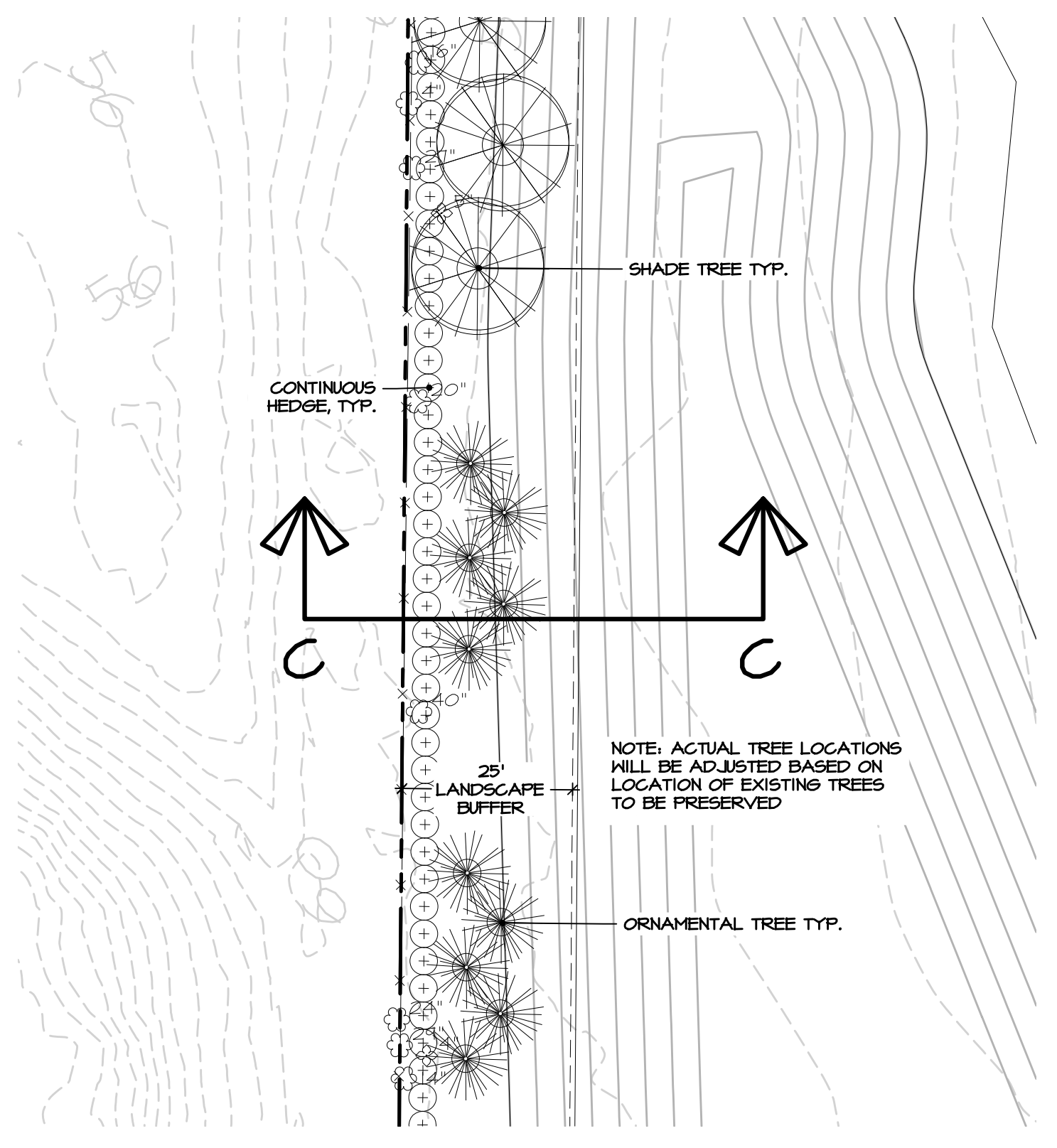
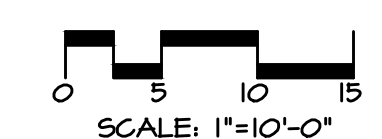
TYPE 3 TYPICAL BUFFER



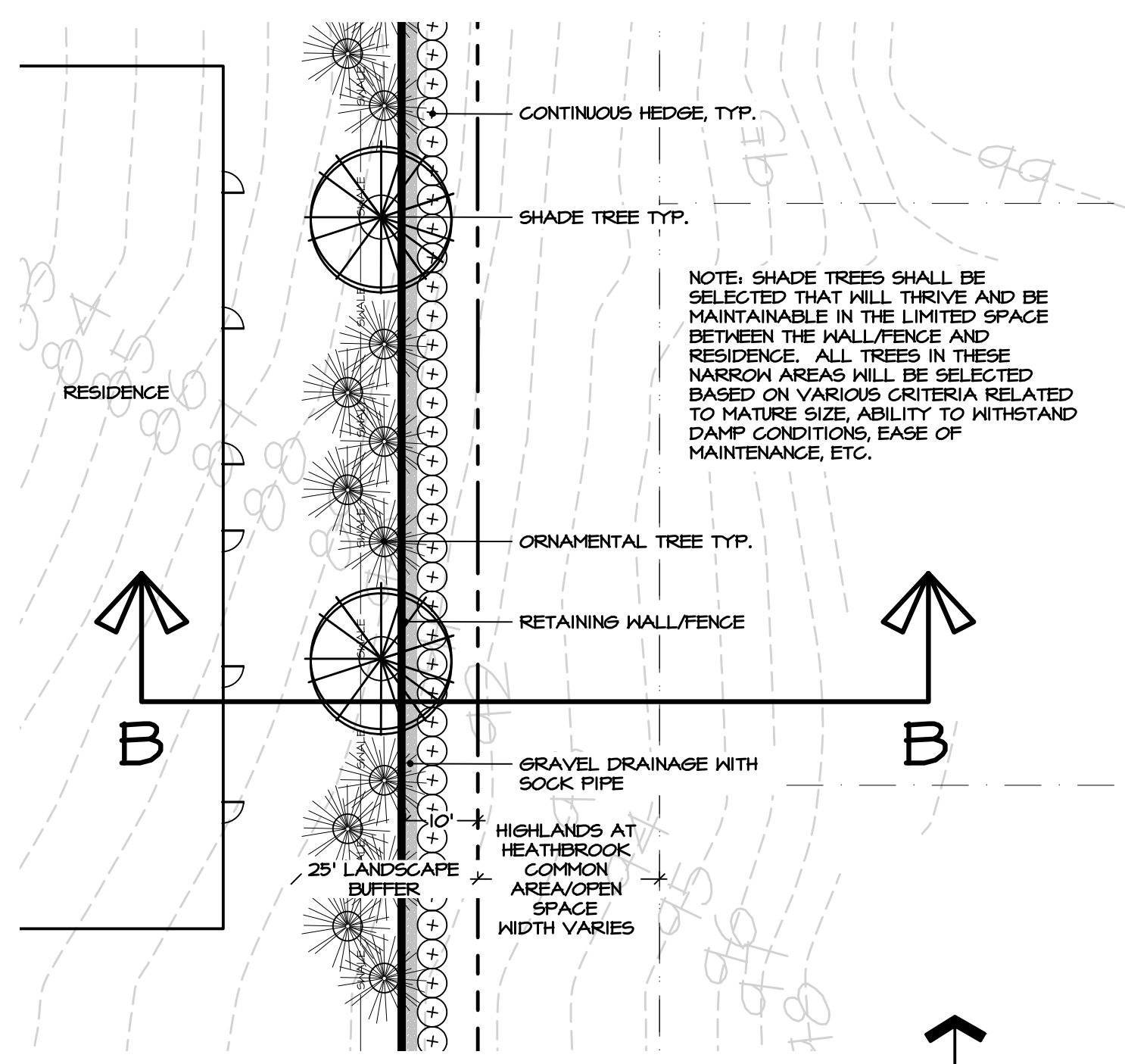
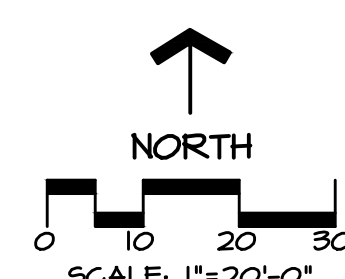
SECTION C-C THRU WEST TYPE 3 BUFFER



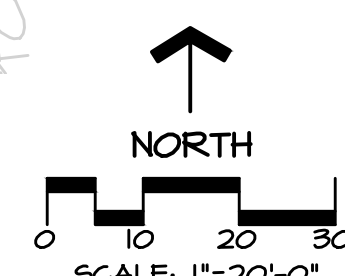
SECTION B-B THRU EAST TYPE 3 BUFFER



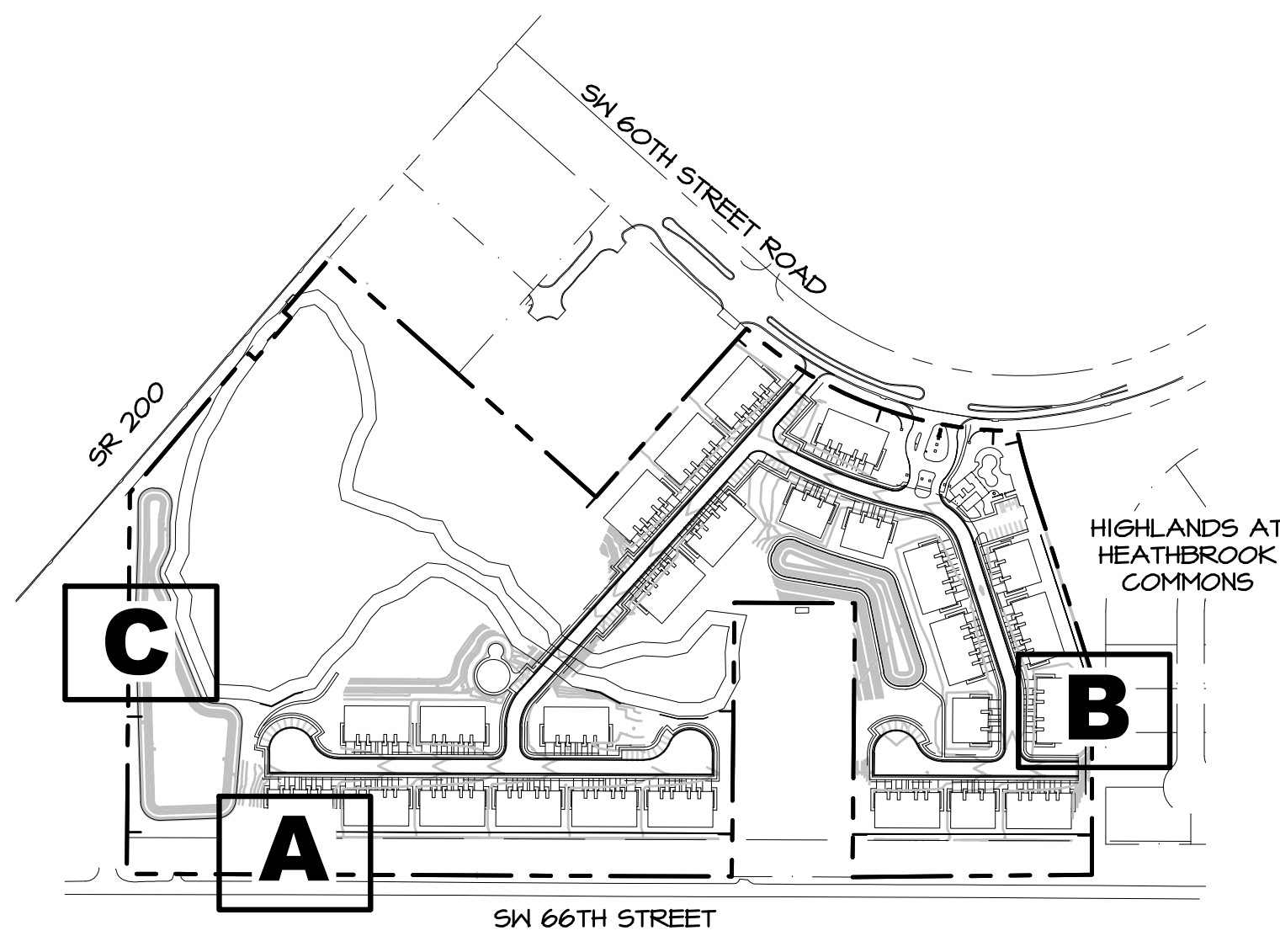
WEST TYPE 3 BUFFER



EAST TYPE 3 BUFFER



NOT FOR CONSTRUCTION



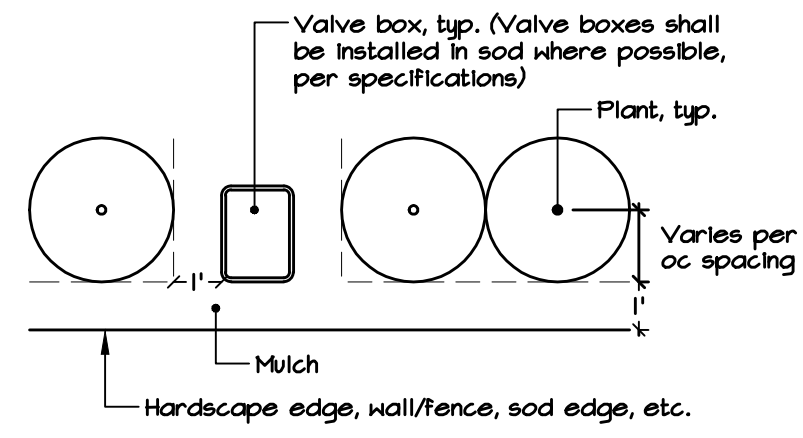
LOCATION MAP, NOT TO SCALE

MPA Michael Pape & Associates, PA
 LAND PLANNING • SITE DESIGN • LANDSCAPE ARCHITECTURE
 2351 SE 17th Street • Ocala, FL • 352.351.3500 • www.MPA-LA.com

KINWARD AT HEATHERBROOK
 OCALA, FLORIDA
 UNIT TYPICAL LANDSCAPE AND
 LANDSCAPE BUFFER PLAN

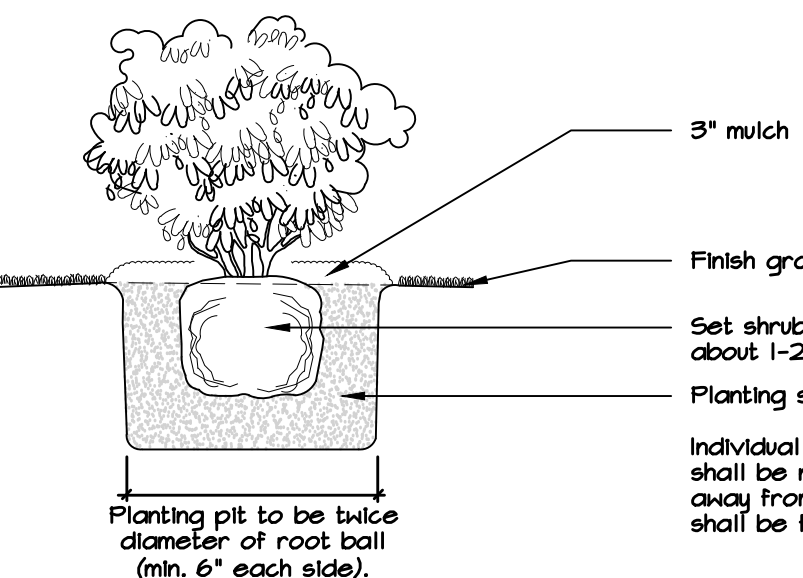
DATE: 2/6/26
 DWN BY: ABT
 CHKD. BY: SMS

SHEET 6 OF 1

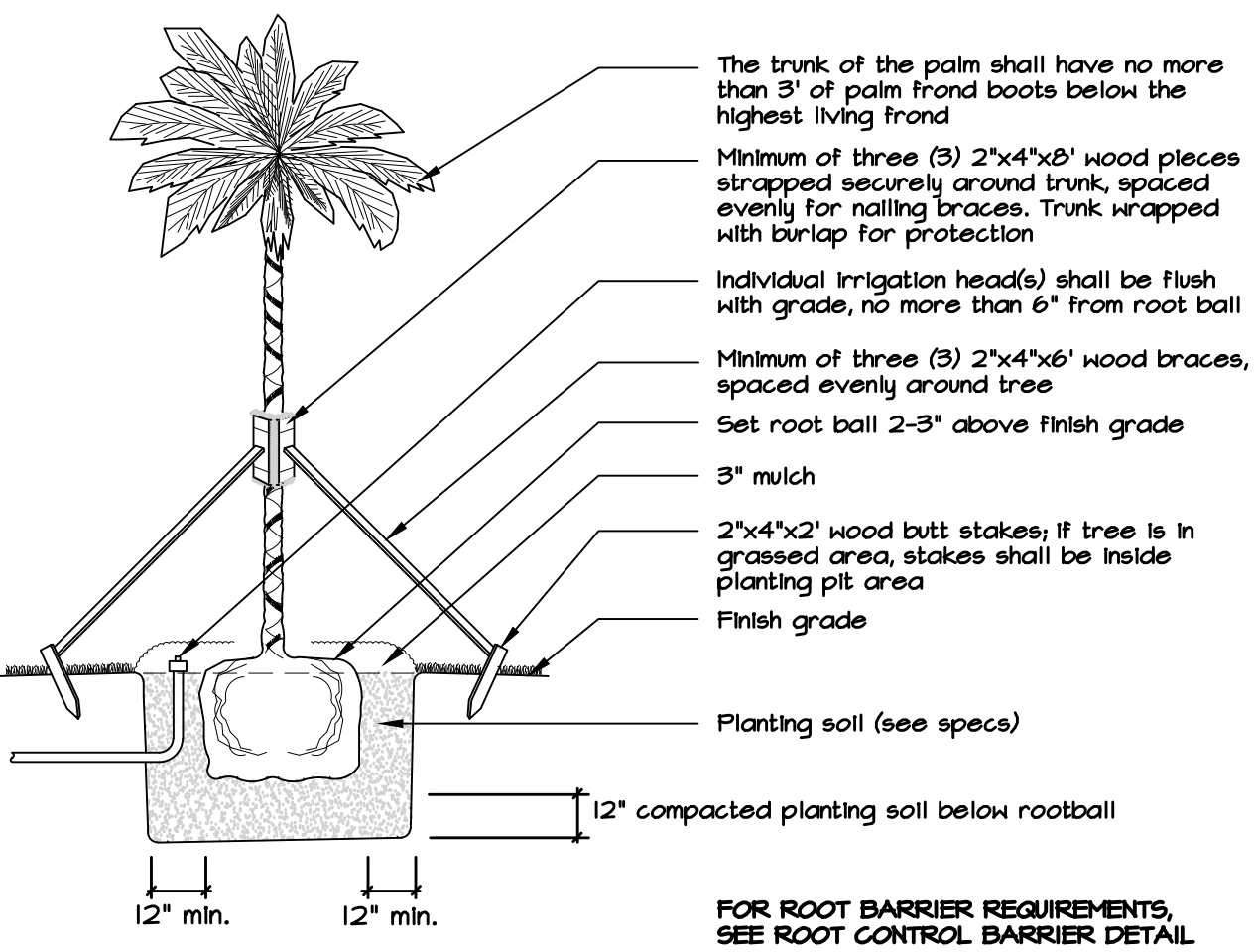


As shown on plan, all shrubs and groundcovers adjacent to curb/pavement, rec. trail, wall/fence, building foundation, valve box/utility vault, sod, etc., shall be installed with the plant center spaced an additional 1" from the edge, unless otherwise noted

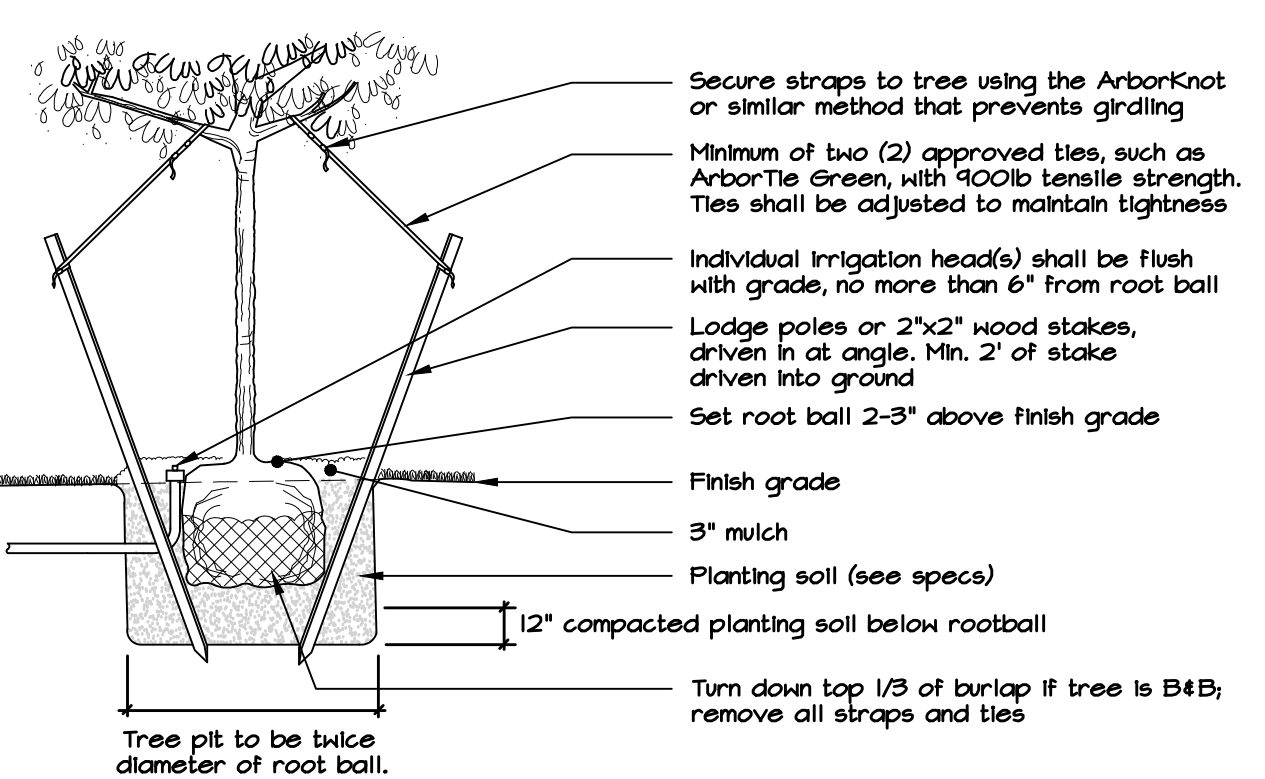
OFFSET DETAIL
N.T.S.



SHRUB INSTALLATION DETAIL

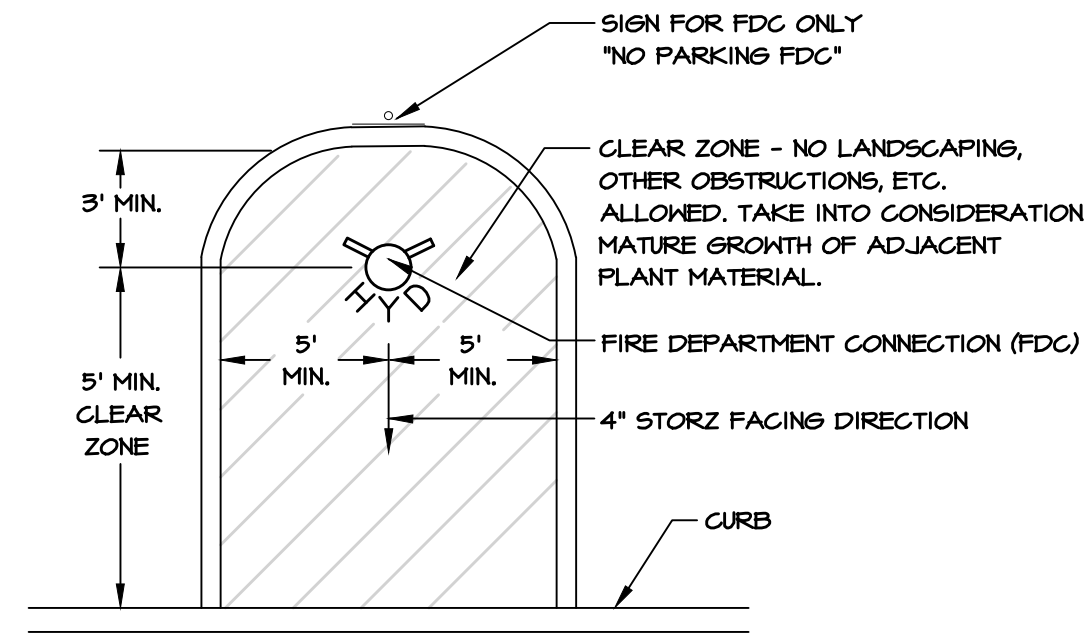


PALM INSTALLATION DETAIL

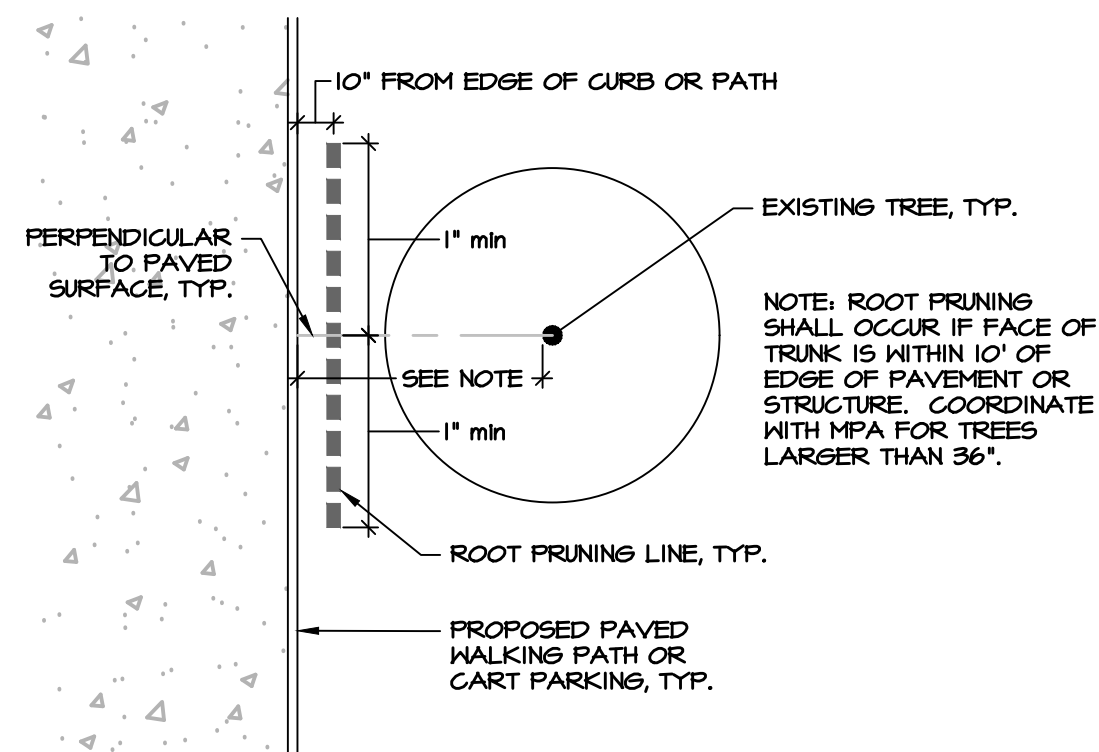


TREE INSTALLATION DETAIL

FOR MULTI-TRUNK TREES, TREES LESS THAN 3" CAL., OR CONTAINER TREES UP TO 30 GAL.



FIRE HYDRANT / REMOTE FIRE DEPARTMENT CONNECTION (FDC) CLEAR ZONE DETAIL
N.T.S.

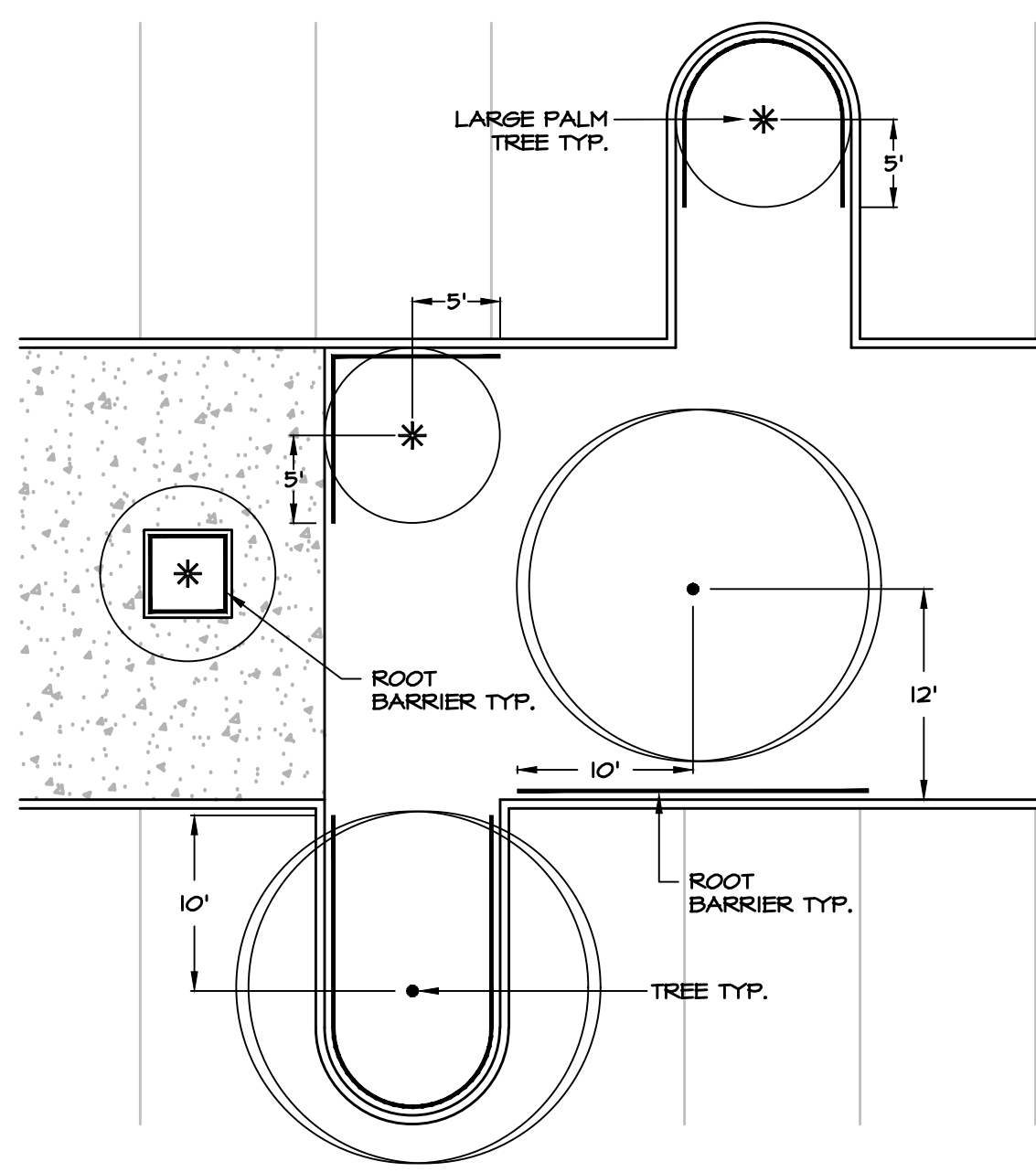


TYPICAL ROOT PRUNING PLAN

SCALE: 1" = 10'

NOTES:

TREE SPECIES WITH LARGE SURFACE ROOT SYSTEMS SHALL BE PROVIDED WITH ROOT CONTROL BARRIER BASED ON THE FOLLOWING STANDARDS: TREES WITHIN 12' OF THE EDGE OF PAVEMENT OR LARGE PALMS WITHIN 5' OF THE EDGE OF PAVEMENT.
TREES INCLUDE, BUT ARE NOT LIMITED TO: LIVE OAK, MAGNOLIA, SYCAMORE, RED MAPLE
LARGE PALMS INCLUDE, BUT ARE NOT LIMITED TO: SABAL PALM, LARGE DATE PALM SPECIES, PINO PALM, WASHINGTON PALM
THE ROOT CONTROL BARRIERS SHALL UTILIZE 24" DEPTH ABS (HARD PLASTIC) INTERLOCKING PANELS, AS BY NDS PRODUCTS, DEEP ROOT, ROOT CONTROL, INC., OR OTHER APPROVED EQUAL PRODUCT. APPROVAL FOR PROPOSED EQUAL PRODUCTS SHALL BE SECURED FROM MPA PRIOR TO BIDDING.



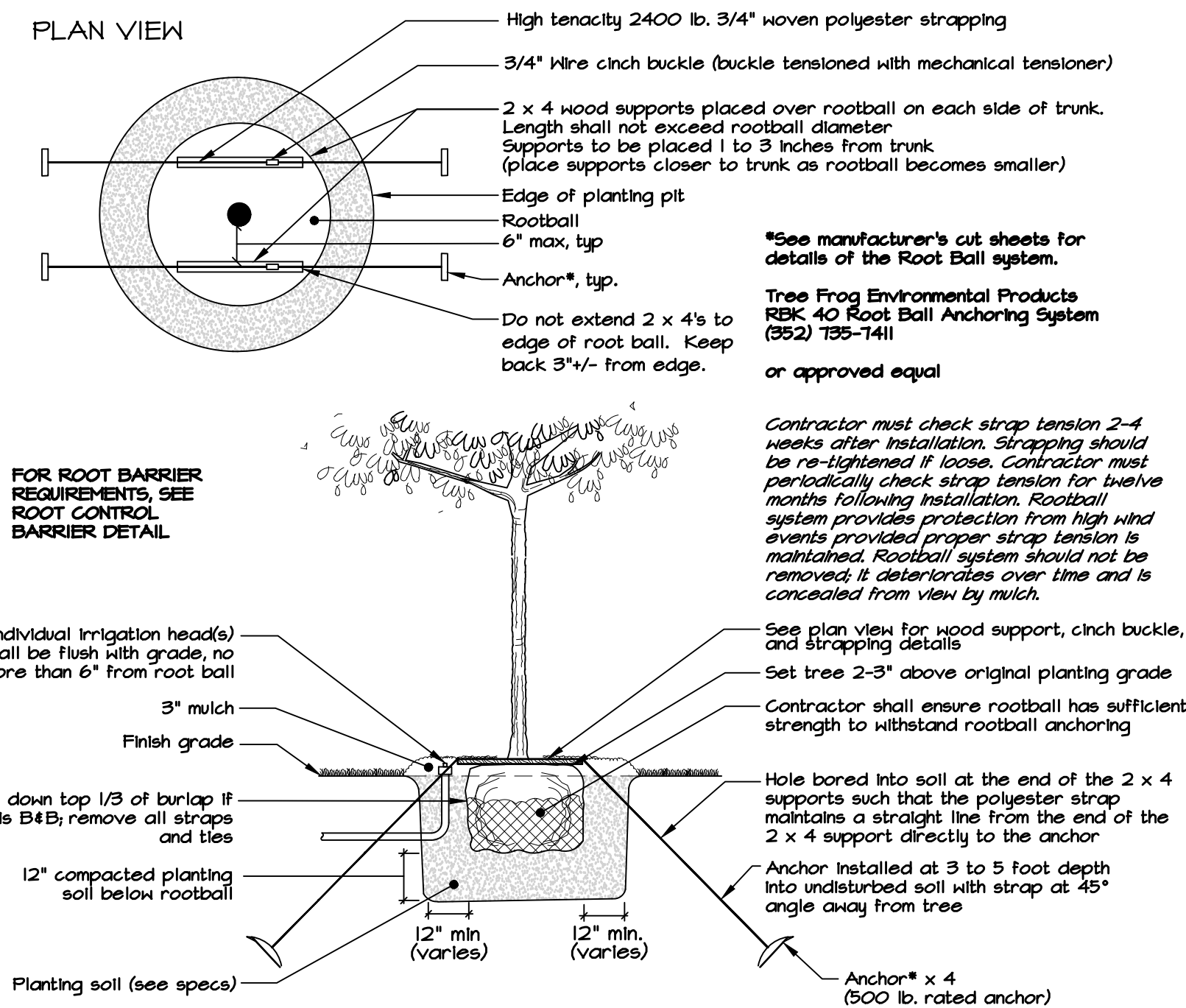
ROOT CONTROL BARRIER DETAIL

1" = 10'

IRRIGATION SPECIFICATIONS

All landscaped and sodded areas are to be fully irrigated with an automatic irrigation system, excluding those areas deemed natural or low-maintenance landscapes. To ensure minimum installation standards, the following standards are to be observed:

1. Michael Pape & Associates, P.A. is responsible for ensuring that the work meets all requirements stipulated and implied in the Plans and Specifications. Any work that does not meet or is subject to rejection, and replacement by the contractor at his own cost.
2. The Contractor shall be responsible for providing all labor, material, and accessories required for a complete and properly operating irrigation system that provides 100% coverage under normal wind conditions.
3. All irrigation systems shall be designed with maximum attention to water conservation techniques. These shall include, but are not limited to: separation of zones for turf, beds, and annuals; use of pressure regulating heads and valves; triangular spacing of heads for efficient 100% coverage; use of drip and low volume heads; provision of rain sensors; and use of in-head check valves for low heads to prevent loss of water.
4. All irrigation components shall be installed in accordance with the manufacturer's specifications.
5. All work shall be installed in accordance with the regulations of the local, county, or other governing authorities. Fees for all permits, inspections, and impact fees required shall be included as work required.
6. The water source shall be as shown on the plans. The system shall include all labor, equipment, materials, permits, fees, and taxes to provide a complete and properly operating system meeting the following performance requirements and provisions:
 - a. Include a backflow prevention device as necessary to meet local code provisions
 - b. Documentation and submittal of actual water supply performance prior to commencing installation.
 - c. Provide complete submittals for approval prior to commencing work
 - d. Warranty all work for 1 year minimum
6. The system shall be fully automatic.
7. All zone pipe shall be class 160 PVC or better. PVC mains shall be schedule 40 PVC. Spray and rotor heads shall not be combined on the same zones. All pop-up rotors shall be connected to the supply lines with swing joints or flex hose, as shall all spray heads located next to drives or roads. All PVC fittings shall be schedule 40, Type I, NSF approved conforming to the ASTM-D2466 requirements. Any pipe installed and subsequently removed shall not be reinstalled.
8. All lines shall be visually inspected for leaks by conducting an operation test prior to backfilling of trenches.
9. All pipe and control tubing routed under roads and paved areas shall be sleeved and placed in a minimum of 24 inches below grade and backfilled with clean sand. No rock shall come in contact with the PVC pipe.
10. Irrigation piping shall be installed in trenches with a minimum of 12" of cover, except where existing conditions require less cover. The irrigation contractor shall exercise care in digging and work so as not to damage existing facilities; the irrigation contractor shall be responsible for any damage caused by his representatives or his work. Where trenching is required within the drip line of trees to be preserved, this work shall be routed under or around major roots by hand digging.
11. Irrigation heads shall be set so that the final level of ground around the heads conforms to the surrounding grades, or as otherwise specified. Risers are considered unsightly and hazardous and shall be prohibited in any situation where 12" pop-ups, under-trenching, or other coverage methods can be used. Where risers are used, they shall be schedule 40 PVC and all visible equipment shall be painted with flat brown or black enamel paint so as to blend with the surrounding material.
12. The use of barbed insertion type fittings (couplings, tees, elbs, etc.) between the sprinkler and the PVC service is prohibited.
13. Separate zones shall be provided covering annuals for independent operation.
14. All remote control valves shall be installed in a rectangular Ametek-type valve box, amply sized for access. Valves shall be placed in unobtrusive turf areas rather than bare areas. Valves shall be installed in 8" round valve boxes with 8" of gravel for drainage, and 2" min of coiled wire. Two spare controller wires shall be run in such a manner that both would be available for back up use at any valve, if necessary. Any control wires which cannot be installed with the mainline shall be run in conduit, 12" deep min.
15. Control wires shall be UFAL direct burial sized as necessary, with Spears DS-400 connectors. All wire colors shall be consistent for each run. Splices shall be minimized, and any splices shall be installed in 8" round valve boxes with 8" of gravel for drainage, and 2" min of coiled wire. Two spare controller wires shall be run in such a manner that both would be available for back up use at any valve, if necessary. Any control wires which cannot be installed with the mainline shall be run in conduit, 12" deep min.
16. A #14/1 UF. locator wire shall be installed in all mainline trenches. This wire shall be taped to the mainline at no more than 10' intervals, using fiber-reinforced strapping tape. This wire shall be installed from valve to valve, including gate valves, and looped generously within the valve box.
17. Rain sensors shall be mounted in an obscure but unobstructed location.
18. The irrigation system should be timed to operate during non-business hours, and in accordance with any applicable water management restrictions.
19. The irrigation contractor shall adjust all heads and automatic equipment upon completion of installation to provide optimum performance.
20. After completion, testing, and adjustment of the system, the irrigation contractor shall instruct the parcel developer's maintenance personnel in the operation and maintenance of the system.
21. Warranty: The Contractor shall warrant the installation workmanship for a period of one year from date of completion and acceptance of the job. The Contractor shall further see to the fulfillment of all manufacturer's warranties and shall provide manufacturer warranty and operational information to the Owner. Reproducible as-built, copied from the original plan showing dimensioned locations of all system components shall be required for final payment.



TREE INSTALLATION DETAIL

FOR 3-4" CAL., 45-100 GAL. TREES OR B4B TREES UP TO 40" DIAMETER ROOTBALL

LANDSCAPE SPECIFICATIONS

1. Michael Pape & Associates, P.A. is responsible for ensuring that the work meets all requirements stipulated and implied in the Plans and Specifications. Any work that does not meet or is subject to rejection, and replacement by the contractor at his own cost.
2. All plants shall be Florida No. 1 or better, as outlined under Grades and Standards for Nursery Plants, Division of Plant Industries, State of Florida, current edition.
3. All work shall be performed in accordance with standard and accepted nursery practices in a workmanlike manner; the Contractor shall be responsible for notifying the Landscape Architect of any conditions which would adversely affect the completed work.
4. The Contractor shall report any detrimental soil, drainage, conflicts or other any conditions which would affect the health and performance of the landscaping.
5. The Contractor shall be responsible for following all applicable codes and regulations concerning the work, whether or not they are stipulated in the bid documents.
6. The contractor shall report and repair any damage caused by his work or actions, and maintain the jobsite in a clean, professional, and workmanlike manner.
7. The contractor shall coordinate with all other aspects of the job affecting the finished character of the landscaping - particularly the drainage system - to achieve proper results, including adjustments to plant locations if required.
8. The Contractor shall be responsible for the grading, 4" in all areas of the site to be landscaped. The Contractor is responsible for ensuring that surface drainage is not affected or hindered in any manner due to any reason.
9. The Contractor shall be responsible for the thorough removal of existing vegetation and grass in the areas to be planted, including application(s) of appropriate herbicides before and after plant installation. A pre-emergent herbicide approved by the Landscape Architect shall be applied in accordance with the manufacturer's instructions for all plant beds.
10. The Contractor shall be responsible for the proper location, layout, and orientation of trees and planting beds.
11. Limerock, debris, and other unsuitable materials shall be removed from the planting areas, and clean sandy fill used to bring all areas to proper grade. Soil used for planting shall consist of two parts of the existing soil and one part domestic peat moss (or sandy fill in heavy soils). Fertilizer shall be Agriform tablets or approved equal, incorporated into all shrub and tree planting pits per the manufacturer's instructions. Backfill shall consist of equal parts clean sandy fill and potting soil mix, well mixed.
12. Beds for plant material 3 gallon or smaller shall be amended first by rototilling the planted areas to a depth of 6-8". 3" of organic planting soil mix shall then be thoroughly amended into the previously rototilled area to a depth of 6-8". If necessary, existing soil shall be removed so that the finished bed area is at the appropriate elevation in respect to adjacent landscape, lawn, and hardscape areas, and to adjacent structures. This measure shall be included in the line item cost for Site Preparation.
13. Terra-Sorb, or approved equal, shall be incorporated into the planting soil of all trees in sandy soils only at the manufacturer's rates. Broadcast 1/2 throughout the planting pit; mix 1/2 with backfill.
14. Refer to the Details for tree and plant installation requirements. Care shall be taken to insure that all plants are set properly and the finish grade conforms to adjacent lawns, walks, pavement, etc. All plant beds and tree rings shall be top-dressed with 3" pine straw mulch.
15. The Landscape Architect reserves the right to field locate or review flagged locations of any or all proposed plantings. Locations of trees and plants shall be coordinated with irrigation head locations to insure proper coverage, including minor adjustments of plant and head locations as needed.
16. Any tree which shows signs of stress shall be replaced immediately at no charge to the Owner.
17. Trees shall be staked and gayed in accordance with the details provided.
18. No substitutions shall be permitted without prior approval from the Landscape Architect.
19. All site areas which are not built upon or paved shall be landscaped, sodded, seeded, and/or mulched, unless left in a natural, undisturbed state.
20. Sod shall be clean and weed-free as indicated in the areas shown on the plan. Sod shall be installed in a level, clean manner without noticeable grade differences, rough edges, or gaps. Sod shall be rolled, and staked as necessary to prevent erosion.
21. The Contractor shall be responsible for surveying any property lines, easements, or other boundaries if required to control the proper location of work within the project.
22. The Contractor shall be responsible for the thorough repair of existing grade, turf, landscaping, etc. damaged in the course of work.
23. The Contractor is entirely responsible for the work until the job is in full and exact compliance and conformity with provisions expressed or implied in the plans and Specifications and as otherwise directed and determined by the Landscape Architect.
24. The Contractor is responsible for maintenance of the project during construction and shall bear all risk of loss, theft or damage to the project until all punchlist items are satisfactorily resolved and the job is officially turned over. Plantings shall be maintained by watering, removing dead branches, resetting plants to proper grades and upright positions, staking to ensure vertical growth, weeding, mowing, and any other operations necessary to complete maintenance, including the replacement of any material that exhibits visible and unsightly evidence of "shocking" without full recovery prior to job completion and final inspection.
25. Warranty: All new plant material, except seed, sod and trees, shall be guaranteed for 90 days, and shall be alive and in satisfactory growth for each specific plant at the end of the warranty period. Trees, Palms, and specimen plants shall be guaranteed for a period of 1 year and sod for a period of 60 days. Seeded areas shall have adequate germination and coverage within 90 days, contingent upon sufficient rainfall or watering by owner. The warranty period shall commence upon the date of release of the retainage for the job, or for any defined phase of the job.
26. At the end of the warranty period, and at any time during that period, any plant material that has died or is not in satisfactory condition as determined by the Owner and/or the Landscape Architect, shall be removed and replaced with new healthy material of the original specified size and type within 10 calendar days. Excluded are replacements of plants due to acts of God, theft, vandalism, or acts of negligence on the part of others, and due to deleterious soil and/or drainage conditions which the contractor documented to the attention of the Owner and Landscape Architect at the time of installation. The new material shall be guaranteed as outlined above, commencing the date that the job is accepted. The Contractor shall be responsible for the cost of all material and labor.

INTRODUCTION

The “Kinward at Heathbrook” Planned Development¹ consists of approximately 32 acres located 5451 SW 66th Street within the City of Ocala (the “Property” or “Planning Area”). The Property is located within an area of the City that includes a mix of land uses, including single family residential, multi-family and commercial, which uses support the goals defined in the City’s Comprehensive Plan.

The PD Plan for “Kinward at Heathbrook” provides a community feel with amenities that may include, but are not limited to, a dog park, tot lot, green space and a clubhouse with fitness center, management office, maintenance office, and grilling stations. The PD Plan set forth herein modifies the Planned Development previously known as “Keys at Ocala II,” approved by City Council in 2022, enhancing the design to meet modern demand without increasing intensity or density or reducing amenities available to residents.

Consistent with requirements for a PD Plan, these PD Standards establish project objectives that are appropriate for planning. Additionally, these PD Standards hereby incorporate those residential guidelines for landscape and architectural standards which are included in the Heath Brook DRI/PD set forth in Resolution 2018-48 recorded at OR Book 6840, Pages 860-920, as amended (collectively the “Standards”). The review and final approval of “Kinward at Heathbrook” includes the following activities:

1. PD Plans have been prepared and submitted to the City of Ocala for development review and comment, followed by revision by the applicant in coordination with staff prior to submission to the Planning and Zoning Commission for recommendation and to City Council for consideration of approval.
2. Building architectural plans will be prepared pursuant to the City’s PD design standards and applicable Heath Brook DRI/PD standards, then submitted to the City of Ocala Building Department for review and approval.
3. Non-substantial adjustments as defined in Sec. 122-946 of the City’s Code of Ordinances may be made upon staff approval. Substantial changes to the PD standards require City Council approval.

These Standards serve as the foundation for the PD Plan, following the provisions of the City’s Planned Development (PD) district and those residential standards set forth in the Heath Brook DRI/PD. This PD Plan is comprised of several components intended to provide assurance that the development of the Property complies with the requirements of the City’s Comprehensive Plan and Chapter 118 and 122 of the Code of Ordinances. The PD Plan and Standards are designed to provide the framework for development within this Planning Area.

These Standards have been prepared to encourage and regulate the residential use of the development, including building and site design elements, which help to ensure the requirements for sound land use planning. The PD Plan identifies the Planning Area, the land use and density, parking and landscape requirements, and the Standards for

¹ Prior to this amendment, the Property was approved for development as a Planned Development known as “Keys at Ocala II.”

development. This application is consistent with the Planned Development zoning standards in Chapter 122, Division 30.

These Standards may be amended from time to time by the Applicant, and/or its designee, with approval by Ocala City Council to reflect changes in market conditions and development approvals. The PD Plan includes standards that have been developed based on the existing site conditions, available infrastructure, market demand for housing, and the City's overall vision for growth in this area.

GUIDING PRINCIPLES

This PD Plan is for a 146-unit gated townhome development with open space and community amenities to accommodate its residents. The following building principles are intended to provide the framework for development and provide for implementation of the overall vision of this development.

- The dwellings will consist of 2-4-bedroom, two-story units with driveways and attached garages.
- Internal private streets will be designed to reinforce safety and ease of traffic flow and pedestrian access throughout the community, and to complement the topography, vegetation or other natural features wherever possible.
- The overall site will be designed to enhance the open space between the dwelling units and the internal streets and provide adequate landscape buffers between the development and the adjoining properties.
- Landscaping shall comply with the Master Landscape and Tree Preservation Plan incorporated in these Standards.
- Parking design is set forth in these Standards and the PD Plan incorporated herein.
- The dwelling units will be designed to complement one another with similar design elements and building materials. Typical design is set forth in the elevations and renderings included in Composite Exhibit A.
- Fences installed in locations depicted on the PD Plan shall comply with any applicable requirements set forth in the Master Declaration. The gated entrance shall provide street lighting along the internal roadways to create a safe living environment. The community will provide access to EMS, as well as police and fire rescue, and a secondary access will be constructed for emergency vehicles only along SW 60th Steet / Tartan Road as depicted on the PD Plan.
- Amenities may include, but not be limited to, a tot lot, dog park, fitness center, clubhouse, community pool and central mailbox. Retention areas that do not exceed a slope of 3:1 or a depth of six feet (6') may provide for passive recreation features and be considered open space. Further, retention areas that are designed as aesthetic lakes or ponds for passive or active recreational use may

also be counted as open space if designed to retain a minimum of three feet of water at all times. (See Sec. 122-942(4)). Clubhouse and community pool design will be substantially similar to the elevations and renderings included in Composite Exhibit A.

- The access driveway to SW 60th Street / Tartan Road shall be a minimum of twenty-four (24) feet wide to provide ease of vehicular traffic in and out of the development.
- Pedestrian and vehicular traffic will be separated by providing sidewalks throughout the development.
- The community entrance sign shall be located within the access driveway median and designed in a manner substantially similar to the rendering included within Composite Exhibit A.
- The development may include an on-site management office open to residents in the community during normal business hours established by Developer.
- Water and sewer services will be provided by the City of Ocala. Electric service will be provided by Sumter Electric Cooperative.

PLANNING AREA GUIDELINES

This PD Plan is intended to provide for quality design while meeting the City's intent for development consistent with "Low Intensity" Land Use Designation and these Standards. This document is intended to provide development standards that go beyond minimum code requirements to enhance the project and ensure compatibility with adjacent properties. Site development should be mindful of the emphasis on pedestrian connectivity utilizing safe and inviting designs features to promote access for walking and bicycling for residents within the community. "Kinward at Heathbrook" provides for appropriate buffers, setbacks and development standards to mitigate impacts to the existing adjoining uses.

These PD Standards are intended to communicate the design standards for the development. Any substantial changes to the PD standards must go through public hearing review. Non-substantial changes to the plan may be administratively approved.

DEVELOPMENT STANDARDS

STANDARDS	LOT
Tract Size (Acres +/-)	32 Acres (MOL)
Minimum Front Setbacks from Interior Roads	20 Feet
Minimum Interior Side Yard Setbacks	7.5 Feet (Total of 15 feet between buildings)
Street Side Yard Setbacks	10 Feet
Interior Rear Yard Setbacks (including rear-to-side or rear-to corner interactions when applicable)	10 Feet (Total of 30' feet between buildings, not including rear patios)
Street Rear Yard Setbacks	10 Feet
Rear Setback to Property Line	10 Feet
Lot Width (Minimum)	15 Feet
Open Space (Minimum)	<p>40% of the total gross acreage. Open space shall include active and passive recreation areas such as courtyards, streetscapes, sidewalks, playgrounds, dog parks, landscaped yards, patios, floodplains, roof areas, and other similar open spaces.</p> <p>Water retention areas designed for passive or active recreation which have a 3:1 slope or less and do not exceed six feet in depth may be counted as open space. Retention areas that do not exceed a slope of 3:1 or a depth of six feet (6') may provide for passive recreation features and be considered open space.</p> <p>Further, retention areas that are designed as aesthetic lakes or ponds for passive or active recreational use may also be counted as open space if designed to retain a minimum of three feet of water at all times. (See Sec. 122-942(4)).</p> <p>Retention areas may include grass, shade trees, native vegetation, and/or shrubs.</p>
Building Height (Maximum)	35 Feet (2-story)

Building Services Area	Buildings shall be designed to promote the utility functions away from public view from the streets when feasible. HVAC equipment, backflow preventors and other utility and service functions shall be incorporated into the overall design of the dwelling units and landscaping.
Parking	Parking shall comply with Article VI of the Land Development Code. In addition, each unit will include a driveway and attached garage.
Lighting	Lighting assemblies along driveways shall be consistent in type and color and should generally not exceed 35 feet in height; pedestrian level lighting should generally not exceed 16 feet in height. Light fixtures may allow for additional elements such as banners or hanging planters.
Signage	An eight-foot (8') double-sided, CMU block with stone veneer monument sign with internally lit acrylic panel and extruded letters will be installed at the entrance of the development. The monument sign will be substantially similar to the illustration on the attached Composite Exhibit A. Street signs will also be installed for pedestrian safety based on applicable requirements of the Land Development Code for Other Residential Dwelling Units and which meet the design standards pursuant to the architectural guidelines (Section 3.5) of the Heath Brook DRI for single family residential use.
Landscaping & Buffers	Buffers shall comply with Section 122-260 except where shown otherwise on the PD Plan. Buffers and landscaping are proposed to be provided based on the type and intensity of development and meet the requirements of the Heath Brook DRI/PD for single family residential use. Additionally, general landscaping details are shown on the PUD Landscape Plan submitted herewith and on file with the City.
Fencing/Gate	A fence along SW 60th Street / Tartan Road has been constructed pursuant to Figure 3 of the Heath Brook Architectural Standards. An electronic gate will be constructed at the entrance on Tartan Road. A fence or wall at least six (6) feet in height will be constructed along portions of the Property. There shall be no fencing installed around the wetland areas.
Fencing/Gate	A fence along SW 60th Street / Tartan Road has been constructed pursuant to Figure 3 of the Heath Brook Architectural Standards. An electronic gate will be constructed at the entrance

	<p>on Tartan Road. A fence or wall at least six (6) feet in height will be constructed along portions of the Property. There shall be no fencing installed around the wetland areas.</p>
Exterior Elevations/Renderings	<p>Improvements will be substantially similar to the exterior elevations and photo renderings of the townhomes, clubhouse and pool (some of which are photographs of a comparable clubhouse under construction by applicant in another jurisdiction), monument sign and gated entrance, and wayfinding signage attached hereto as <u>Composite Exhibit A</u>.</p>
Accent Materials	<p>Accent features shall be provided to ensure an aesthetically pleasing development and may include elements reflected in the illustrative graphics included in these PD Standards and Composite Exhibit A attached hereto.</p>
Building Materials	<p>Foundation: Exposed rough masonry foundations shall be faced with stone, brick or stucco.</p> <p>Windows: Windows are encouraged to be vertically oriented. Windows other than wood must be anodized or electrostatically painted.</p> <p>Exterior Walls: Vertical transitions of dissimilar materials shall be made an inside joint. Non-masonry materials shall terminate on a base of concrete or stucco.</p> <p>Roof Pitch and Roofing Types: The minimum roof pitch is 5:12. Roofs shall be tile or 30+ year architectural or dimensional textured fiberglass shingles. There shall be no flat roofs; maximum roof height is 35 feet measure from finish floor to mean height between the ridge and soffit.</p>
Lots and Roadway Alignment	<p>Building layout along the roadways may be adjusted at the time of formal site plan for minor engineering and planning considerations, subject to City approval.</p> <p>To the extent internal roadways deviate from standards set forth in Sections 114-91 and 114-95, the project has been granted waivers from such requirements so long as the design complies with the PD Plan.</p>
Access	<p>Lots shall provide access to public streets and right-of-way as illustrated on the PD Plan. A secondary access will be constructed for emergency vehicles only along SW 60th Steet as depicted on the PD Plan.</p>

Approved Uses	Townhomes, attached garages, open space and amenities intended for resident use only.
Landscaping	All plantings shall be from the approved plant list set forth in Section 4 of the Heath Brook DRI Landscape Standards and the project shall be landscaped in compliance with the Master Landscape and Tree Preservation Plan set forth herein.
Utilities Connections	All utilities, including water, sewer, telephone, fiber optic, television cable and electrical systems, shall be installed underground in accordance with current city policies and standards. Appurtenances to these systems which require above-ground installation must be effectively screened and thereby may be excluded from this requirement pursuant to Section 122-942, Code of Ordinances.
Unified Control	Developer, or its successors or assigns, including but not limited to a Homeowners' Association, shall hold unified control over the Development Parcel and any subdivision(s), lots or common areas created within such Parcel.
Phasing Plan	The Project will be constructed in two (2) Phases as illustrated on the attached Site Plan. Phase I will be located on the northern and eastern portions of the Property and consist of 92 units, the clubhouse/management office, community pool, playground, and mailbox area. Phase II will be located on the western portion of the Property and consist of 54 units.
Platting	The Property will be platted as lots upon which townhomes will be constructed.

COMPOSITE EXHIBIT A - TOWNHOUSE RENDERING



COMPOSITE EXHIBIT A - CLUBHOUSE AND POOL RENDERING



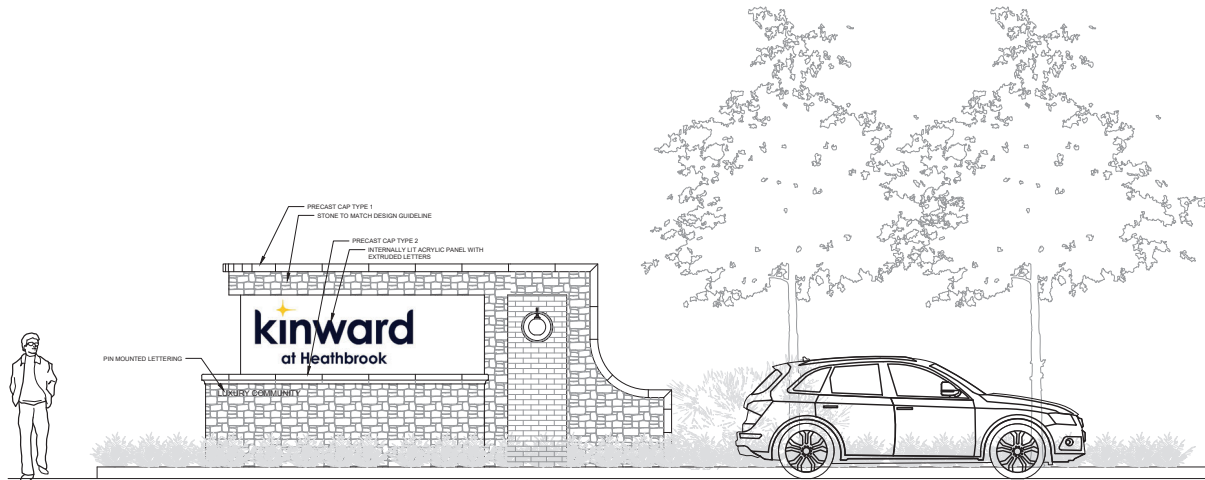
COMPOSITE EXHIBIT A – COMPARABLE CLUBHOUSE AND POOL UNDER CONSTRUCTION



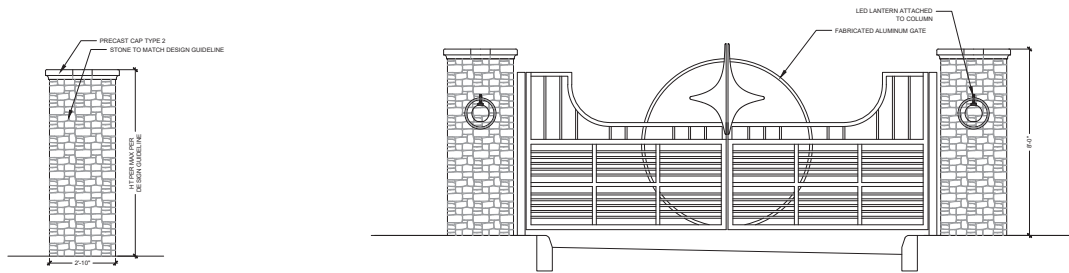
COMPOSITE EXHIBIT A – COMPARABLE CLUBHOUSE AND POOL UNDER CONSTRUCTION



COMPOSITE EXHIBIT A - MONUMENT SIGN AND GATED ENTRANCE



ELEVATION
 1 MONUMENT SIGN
 3/8" = 1'-0"



ELEVATION
 2 COLUMN
 3/8" = 1'-0"

ELEVATION
 3 VEHICULAR GATE
 3/8" = 1'-0"

COMPOSITE EXHIBIT A - SIGNAGE

