

PROJECT LOCATION




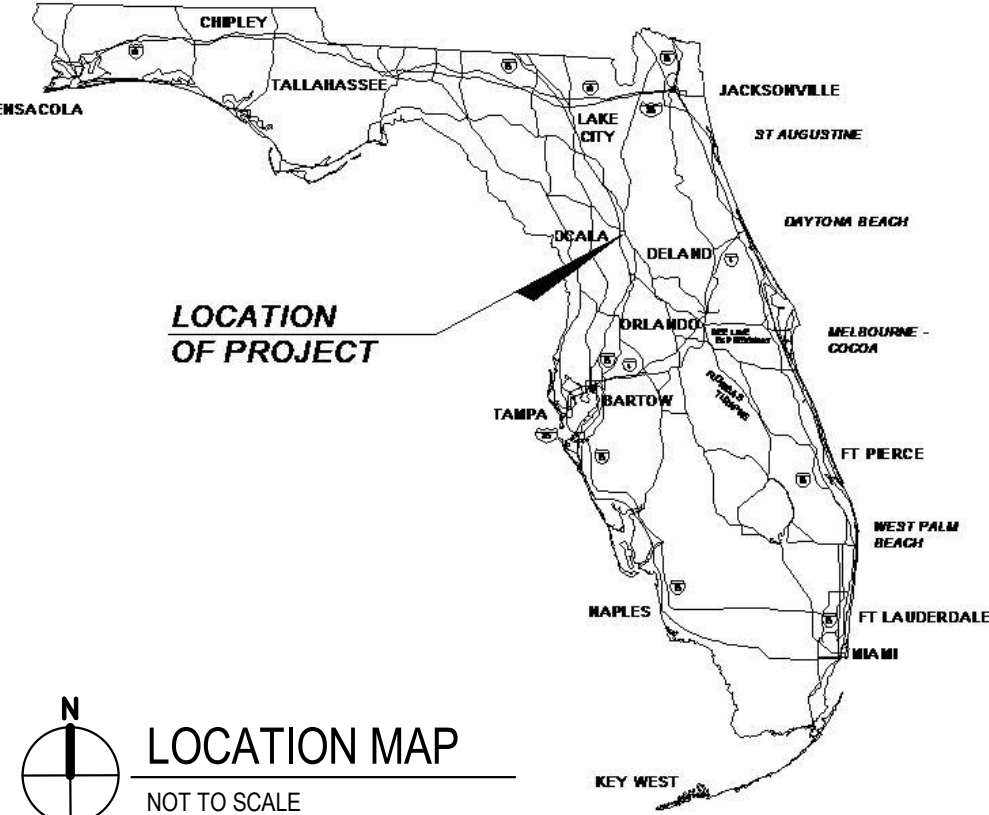


PROPOSED BUILDING LOCATION

City of Ocala  
SunTran -Union Station- Restrooms and Ticketing Kiosk

501 NE 1st Avenue, Ocala, Florida 34470

PROGRESS SET - CONSTRUCTION DOCUMENTS  
MAY 01-2023

GENERAL INDEX				
SHEET NO.	DESCRIPTION	ISSUE DATE	REV.	REV. DATE
GN-000	COVER SHEET			
GN-002	PROJECT DESCRIPTION, GENERAL NOTES, CODE ANALYSIS, SYMBOL LEGEND			
CIVIL INDEX				
SHEET NO.	DESCRIPTION	ISSUE DATE	REV.	REV. DATE
STRUCTURAL INDEX				
SHEET NO.	DESCRIPTION	ISSUE DATE	REV.	REV. DATE
ARCHITECTURAL INDEX				
SHEET NO.	DESCRIPTION	ISSUE DATE	REV.	REV. DATE
A-101	FIRST FLOOR PLAN & REFLECTED CEILING PLAN			
A-102	ROOF PLAN			
A-103	FINISH FLOOR PLAN, ENLARGED TICKET COUNTER AND FINISH SCHEDULE	02/22/23		
A-201	EXTERIOR ELEVATIONS			
A-301	BUILDING SECTIONS			
A-401	TYPICAL ACCESSIBILITY AND MOUNTING HEIGHTS			
A-402	ENLARGED RESTROOM PLANS AND ELEVATIONS	02/21/23		
A-501	PARTITION TYPES			
A-502	ROOF, DOOR AND WINDOW DETAILS	02/24/23		
A-503	CEILING DETAILS			
A-504	INTERIOR DETAILS			
A-505	MILLWORK DETAILS			
A-601	DOOR AND WINDOW SCHEDULE			
MECHANICAL INDEX				
SHEET NO.	DESCRIPTION	ISSUE DATE	REV.	REV. DATE
ELECTRICAL INDEX				
SHEET NO.	DESCRIPTION	ISSUE DATE	REV.	REV. DATE
PLUMBING INDEX				
SHEET NO.	DESCRIPTION	ISSUE DATE	REV.	REV. DATE

PROJECT OWNER	
CLIENT: CITY OF OCALA - SunTran 03 - Union Station	
 501 NE 1st Avenue, Ocala, Florida 34470	
PROJECT LOCATION MAP	
 N LOCATION MAP NOT TO SCALE	
PROJECT DESIGN TEAM	
PRIME CONSULTANT / ARCHITECT OF RECORD:  architecture • engineering www.acaiarchitects.com AAC001323 EB0004379 CGC010769 2937 W. Cypress Creek Rd., Suite 200 Fort Lauderdale, FL 33309 Tel: 954.484.4000 Fax: 954.484.5588  PROFESSIONAL IN CHARGE ADOLFO J. COTILLA, JR., AIA REGISTRATION NUMBER AR-0008011  CIVIL:  COMPANY ADDRESS CITY, STATE ZIP P: 000.000.0000  STRUCTURAL:  COMPANY ADDRESS CITY, STATE ZIP P: 000.000.0000  MECHANICAL, ELECTRICAL AND PLUMBING:  6005 BENJAMIN ROAD, SUITE A TAMPA, FL 33634 P: 813.867.4899	
ACAI PROJECT NUMBER: 19-031 P03	









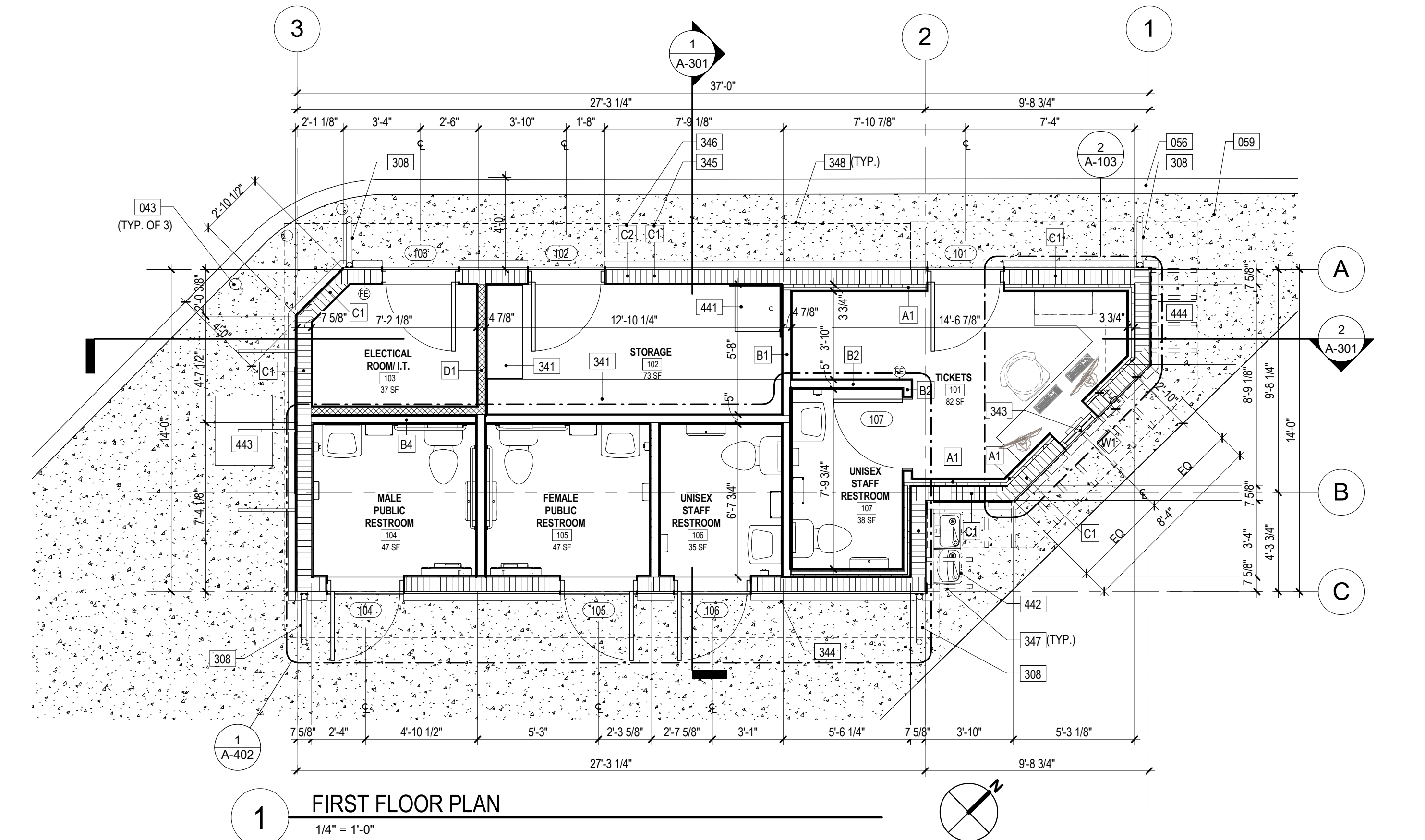
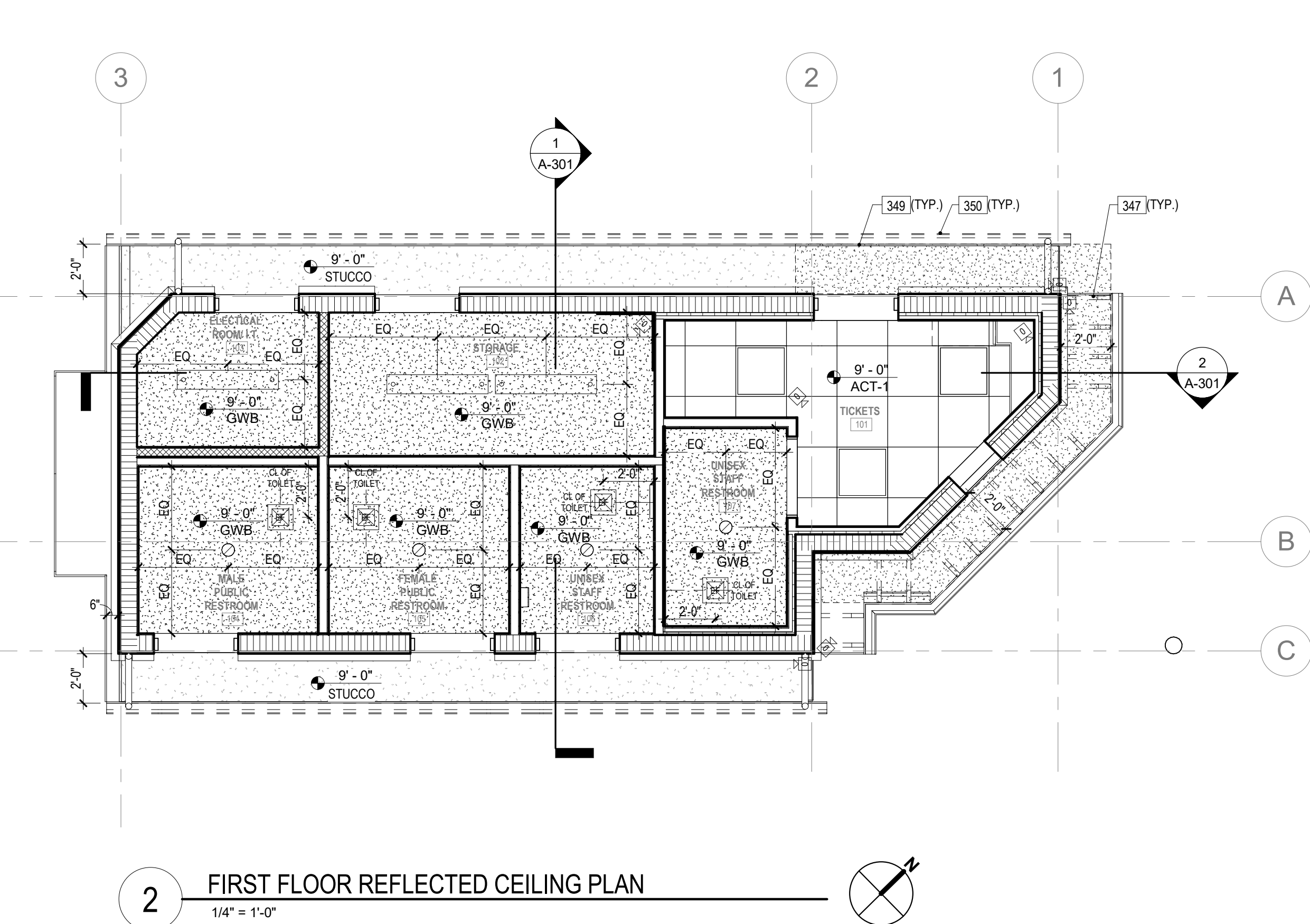
- REFLECTED CEILING NOTES**
- BUILDING SYSTEMS, FIXTURES, AND DEVICES SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS SUCH AS LIGHT FIXTURES AND AIR DIFFUSERS ARE SHOWN TO DENOTE LOCATION AND LAYOUT PATTERN WHERE PLACEMENT IS CRITICAL. THE ARCHITECTURAL DRAWINGS DO NOT REPRESENT COMPLETE SYSTEMS THAT ARE SHOWN ON OTHER DRAWINGS.
  - REFER TO MECHANICAL DRAWINGS FOR TYPES AND SIZES OF SUPPLY DIFFUSERS AND RETURN GRILLES.
  - LIGHT FIXTURES, ALARM DEVICES, AND EXIT SIGNS MAY BE SHOWN ON THE ARCHITECTURAL REFLECTED CEILING PLANS FOR LAYOUT CLARITY ONLY. SEE ELECTRICAL DRAWINGS FOR TOTAL QUANTITIES AND OTHER REQUIREMENTS.
  - REFER TO ELECTRICAL DRAWINGS FOR LIGHTING SCHEDULE AND LIGHTING FIXTURES NOT SHOWN ON ARCHITECTURAL DRAWINGS.
  - WHERE AN ITEM IS MOUNTED ON THE CEILING, IT SHALL BE CENTERED ON THE ELEMENT (CEILING TILE, GYPSUM BOARD BAND, ETC) IN WHICH IT IS PLACED, UNLESS INDICATED OTHERWISE.
  - CEILING HEIGHTS ARE BASED ON DIMENSION ABOVE FINISH FLOOR. (TYPICAL)
  - CONTRACTOR TO INSTALL CEILING GRID TIE WIRES AS PER CODE. GRID TIE WIRES TO ATTACH TO STRUCTURE ABOVE. DO NOT ATTACH TO HVAC DUCTWORK, ELECTRICAL EQUIPMENT, ETC.
  - CONTRACTOR WILL BE RESPONSIBLE TO NOTIFY ARCHITECT IMMEDIATELY FOR ANY CONFLICTS WITHIN REFLECTED CEILING PLAN PRIOR TO INSTALLATION.
  - CONTRACTOR TO VERIFY HEIGHT OF EXISTING STRUCTURE AND COORDINATE CEILING HEIGHTS WITH LIGHT FIXTURES, NEW DUCTWORK, PIPING, ETC.
  - CONTRACTOR TO VERIFY HEIGHT OF EXISTING STRUCTURE PRIOR TO ORDER AND INSTALLATION OF NEW LIGHT FIXTURES AND CEILING DEVICES.
  - CONTRACTOR TO COORDINATE THE LOCATION OF ALL ABOVE CEILING SYSTEMS INCLUDING BUT NOT LIMITED TO DUCTWORK, ETC. TO AVOID CONFLICT WITH LIGHT FIXTURES AND OTHER CEILING MOUNTED ITEMS BASED ON THE CEILING HEIGHTS SHOWN ON THE PLANS.
  - REFER TO FINISH SCHEDULE FOR CEILING FINISH SPECS.
  - CONTRACTOR SHALL ADVISE THE OWNER THAT AN 18" MIN. VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN THE BOTTOM OF THE EXTENDED SPRINKLER HEADS AND THE TOP OF ANY FILES, SHELVING, LOCKERS, ETC.
  - SEE FLOOR PLAN GENERAL NOTE 10.

REFLECTED CEILING LEGEND	
SYMBOL	DESCRIPTION
	2' X 2' ACOUSTICAL CEILING TILE AND GRID. SEE FINISH SCHEDULE
	GYPSUM BOARD CEILING
	LIGHT FIXTURES. SEE LIGHT FIXTURE SCHEDULE (RE: ELECTRICAL DRAWINGS)
	EXIT SIGN. (RE: ELECTRICAL DRAWINGS)
	EXIT SIGN WALL MOUNT (RE: ELECTRICAL DRAWINGS)
	NEW AIR RETURN (RE: MECHANICAL DRAWINGS)
	NEW AIR SUPPLY (RE: MECHANICAL DRAWINGS)
	NEW SPEAKER. (RE: ELECTRICAL DRAWINGS)
	NEW WALL MOUNTED FIRE ALARM HORN (RE: ELECTRICAL DRAWINGS)
	DENOTES CEILING HEIGHT DENOTES CEILING FINISH
	NOT IN CONTRACT
	PROJECT LIMIT LINE
	1/A-102 1/A-103 MATCHLINE
SEE FLOOR PLAN FOR WALLS, PARTITIONS, DOORS, ETC. REFER TO ELECTRICAL PLAN FOR ALL LIGHTING. REFER TO MECHANICAL PLAN FOR ALL MECHANICAL ITEMS.	

- FLOOR PLAN GENERAL NOTES**
- SEAL ANY PENETRATIONS THROUGH EXISTING FIRE RATED PARTITIONS WITH CONTINUOUS FIRE CAULKING.
  - DOOR FRAMES SHALL BE LOCATED 4" FROM ADJACENT WALL UNLESS NOTED OTHERWISE. TYPICAL FOR ALL DOORS.
  - PROVIDE 1'-6" MIN CLEAR ON PULL SIDE OF ALL DOORS. FOR DOORS WITH CLOSERS, PROVIDE 1'-0" MIN ON THE PUSH SIDE. TYPICAL FOR ALL DOORS.
  - ALL DIMENSIONS ARE TO THE FACE OF STUD, OR CMU/CONCRETE, UNLESS OTHERWISE NOTED. DIMENSIONS IN ADA RESTROOMS AND OTHER ACCESSIBLE SPACE ARE FINISH DIMENSIONS.
  - FIELD VERIFY ALL DIMENSIONS.
  - CONTRACTOR SHALL COORDINATE REQUIREMENTS OF EQUIPMENT, DISPLAY SYSTEM, MILLWORK AND FURNITURE PROVIDED BY OWNER. COORDINATE LOCATION OF ASSOCIATED MECHANICAL, PLUMBING & ELECTRICAL WITH OUT SHEETS.
  - PROVIDE FIRE RATED FIRESTOPPING UL SYSTEM AS REQUIRED AND SEAL ALL PENETRATIONS.
  - PRIOR TO ERECTING PARTITIONS, THE GENERAL CONTRACTOR MUST VERIFY WITH THE VENDOR / SUPPLIER / FABRICATOR OF MILLWORK / CASEWORK WHERE BLOCKING WILL BE REQUIRED AND MUST SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL BEFORE COMMENCEMENT OF PARTITIONS AND MILLWORK / CASEWORK CONSTRUCTION.
  - CONTRACTOR IS RESPONSIBLE FOR PROVIDING STEEL BACKING AS REQUIRED FOR PLUMBING FIXTURES, WALL HUNG CABINETS, COUNTERTOPS, EQUIPMENT, ETC. TO ENSURE ADEQUATE SUPPORT.
  - CONTRACTOR SHALL SUPPLY ACCESS PANELS AS REQUIRED BY PLUMBING, AIR CONDITIONING AND OTHER TRADES, AND AS REQUIRED BY CODE. LOCATIONS AND TYPE OF PANEL TO BE REVIEWED AND APPROVED BY ARCHITECT.
  - CONTRACTOR SHALL COORDINATE REQUIREMENTS OF SECURITY DEVICES, CARD READERS, SECURITY CAMERAS, DOOR HARDWARE, ETC. WITH OWNER REPRESENTATIVE.
  - CONTRACTOR TO COORDINATE AND VERIFY ALL AUDIOVISUAL EQUIPMENT REQUIREMENTS AND LOCATIONS WITH OWNER PRIOR TO COMMENCING UTILITIES ROUGH-IN.
  - REFER TO FF&E SHEETS FOR LOCATIONS AND DIMENSIONS OF EQUIPMENT, ELECTRICAL DEVICES, ETC.

SHEET NOTES	
1. SEE SHEET AS-101 FOR OVERALL SITE PLAN	
2. SEE SHEET A-102 FOR ROOF PLAN	
3. SEE SHEET A-501 FOR PARTITION TYPES	
4. SEE SHEET A-601 FOR DOOR AND WINDOW SCHEDULE	
FLOOR PLAN LEGEND	
	NEW COLUMN. SEE STRUCTURAL DRAWINGS
	NEW CONCRETE WALL. SEE PARTITION TYPES
	NEW CMU WALL. SEE PARTITION TYPES
	NEW INTERIOR PARTITION. SEE PARTITION TYPES
	NEW SMOKE RATED PARTITION. SEE PARTITION TYPES
	NEW FIRE RATED PARTITION. SEE PARTITION TYPES
	NEW DOOR. SEE DOOR SCHEDULE AND DETAILS
	NEW WINDOW
	INDICATES EXISTING AREA NOT IN CONTRACT
KEY NOTES	
KEY VALUE	DESCRIPTION
043	48" HGT. SAFETY STEEL BOLLARD. REFER TO CIVIL DRAWINGS
056	NEW CONCRETE CURB. REFER TO CIVIL PLAN
059	FOR NEW CONCRETE AREA AROUND PROPOSED BUILDING. REFER TO CIVIL PLAN. NEW CONCRETE TO MATCH EXISTING CONCRETE FINISH
308	4"x4" DOWNSPOUT
341	SHELVING UNIT 18 INCH DEEP, SELECTED BY OWNER, INSTALLED BY CONTRACTOR
343	TICKET SERVICE WINDOW WITH MICROPHONE SYSTEM, FOR WINDOW DETAILS, REFER TO WINDOW SCHEDULE
344	ACCENT STUCCO FLAT TRIM (TYP. AROUND THE BUILDING. REFER TO ELEVATIONS)
345	C1 - AT TOP PARTITION
346	C2 - AT BOTTOM PORTION OF WALL (TYP. AROUND THE BUILDING. REFER TO ELEVATIONS)
347	2x24" FASCIA
348	LINE OF ROOF ABOVE
349	EDGE OF ROOF
350	EDGE OF GUTTER
441	MOP SINK. REFER TO PLUMBING DRAWINGS
442	DRINKING FOUNTAIN
443	PROPOSED A/C EQUIPMENT LOCATION. COORDINATE WITH MECHANICAL DRAWINGS/CONCRETE SLAB FOR MECHANICAL EQUIPMENT
444	AUTOMATIC TICKET DISPENSER

SUBMITTALS		
PHASE	DATE	
Progress Set	05-01-2023	
REVISIONS		
NO.	DESCRIPTION	DATE
PROJECT TEAM		
PROFESSIONAL IN CHARGE		
ADOLFO J. COTILLA, JR., AIA		
REGISTRATION		
NUMBER		AR-0008011
APPROVED BY		AJC
DESIGNED BY		ACAI
DRAWN BY		ACAI
CHECKED BY		ACAI



DESIGN CONSULTANT

OCALA SUNTRAN  
RESTROOMS & KIOSK

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FIRST FLOOR PLAN &  
REFLECTED CEILING  
PLAN

SHEET TITLE

**ACAI**  
associates, inc.  
architecture engineering  
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construction management

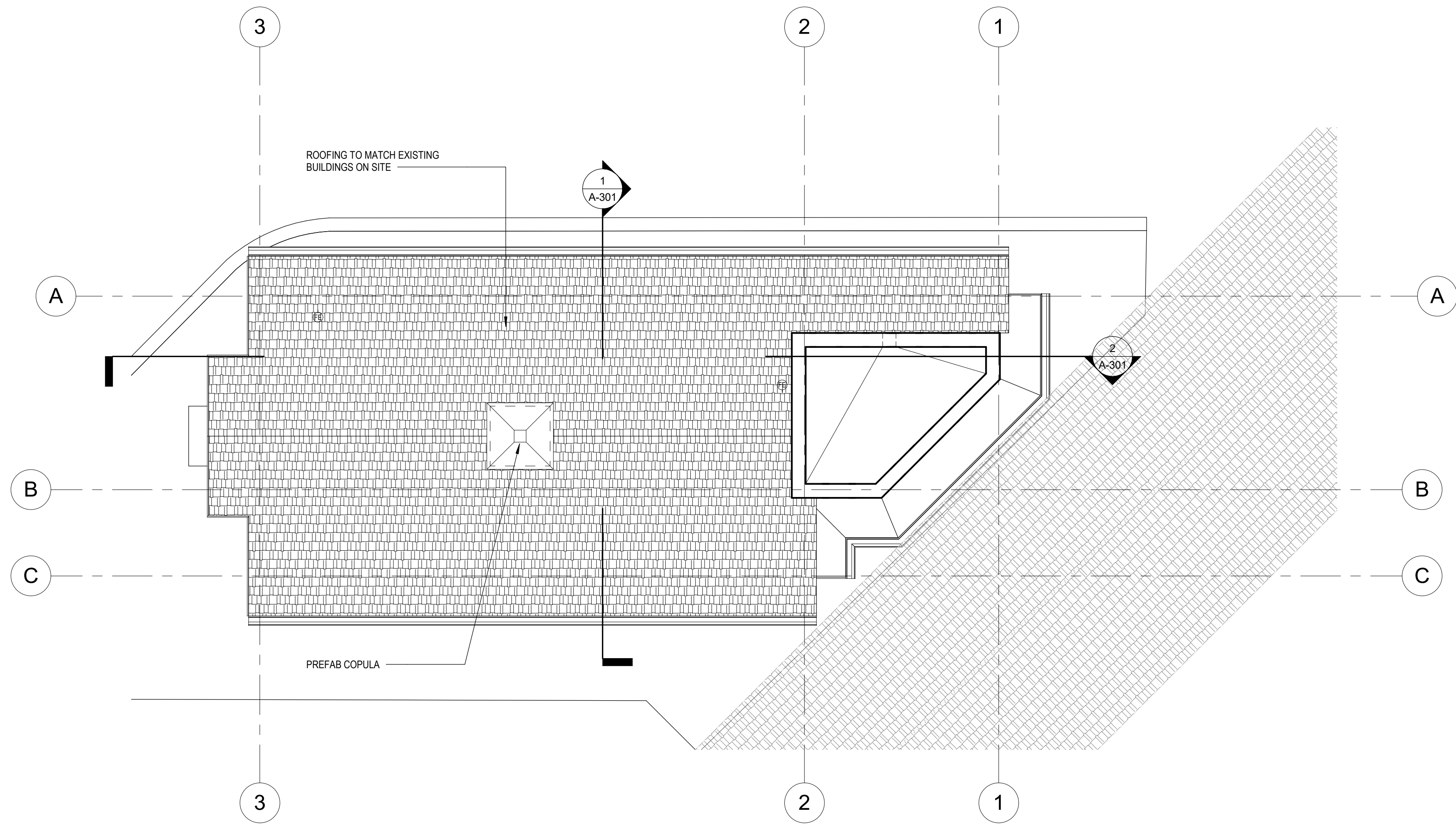
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**19-031-PO3**  
PROJECT NUMBER

**A-101**  
SHEET NUMBER

TO THE BEST OF MY KNOWLEDGE  
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1 ROOF PLAN  
1/4" = 1'-0"

## ROOF GENERAL NOTES

1. CONTRACTOR SHALL COORDINATE ALL ROOF PENETRATIONS AND OPENINGS WITH MEP AND STRUCTURAL DWGS.
2. ALL WOOD IN CONTACT WITH MASONRY, STEEL OR CONCRETE SHALL BE PRESSURE TREATED. DIFFERENT MATERIALS SHALL BE SUITABLY ISOLATED WHEN IN CONTACT.
3. ALL METAL ACCESSORIES SHALL CONFORM TO SMACNA STANDARDS AND SHALL COMPLY WITH FBC.
4. ROOFING SHALL COMPLY WITH FBC HIGH VELOCITY HURRICANE ZONE REQUIREMENTS AND SHALL BE INSTALLED PER RAS 115 AND MANUFACTURER'S INSTRUCTIONS.

## ROOF PLAN KEY NOTES

1. ROOFING SYSTEM: (description).  
BASIS OF DESIGN: (manufacturer and product, include noa/f approval number)
2. ROOFING SYSTEM: (description).  
BASIS OF DESIGN: (manufacturer and product, include noa/f approval number)
3. ITEM
4. ITEM

SUBMITTALS:	
PHASE	DATE
Progress Set	05-01-2023

## REVISIONS:

NO.	DESCRIPTION	DATE

PROJECT TEAM  
PROFESSIONAL IN CHARGE

ADOLFO J. COTILLA, JR., AIA

REGISTRATION NUMBER AR-0008011

APPROVED BY AJC

DESIGNED BY ACAI

DRAWN BY ACAI

CHECKED BY ACAI

## DESIGN CONSULTANT

OCALA SUNTRAN  
RESTROOMS & KIOSK

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## ROOF PLAN

## SHEET TITLE

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construction management

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## 19-031-PO3

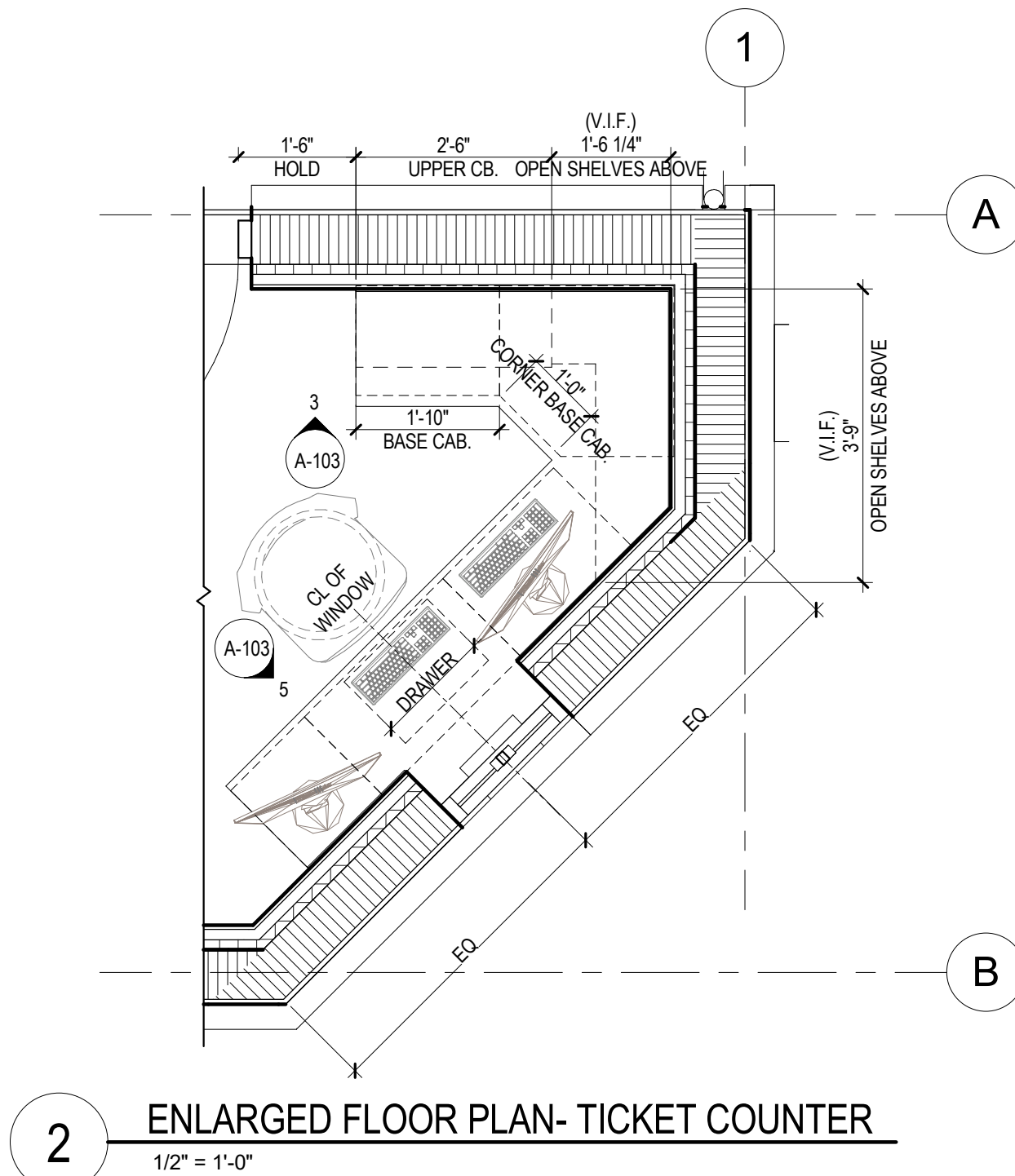
## PROJECT NUMBER

## A-102

## SHEET NUMBER

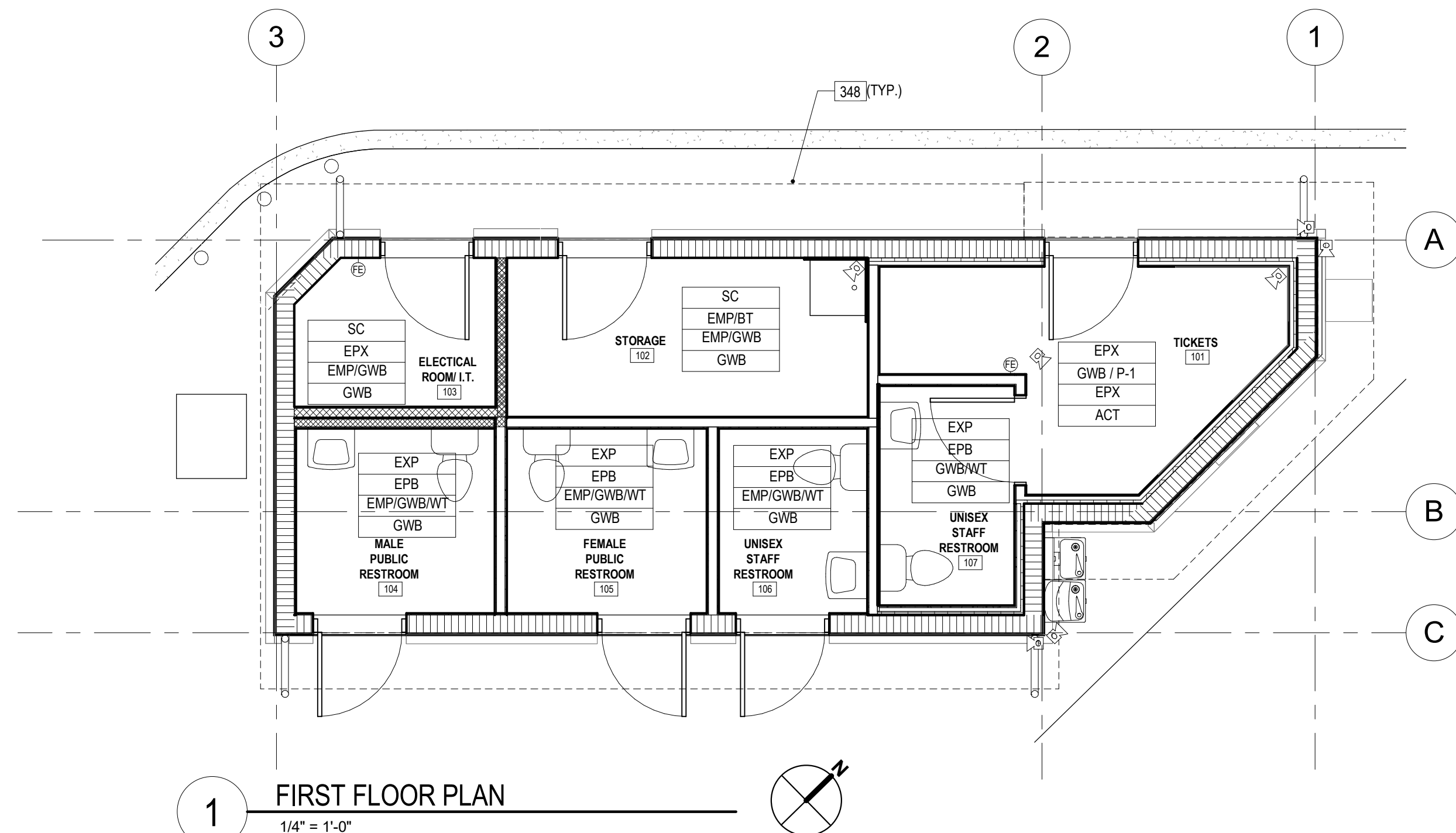
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FINISH SCHEDULE										
ROOM NO.	ROOM NAME	FLOOR	BASE	WALL		CEILING	MILLWORK			REMARKS
				FIELD	ACCENT		COUNTER	BASE CAB.	UPPER CAB. / SHELVING	
101	TICKETS	EPX	GWB / P-1	EPX		ACT				
102	STORAGE	SC	EMP/BT	EMP/GWB		GWB				
103	ELECTICAL ROOM / I.T.	SC	EPX	EMP/GWB		GWB				
104	MALE PUBLIC RESTROOM	EXP	EPB	EMP/GWB/WT		GWB				
105	FEMALE PUBLIC RESTROOM	EXP	EPB	EMP/GWB/WT		GWB				
106	UNISEX STAFF RESTROOM	EXP	EPB	EMP/GWB/WT		GWB				
107	UNISEX STAFF RESTROOM	EXP	EPB	GWB/WT		GWB				

FINISHES LIST							
finish group sub-order	SYMBOL	PRODUCT	MANUFACTURER	MODEL / STYLE	UNIT SIZE	COLOR / FINISH	REMARKS
FLOORING							
1	EPXY-1	EPOXY FLOORING	STONHARD	STONETEC ERF			
1	SC-1	SEALED CONCRETE					
WALL BASE							
2	EPB	EPOXY BASE	STONHARD	STONETEC ERF			
2	TB-1	TILE COVE BASE					
PAINT/STAIN							
4	P-1	PAINT	SHERWIN WILLIAMS				
4	P-2	PAINT					
CEILING							
6.1	ACT-1	ACOUSTICAL CEILING TILE	ARMSTRONG	RANDOM FISSURED	2x2'		
6.3	GWB	DENSEGLASS BOARD CEILING	GEORGIA PACIFIC	DENSARMOR PLUS			
MILLWORK							
7	PL-1	HIGH PRESSURE PLASTIC LAMINATE		HORIZONTAL GRADE			
7	PL-2	HIGH PRESSURE PLASTIC LAMINATE		VERTICAL GRADE			
7	S-1	SOLID SURFACE	WILSONART				
TRANSITION STRIP							
9	TS-1	TRANSITION STRIP					
9.1	TH-1	ALUMINUM THRESHOLD					



## FINISH FLOOR PLAN, ENLARGED TICKET COUNTER AND FINISH SCHEDULE

SHEET TITLE

**A C A I**

associates, inc.  
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roofing consulting  
construction management

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**19-031-PO3**

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P R O J E C T   N U M B E R

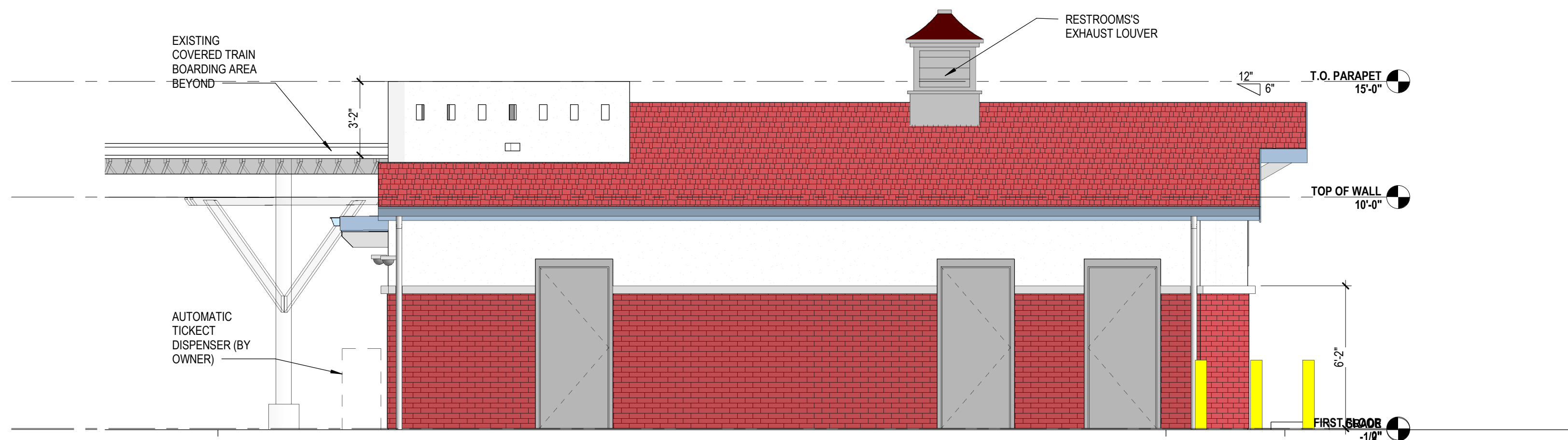
**A-103**

**SHEET NUMBER**  
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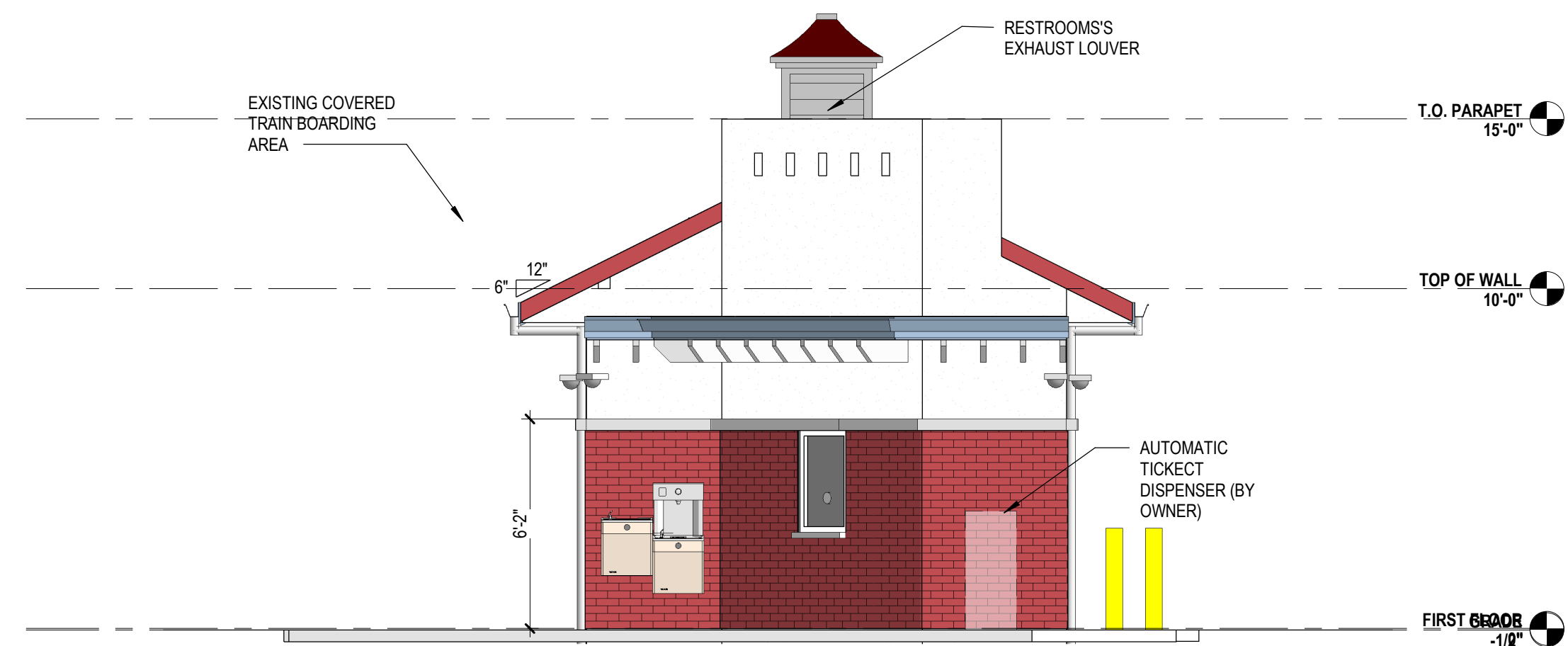


B:\1360\19-031 PO3 Ocala Suntran Restroom-Kiosk w-Kiosk\19-031 PO3 Ocala Suntran Restrooms - ARCH R20.rvt

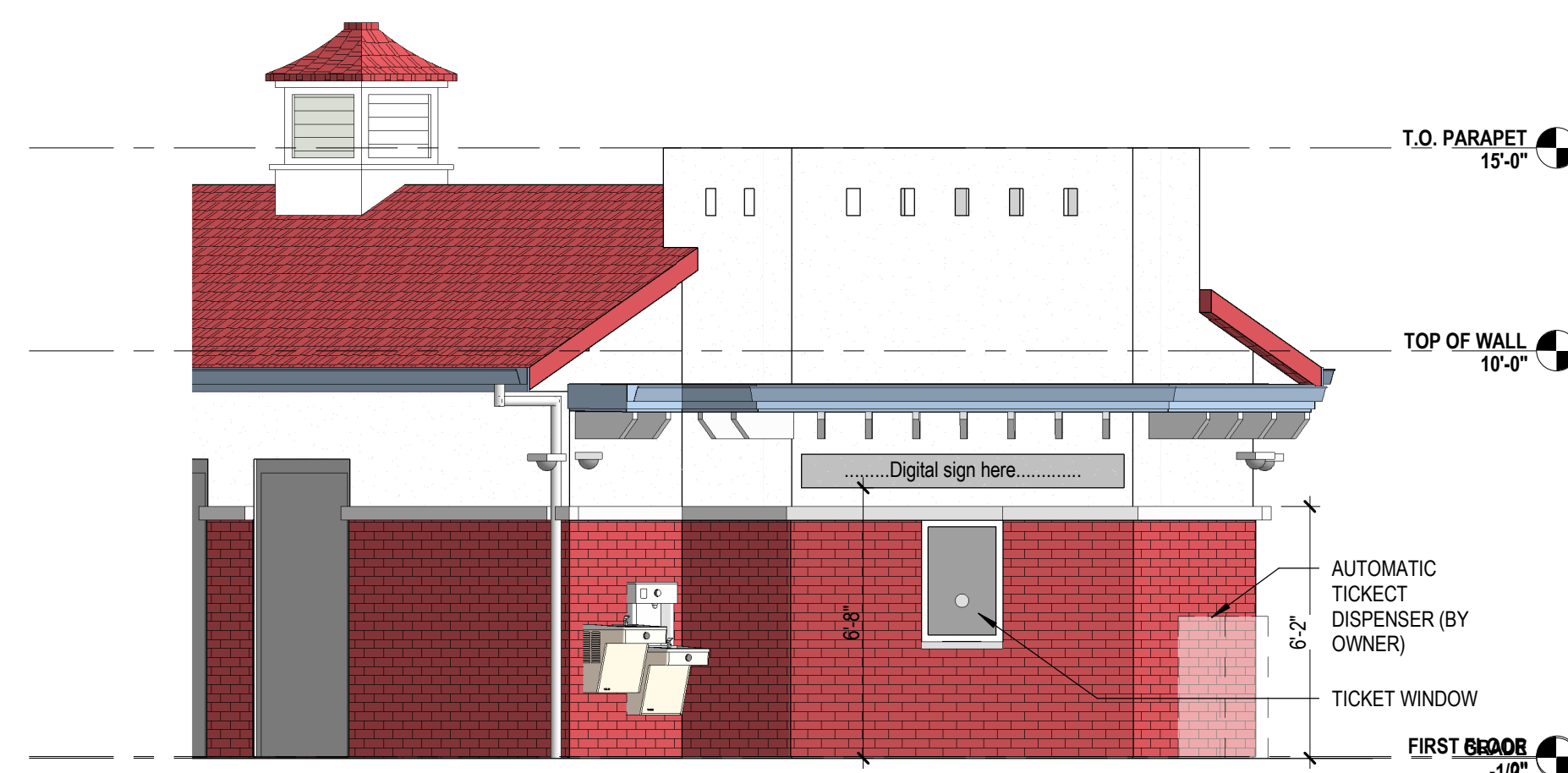
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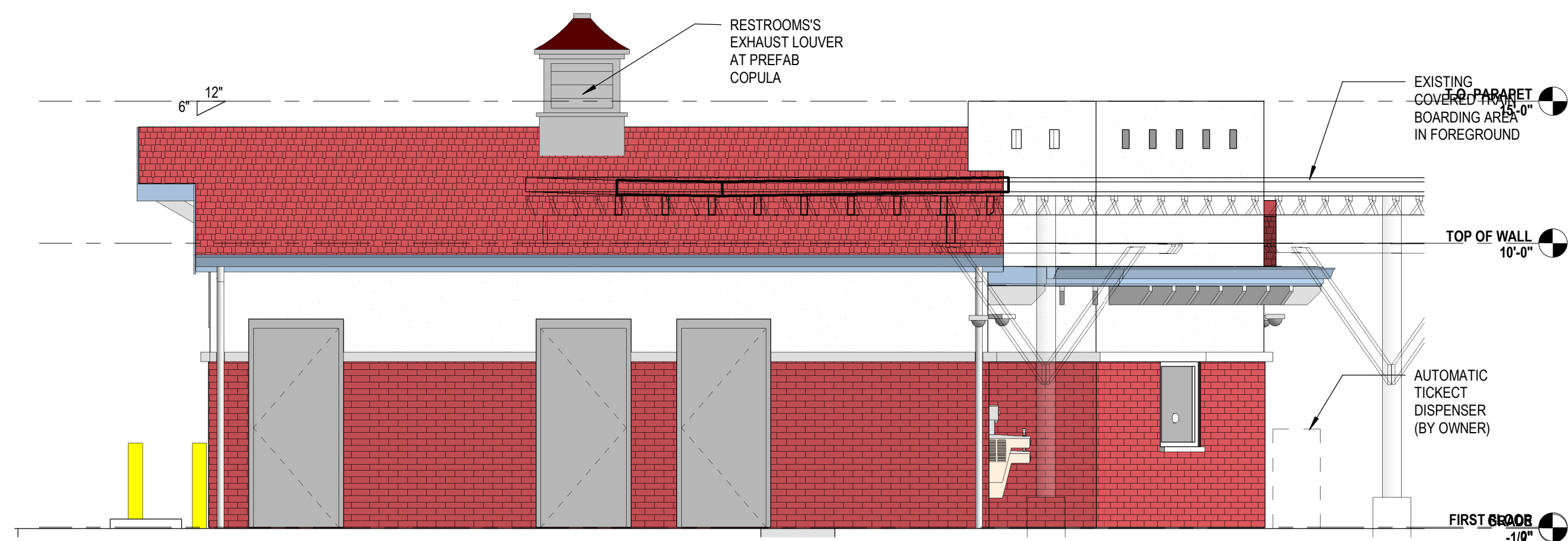
1 NORTH ELEVATION  
1/4" = 1'-0"



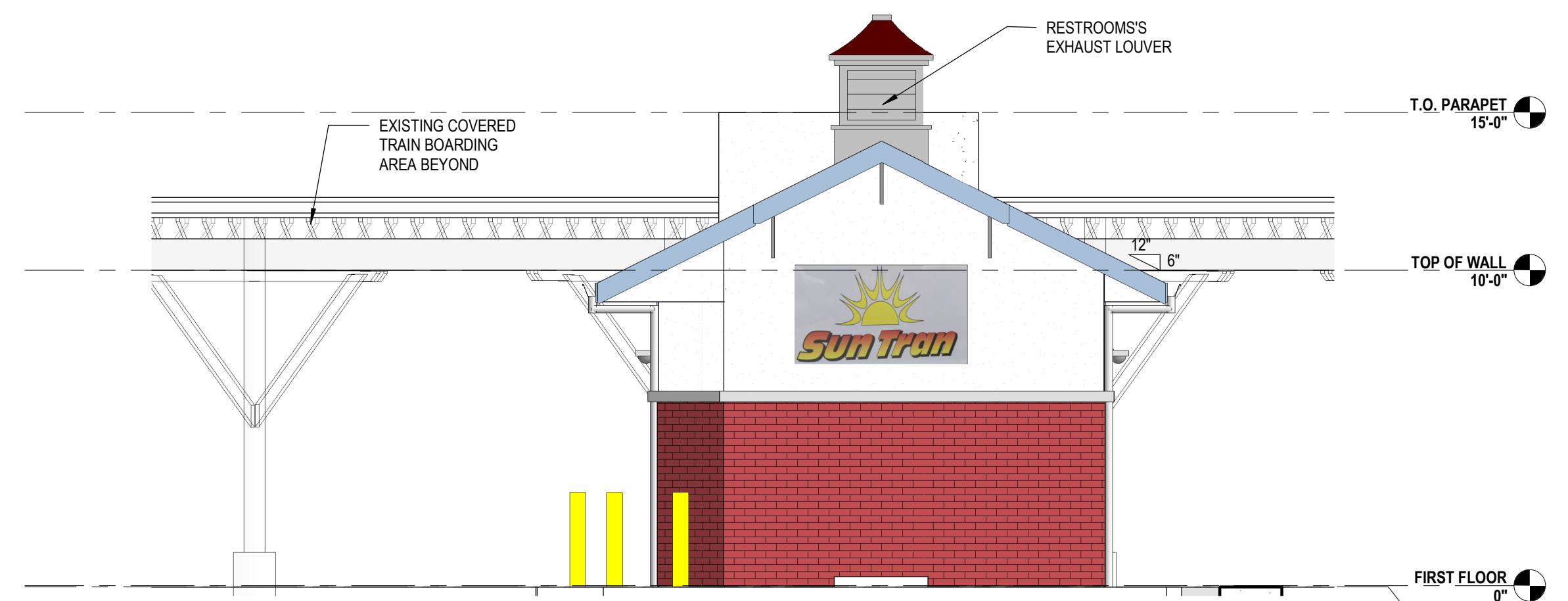
3 EAST ELEVATION  
1/4" = 1'-0"



5 FRONT ELEVATION AT TICKETING WINDOW  
1/4" = 1'-0"



2 SOUTH ELEVATION  
1/4" = 1'-0"



4 WEST ELEVATION  
1/4" = 1'-0"

SUBMITTALS:	
PHASE	DATE
Progress Set	05-01-2023

REVISIONS:		
NO.	DESCRIPTION	DATE

PROJECT TEAM  
PROFESSIONAL IN CHARGE

ADOLFO J. COTILLA, JR., AIA

REGISTRATION  
NUMBER AR-0008011

APPROVED BY AJC

DESIGNED BY ACAI

DRAWN BY ACAI

CHECKED BY ACAI

DESIGN CONSULTANT

OCALA SUNTRAN  
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EXTERIOR  
ELEVATIONS

SHEET TITLE

**ACAI**  
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19-031-PO3

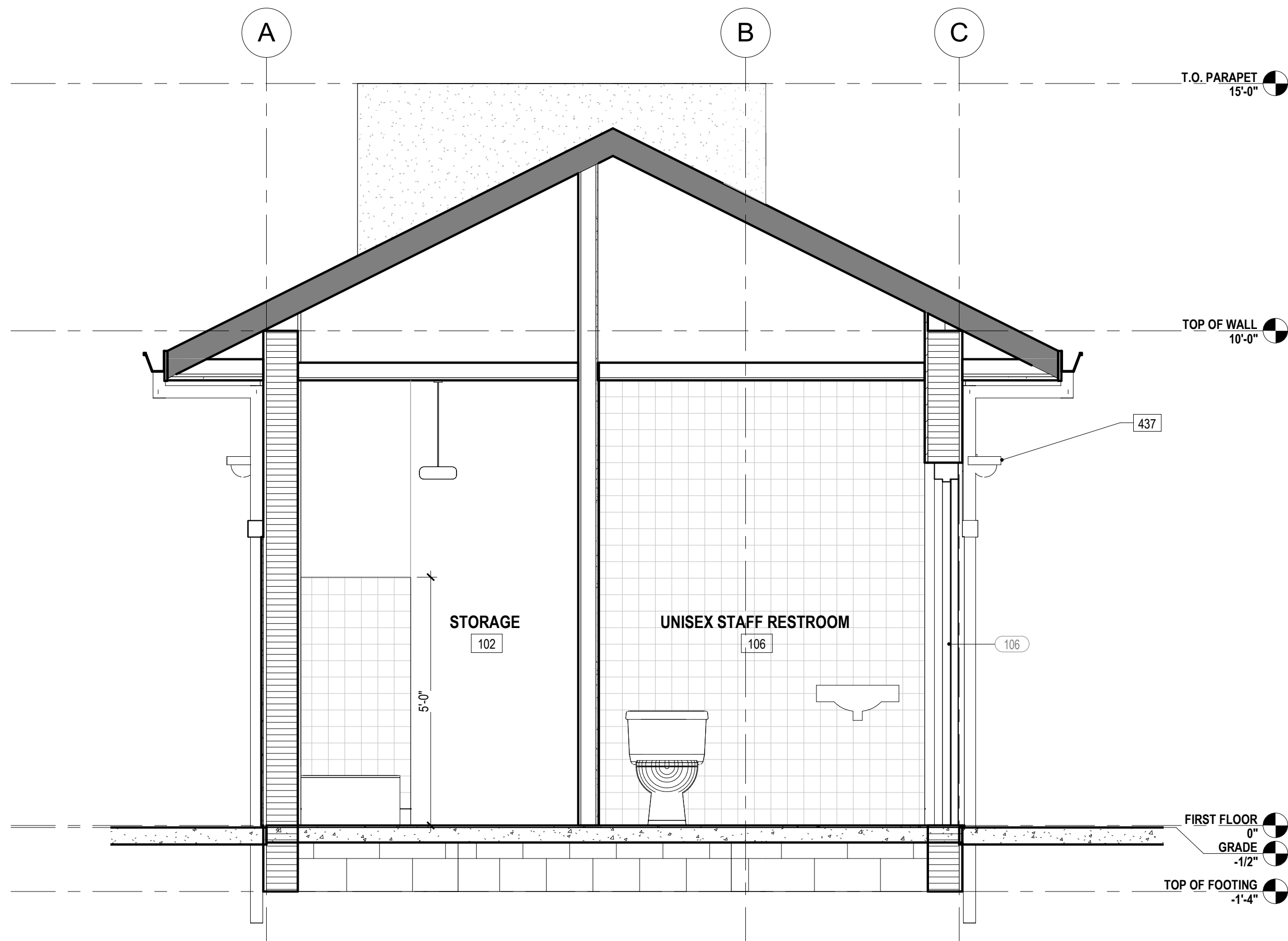
PROJECT NUMBER

**A-201**

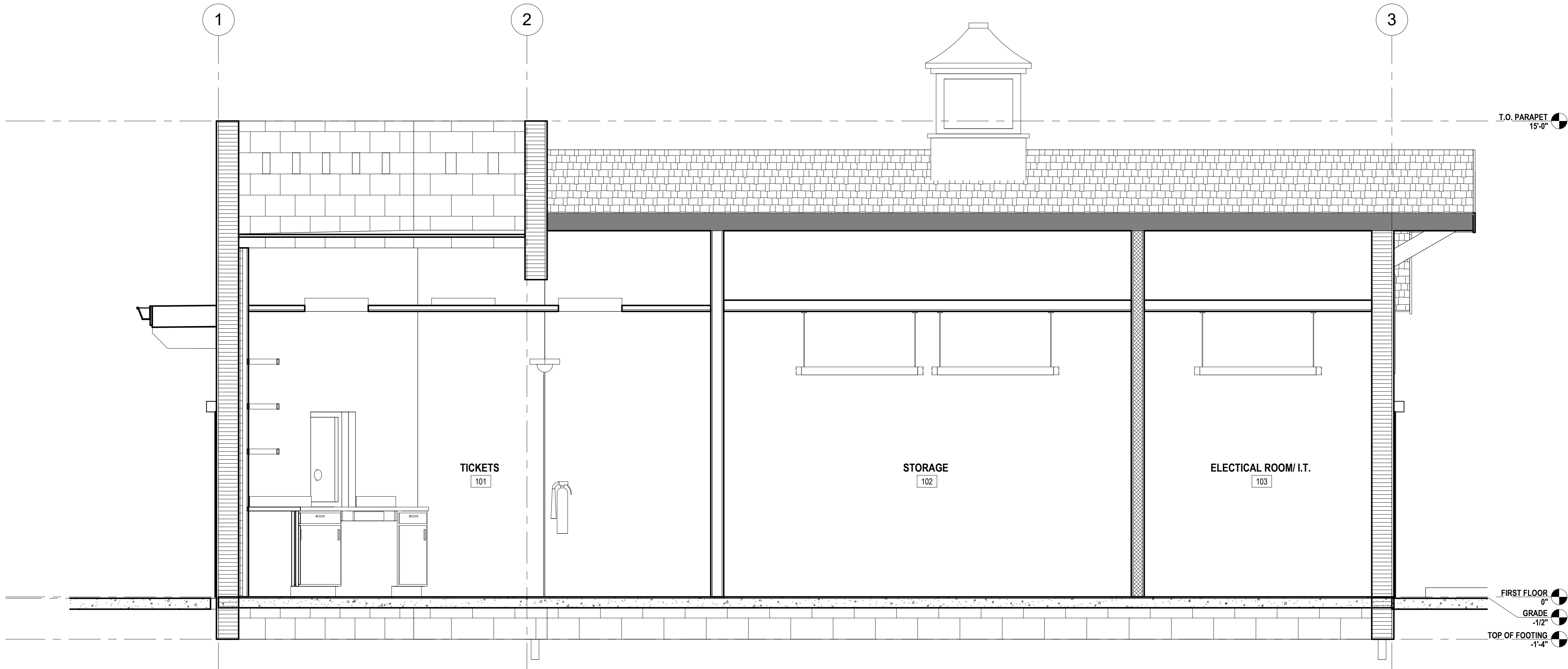
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BM 380/19-031 PO3 Ocala Suntran Restroom-Kiosk w-KHA/19-031 PO3 Ocala Suntran Restrooms - ARCH R20.rvt

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1 SECTION NORTH - SOUTH  
1/2" = 1'-0"



2 SECTION EAST - WEST  
1/2" = 1'-0"

## SHEET NOTES

- SEE SHEET A-101 FOR FLOOR & REFLECTED CEILING PLANS
- SEE SHEET A-102 FOR ROOF PLAN
- SEE SHEET A-104 FOR FINISH FLOOR PLAN & FINISH SCHEDULE
- SEE SHEET A-501 FOR PARTITION TYPES
- SEE SHEET A-601 FOR DOOR AND WINDOW SCHEDULE

## KEY NOTES

KEY VALUE	DESCRIPTION
437	SECURITY CAMERAS

SUBMITTALS:	
PHASE	DATE
Progress Set	05-01-2023

## REVISIONS:

NO.	DESCRIPTION	DATE

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REGISTRATION NUMBER AR-0008011

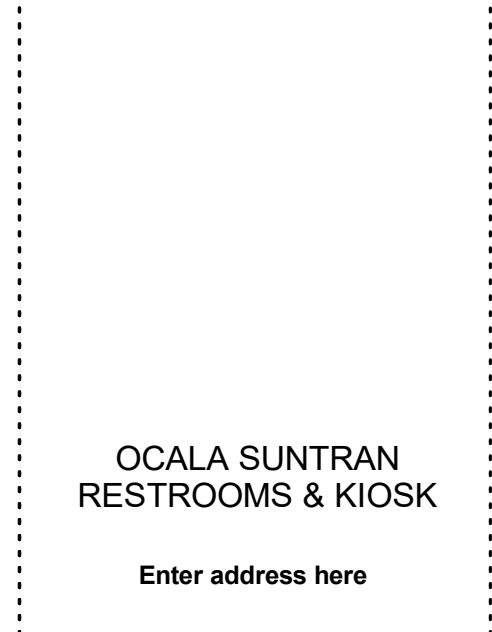
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## BUILDING SECTIONS

## SHEET TITLE



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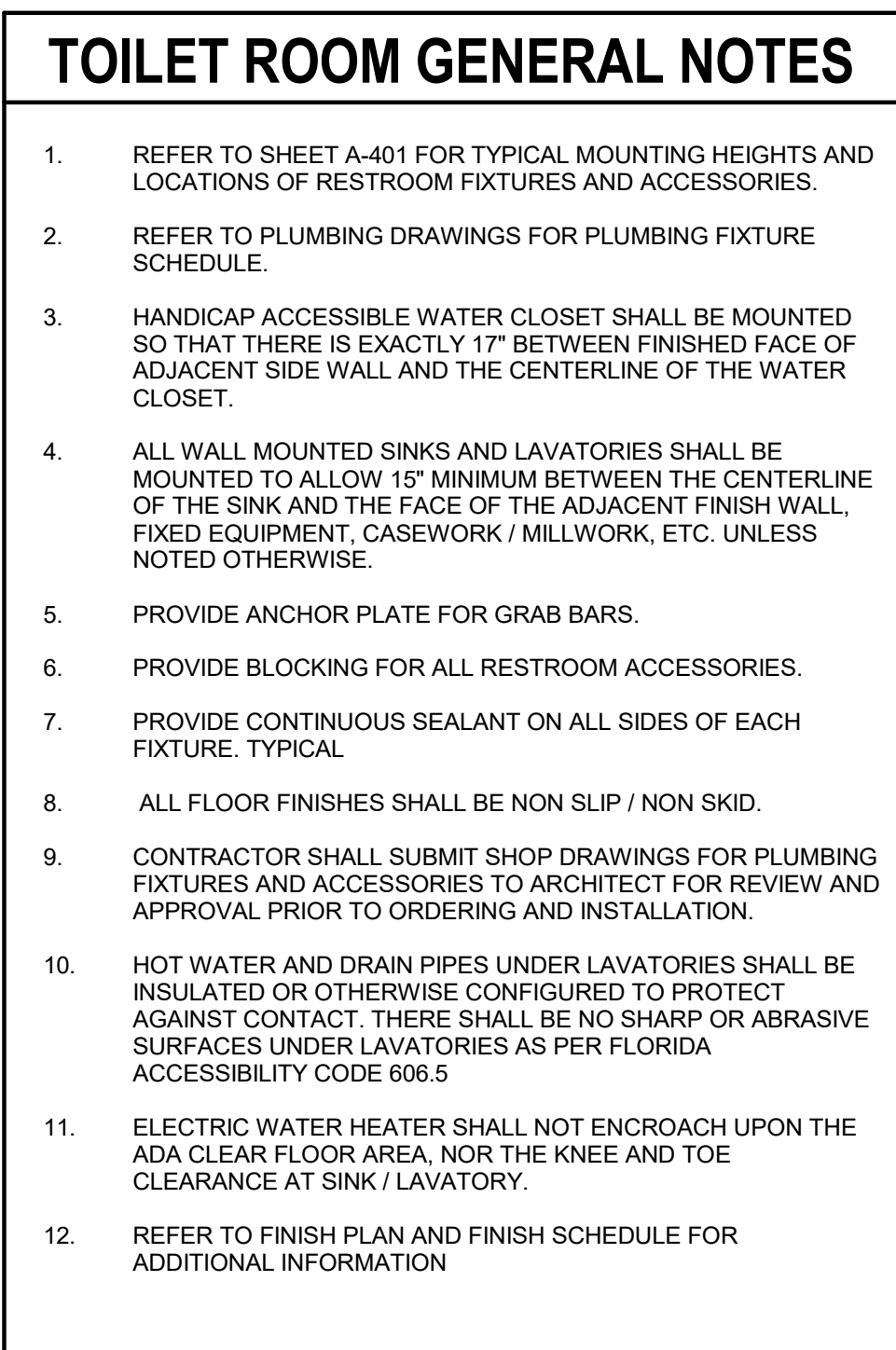
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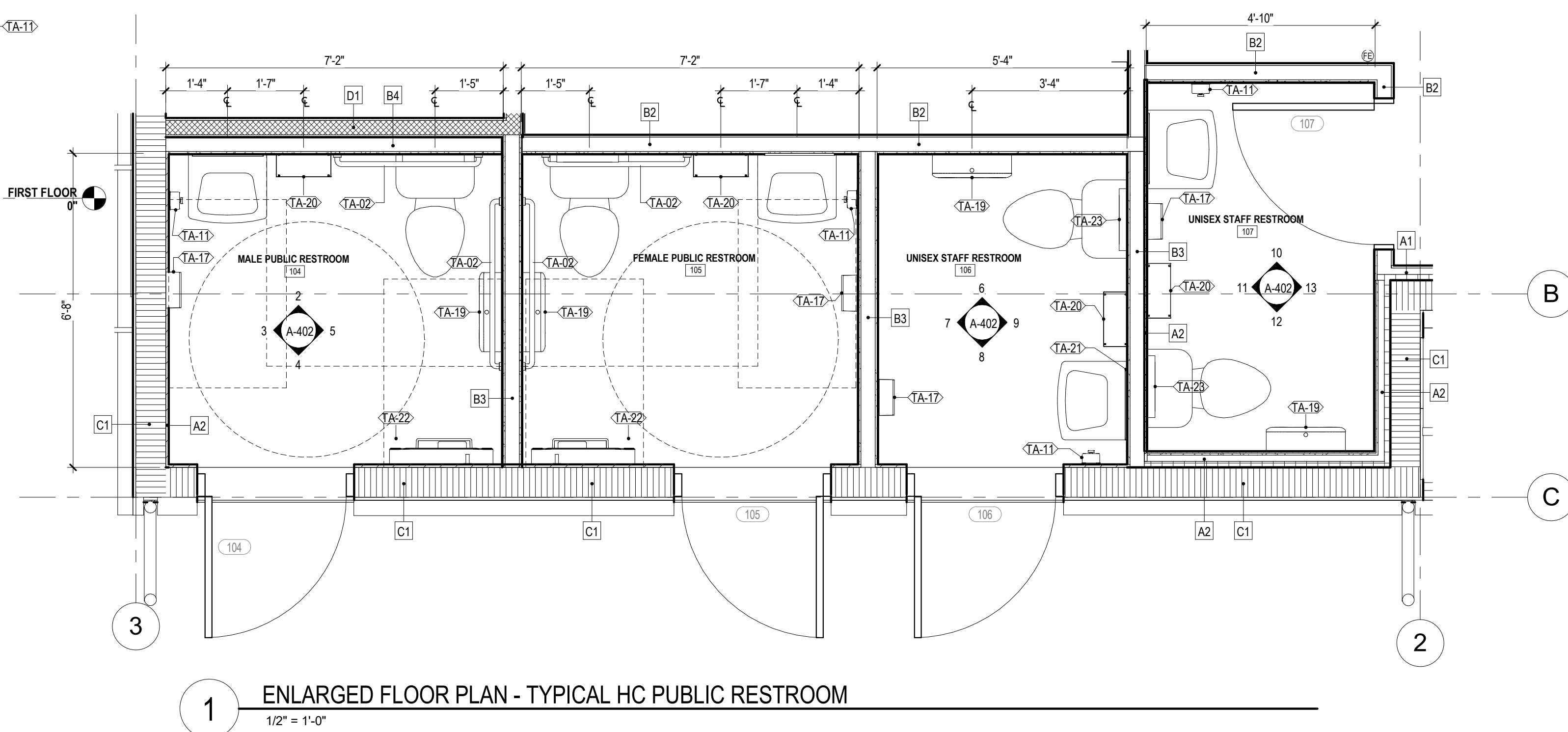
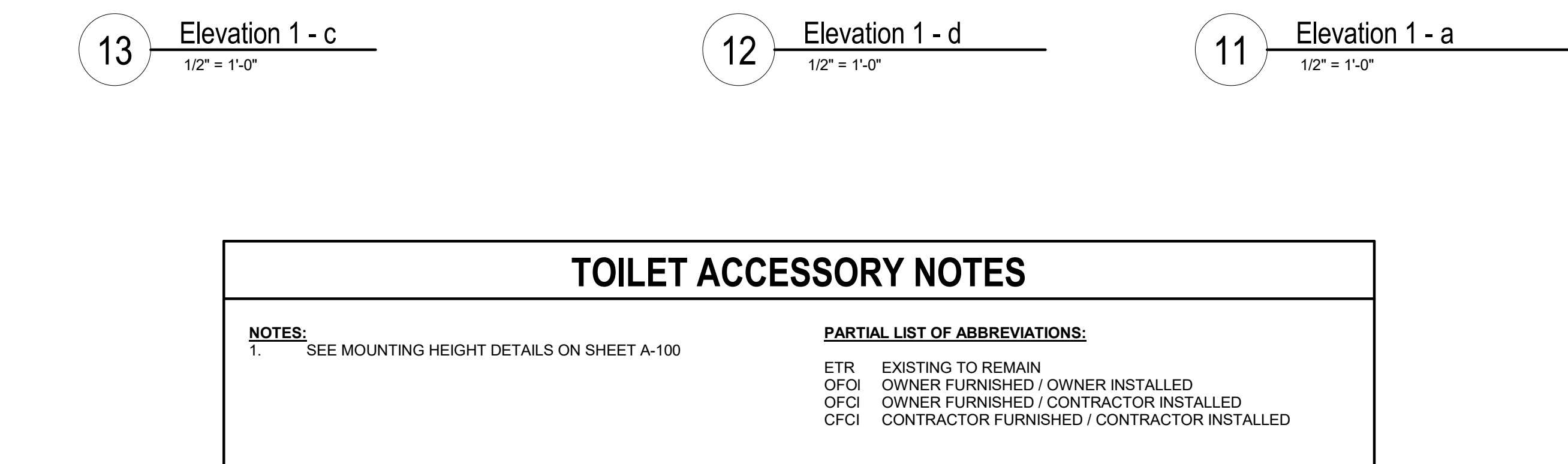
A-301

SHEET NUMBER  
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TOILET ACCESSORY SCHEDULE					
SYMBOL	DESCRIPTION	MANUFACTURER	MODEL	RESP	REMARKS
TA-02	36" LENGHT (REAR) AND 42" LENGHT (SIDE) - GRAB BAR (MOUNTING HEIGHT 36" AFF)	<del>BOBRICK</del>	<del>D-000003042</del>		
TA-11	HAND SOAP DISPENSER	<del>BOBRICK</del>	<del>D-0111</del>		
TA-17	HAND DRYER	<del>BYSON</del>	<del>AKRLADE V</del>		
TA-19	TWIN JUMBO-ROLL TOILET TISSUE DISPENSER	<del>BOBRICK</del>	<del>D-0000</del>		
TA-20	SURFACE-MOUNTED RECTANGULAR WASTE RECEPTACLE	<del>BOBRICK</del>	<del>D-0177</del>		
TA-21	TEMPERED GLASS MIRROR	<del>BOBRICK</del>	<del>D-1000-1000</del>		
TA-22	BABY CHANGING STATION	<del>WALL-KARE</del>	<del>WB311-03WM</del>		
TA-23	Bobrick B-221 Classic Series Surface Mounted Seat Cover Dispenser	<del>Bobrick Washroom Equipment, Inc.</del>	<del>D-001</del>		



SHEET TITLE

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architecture • engineering  
roofing consulting  
construction management

AA0001323 - EB0004379 - GC0010769  
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[www.acaiarchitects.com](http://www.acaiarchitects.com)  
ARCHITECT OF RECORD

**19-031-PO3**

PROJECT NUMBER

**A-402**

SHEET NUMBER

TO THE BEST OF MY KNOWLEDGE  
AND BELIEF THESE PLANS ARE  
COMPLETE AND COMPLY WITH THE  
APPLICABLE BUILDING CODES.

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EXTERIOR

INTERIOR

ROOM WHERE EXPOSED CMU WALL AT INTERIOR IS THE FINISH FACE, TO BE PAINTED AS PER FINISH SCHEDULE

FINISH AS SCHEDULED

CMU BLOCK WALL, SEE STRUCTURAL DRAWINGS. SEE CHART FOR SIZE AND INSULATION

TYPE	STUD WIDTH	DESCRIPTION	INSUL.
C1	N/A	7 5/8" CMU -INT. UNFINISHED- EXT. 3/4" STUCCO	NO
C2	N/A	7 5/8" CMU EXPOSED INT- SPLIT FACE EXT.	NO

C

CMU WALL

SCALE: 1 1/2" = 1'-0"

U.L. DESIGN NO. U904 (WHERE CORE FILL IS APPLIED)

UNDERSIDE OF STRUCTURE ABOVE

CONTINUOUS ACOUSTICAL SEALANT BOTH SIDES TOP AND BOTTOM

CONTINUOUS METAL TRACK ATTACHED TO UNDERSIDE OF STRUCTURE. DOUBLE CAULK BEAD

FINISHED CEILING (SEE RCP)

FINISH AS SCHEDULED

BATT INSULATION SEE CHART

20 GA. METAL STUDS @16" O.C. SEE CHART

5/8" GYPSUM BOARD

CONTINUOUS METAL TRACK ATTACHED TO FLOOR SLAB. DOUBLE CAULK BEAD

BASE AS SCHEDULED

CONTINUOUS ACOUSTICAL SEALANT BOTH SIDES TOP AND BOTTOM

TYPE	STUD WIDTH	DESCRIPTION	INSUL.
B1	3 5/8"	5/8" GYPSUM WALL BD. BOTH SIDES UP TO DECK	3 1/2"
B2	3 5/8"	1/4" TILE OVER 1/2" CEMENT WALL BD. INT / 5/8" GYPSUM WALL BD. EXT. TO DECK	3 1/2"
B3	3 5/8"	1/4" TILE AND 1/2" CEMENT WALL BD. BOTH SIDES ABOVE CEILING	3 1/2"
B4	3 5/8"	1/2" CEMENT WALL BD. INT / 5/8" GYPSUM WALL BD. EXT. ABOVE CEILING	NO

B

NON-RATED PARTITION - TO DECK

SCALE: 1 1/2" = 1'-0"

STC = 48 (STC REPORT RAL TL99-103)

UNDERSIDE OF STRUCTURE ABOVE

CONT. FIREPROOF SEALANT BOTH SIDES TOP AND BOTTOM

CONTINUOUS METAL TRACK ATTACHED TO UNDERSIDE OF STRUCTURE. DOUBLE CAULK BEAD

FINISHED CEILING (SEE RCP)

FINISH AS SCHEDULED

BATT INSULATION SEE CHART

20 GA. METAL STUDS @16" O.C. SEE CHART

5/8" TYPE 'X' GYPSUM BOARD

CONTINUOUS METAL TRACK ATTACHED TO FLOOR SLAB. DOUBLE CAULK BEAD

BASE AS SCHEDULED

CONT. FIREPROOF SEALANT BOTH SIDES TOP AND BOTTOM

TYPE	STUD WIDTH	DESCRIPTION	INSUL.
D1	3 5/8"	5/8" GYPSUM WALL BD. BOTH SIDES UP TO DECK	3 1/2"

D

PARTITION - 1 HR RATED

SCALE: 1 1/2" = 1'-0"

U.L. DESIGN NO. U465  
STC = 48 (STC REPORT RAL TL99-103)

UNDERSIDE OF STRUCTURE ABOVE

CONTINUOUS SEALANT TOP AND BOTTOM

FINISHED CEILING, WHERE APPLICABLE(SEE RCP)

METAL RUNNER TRACK ATTACHED TO UNDERSIDE OF STRUCTURE

1 1/2" POLYISO INSULATION BOARD, R-9.5 MIN

CMU OR CONCRETE WALL OR COLUMN, SEE STRUCTURAL DRAWINGS

20 GA. METAL STUDS @16" O.C. SEE CHART

5/8" GYPSUM BOARD

FINISH AS SCHEDULED

METAL TRACK ATTACHED TO FLOOR SLAB

BASE AS SCHEDULED

CONTINUOUS SEALANT TOP AND BOTTOM

TYPE	STUD WIDTH	DESCRIPTION	INSUL.
A1	1 5/8"	5/8" GYPSUM WALL BD. ONE SIDE FURR OUT W/ RIGID INSULATION	1 1/2"
A2	1 5/8"	1/2" CEMENT WALL BD. ONE SIDE FURR OUT W/ RIGID INSULATION	1 1/2"

A

NON-RATED PARTITION - ONE SIDED (POLYISO INSULATION)

SCALE: N.T.S.

PARTITION GENERAL NOTES

1. SEE INTERIOR ELEVATIONS FOR TILE FINISH HEIGHT & LOCATIONS.

2. PROVIDE METAL BACKING OR FIRE RETARDANT P.T. WOOD BLOCKING AT ALL WALL MOUNTED FIXTURES, PROJECTION SCREENS, SHELVING, ACCESSORIES, ETC.

3. ALL PENETRATIONS IN FIRE RATED PARTITION ASSEMBLIES, SHALL MAINTAIN THE INTEGRITY OF THE FIRE RATING. REFER TO MEP DWGS.

4. ALL THERMAL INSULATING MATERIAL PROVIDED ON THIS PROJECT SHALL COMPLY WITH F.B.C. 720.1.

5. INSULATING MATERIALS, WHERE CONCEALED AS INSTALLED, IN BUILDINGS OF ANY TYPE CONSTRUCTION, SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE DEVELOPED INDEX OF NOT MORE THAN 450 AS PER F.B.C. 720.2.

6. CORRIDOR PARTITIONS, SMOKESTOP PARTITIONS, HORIZONTAL EXIT PARTITIONS, EXIT ENCLOSURES, AND FIRE RATED WALLS REQUIRED TO HAVE PROTECTED OPENINGS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING IN A MANNER ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION. SUCH IDENTIFICATION SHALL BE ABOVE ANY DECORATIVE CEILING AND IN CONCEALED SPACES. SUGGESTED WORDING: "FIRE AND SMOKE BARRIER PROTECT ALL OPENINGS" PER F.B.C. 703.7.

7. PERMANENT, FULL-HEIGHT INTERIOR WALLS AND PARTITIONS SHALL BE DESIGNED TO RESIST A LATERAL LIVE LOAD NOT LESS THAN 5 POUNDS PER SQUARE FOOT (239 PA).

8. ALL EXPOSED GYP. BOARD SHALL BE PAINTED UNLESS OTHERWISE NOTED OR FINISHED WITH OTHER MATERIAL. SEE FINISH SCHEDULE.

9. DO NOT ALLOW GYP. BD. TO TOUCH STRUCTURE - STOP GYP BOARD 1/4" BEFORE STRUCTURE AND FILL THE JOINT WITH SEALANT. USE FIRE RETARDANT SEALANT WHEN PARTITION IS RATED.

10. WHERE CASEWORK IS SHOWN, INSTALL 18 GA METAL STUDS AT WALL PARTITIONS.

11. MOISTURE RESISTANT GYPSUM BOARD TO BE USED ON WET SIDE OF WALLS.

12. ALL DIMENSIONS ARE TAKEN FROM FACE OF STUD OR CMU WALL.

13. REFER TO DETAIL ON THIS SHEET FOR WALL PRIORITY LEGEND.

14. UNDERSIDE OF STRUCTURE GYPSUM BOARD TERMINATION TO BE COORDINATED WITH WALL SECTIONS AND DETAILS.

15. DO NOT INSTALL WALL BOXES, ELECTRICAL, DATA, ETC. BACK TO BACK IN A PARTITION. ALL RECESSED WALL DEVICES SHALL BE STAGGERED.

PARTITION PRIORITY LEGEND

LOWER PRIORITY

HIGHER PRIORITY

PLAN VIEW

2 HOUR FIRE & SMOKE WALL

2 HOUR FIRE WALL

2 HOUR SHAFTWALL

1 HOUR FIRE & SMOKE WALL

1 HOUR FIRE WALL

NON-RATED WALL

PRIORITY 1 HIGHEST

PRIORITY 2

PRIORITY 3

PRIORITY 4

PRIORITY 5 LOWEST

RATED PARTITION AT EXT. WALL

HIGHER PRIORITY

RATED PARTITION, SEE PARTITION TYPES

CONTINUOUS FIREPROOF SEALANT BOTH SIDES

LOW PRIORITY

PARTITION SPECIFICATION

METAL STUDS:  
METAL STUDS SHALL BE MINIMUM 20 GAUGE THROUGHOUT

GYPSUM BOARD:  
ALL GYPSUM BOARD SHALL HAVE A LEVEL 5 FINISH THROUGHOUT

INSULATION:  
BATT INSULATION SHALL BE 3.5" MINERAL WOOL INSULATION.  
RIGID INSULATION SHALL BE 1-1/2" EXTRUDED POLYSTYRENE (XPS) RIGID FOAM.

SUBMITTALS:

PHASE

DATE

Progress Set

05-01-2023

REVISIONS:

NO.	DESCRIPTION	DATE

PROJECT TEAM

PROFESSIONAL IN CHARGE

ADOLFO J. COTILLA, JR., AIA

REGISTRATION NUMBER AR-0008011

APPROVED BY AJC

DESIGNED BY ACAI

DRAWN BY ACAI

CHECKED BY ACAI

DESIGN CONSULTANT

OCALA SUNTRAN RESTROOMS & KIOSK

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PARTITION TYPES

SHEET TITLE

ACAI

associates, inc.

architecture-engineering

roofing consulting

construction management

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ARCHITECT OF RECORD

19-031-PO3

PROJECT NUMBER

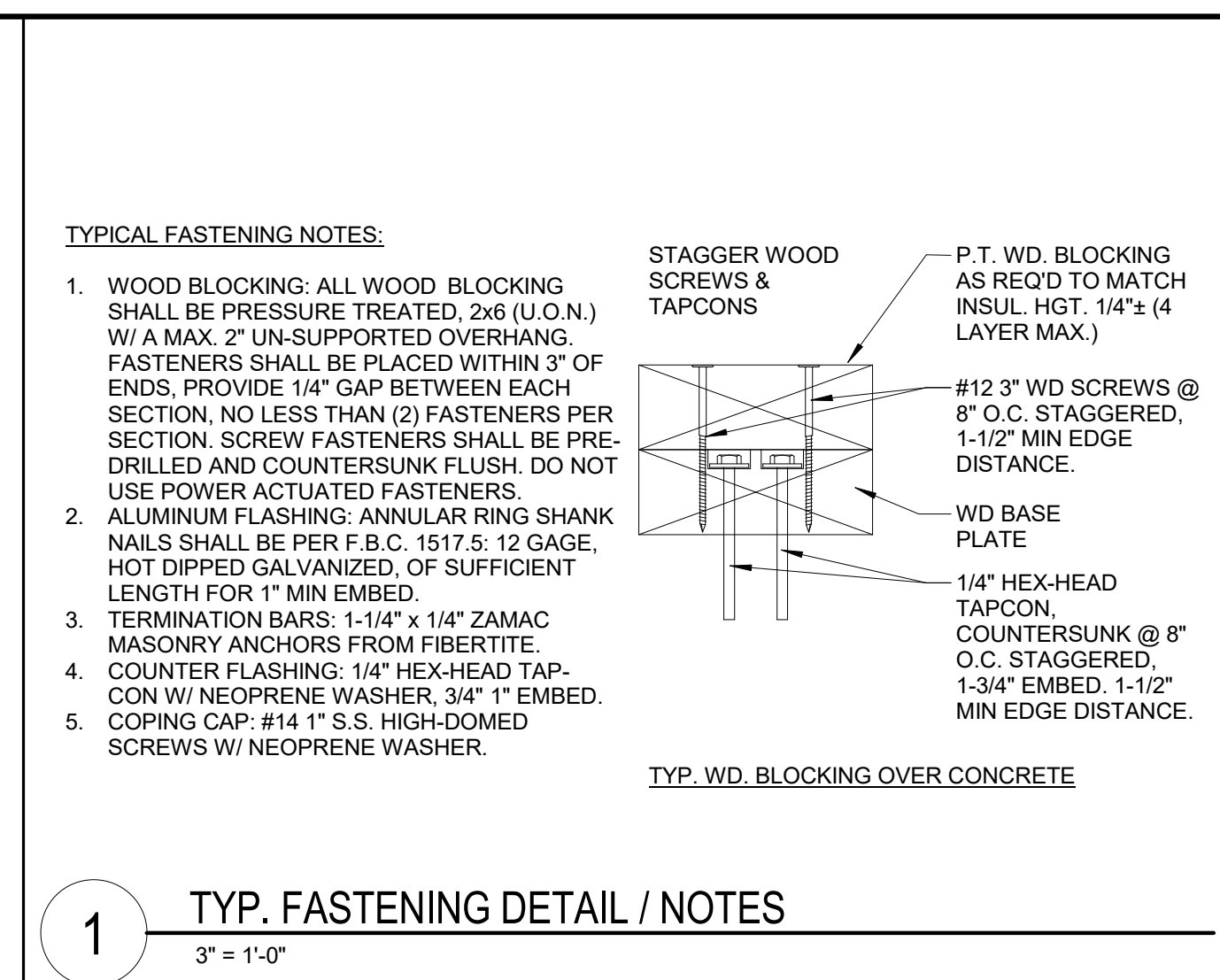
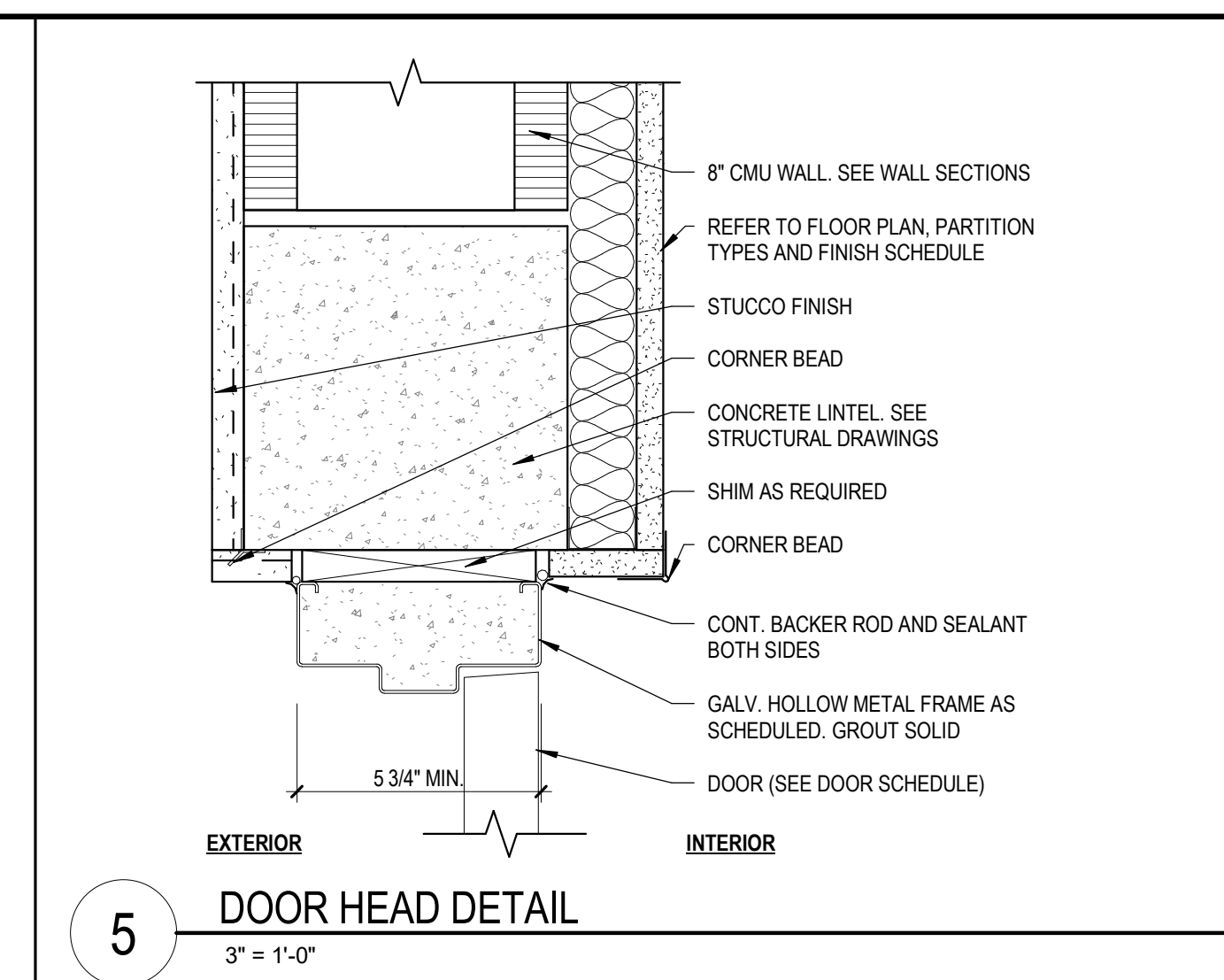
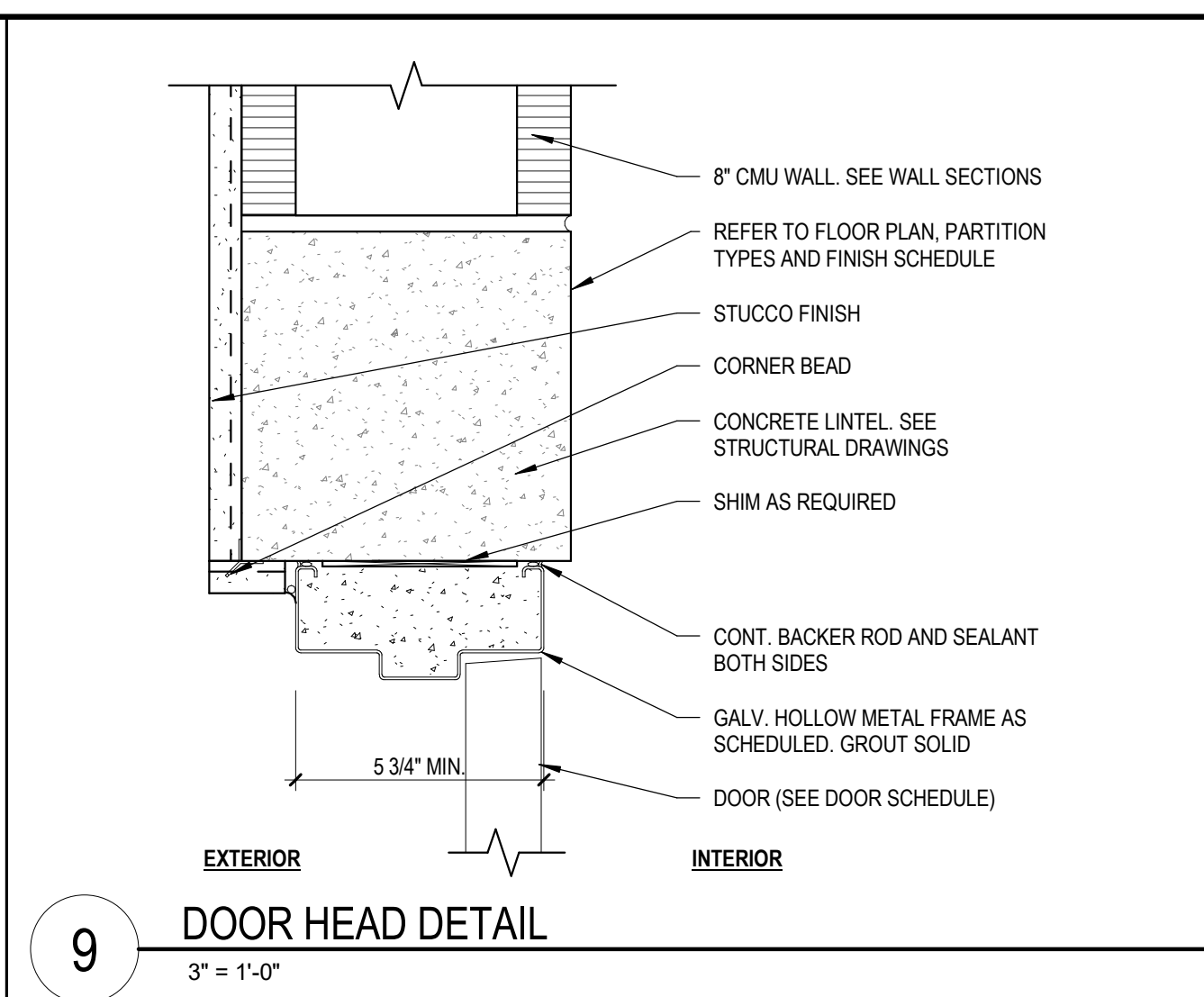
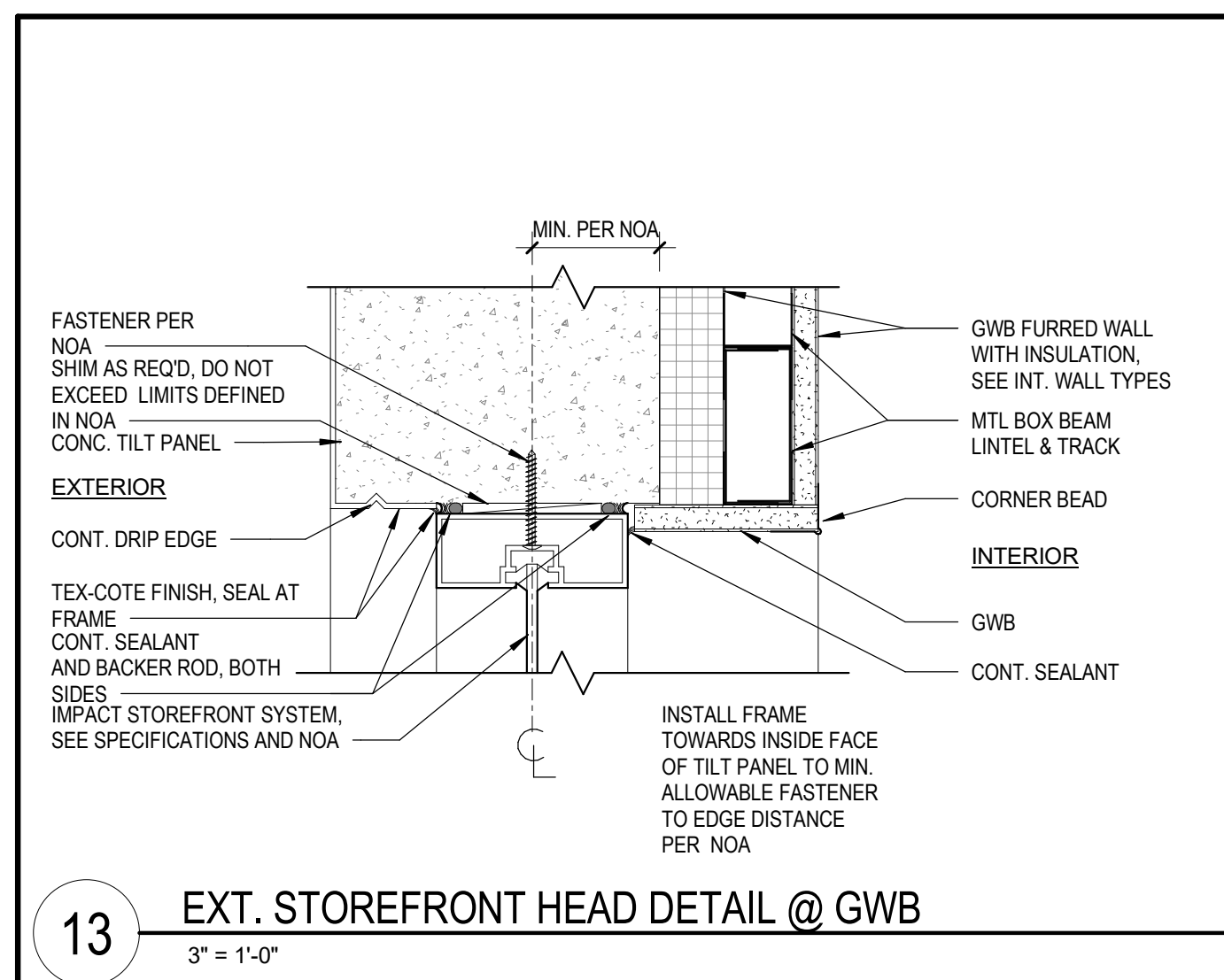
A-501

SHEET NUMBER

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[illegible][illegible]

PROJECT TEAM	
PROFESSIONAL IN CHARGE	

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ADOLFO J. COTILLA, JR., AIA

ADOLFO J. COTILLA, JR., AIA

REGISTRATION  
N U M B E R AR-0008011

APPROVED BY \_\_\_\_\_ Approver

DESIGNED BY

\_\_\_\_\_  
Designer

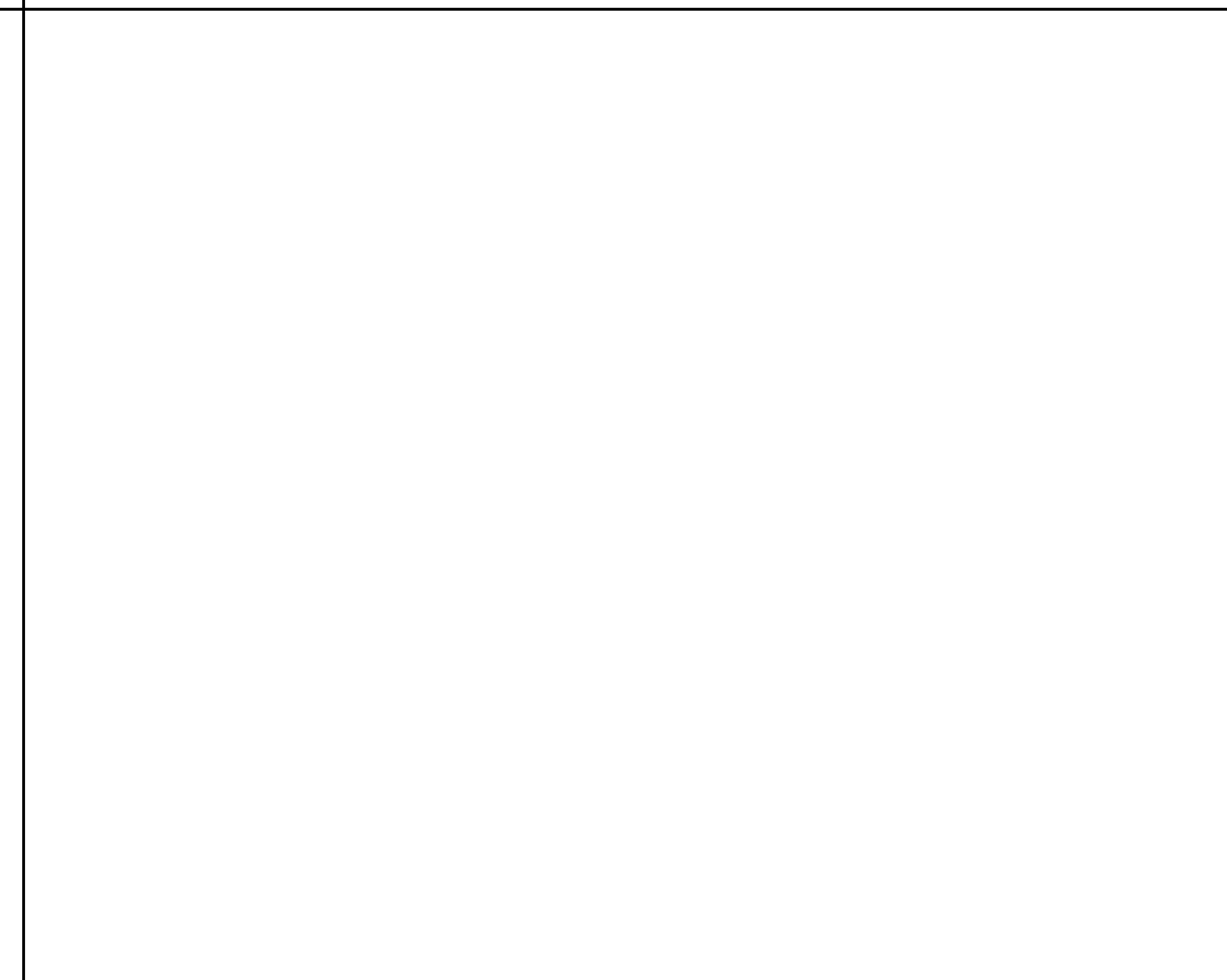
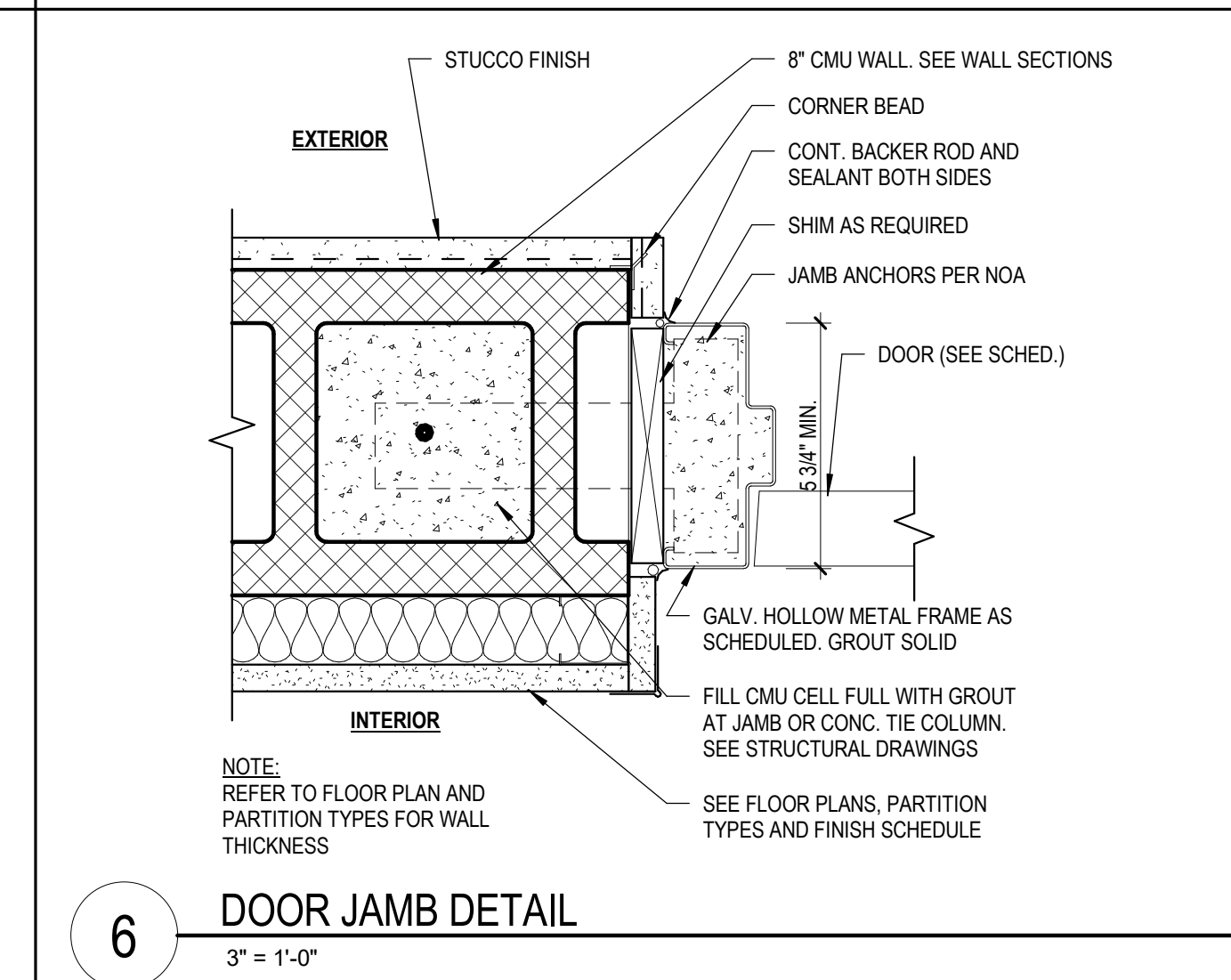
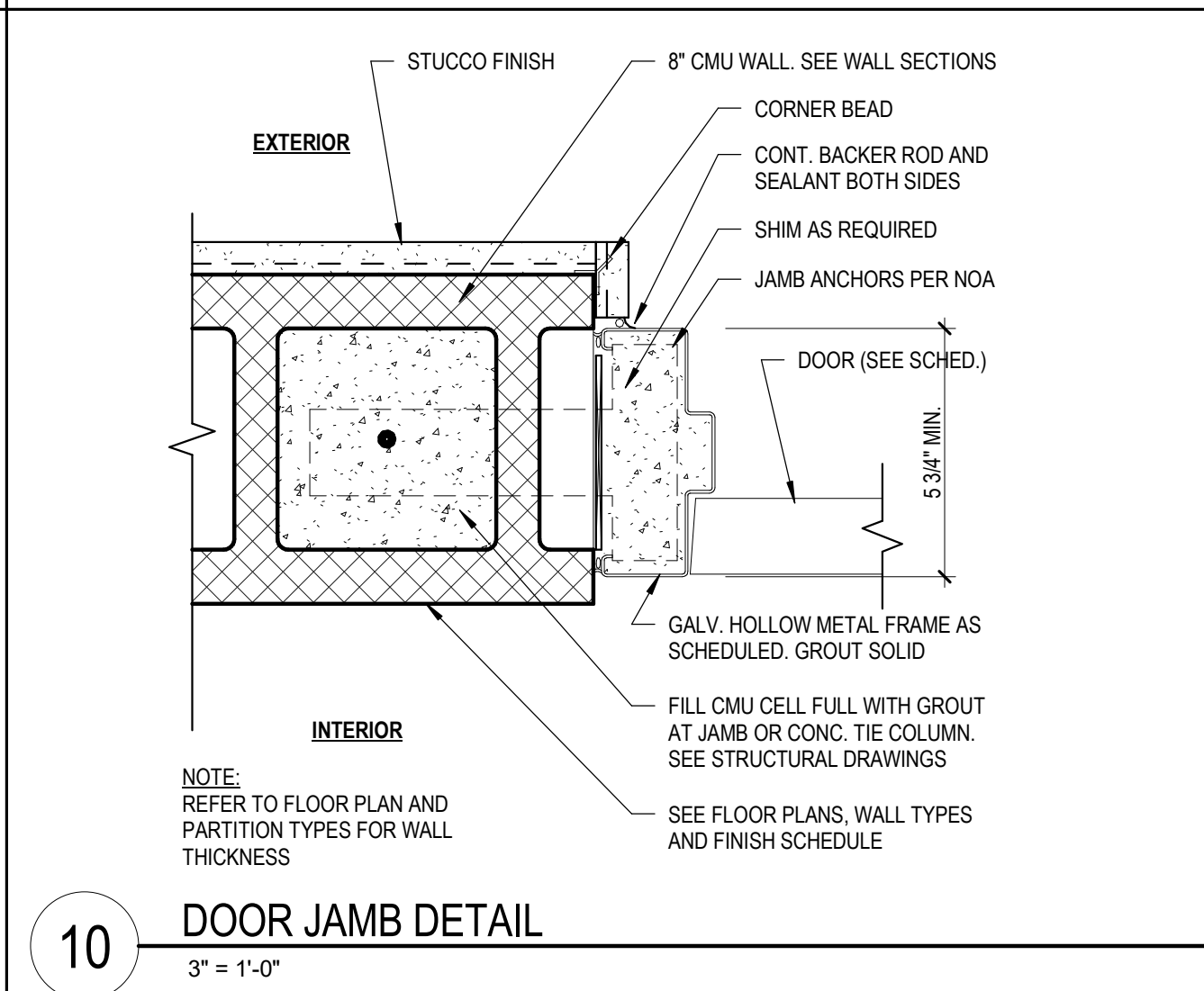
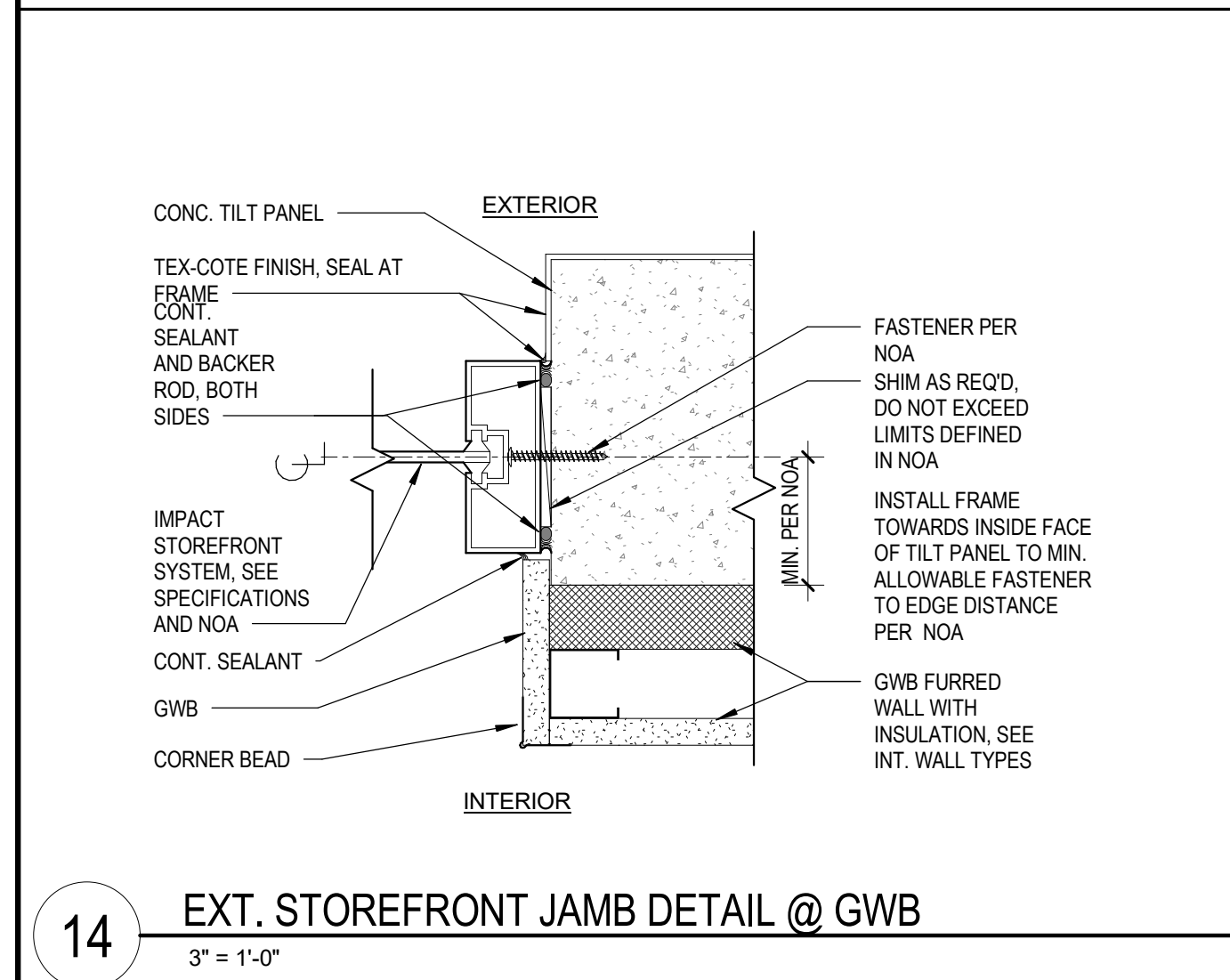
D R A W N B Y

Author

.....

C H E C K E D B Y

C H E C K E D B Y \_\_\_\_\_  
Checker



DESIGN CONSULTANT

**Ocala Suntran  
Restrooms & Kiosk**

## ROOF, DOOR AND WINDOW DETAILS

.....  
SHEET TITLE

**A C A I**  
associates, inc.  
architecture • engineering  
roofing consulting  
construction management

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**ARCHITECT OF RECORD**

**19-031-PO3**

PROJECT NUMBER

**A-502**

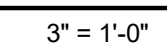
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S H E E T   N U M B E R

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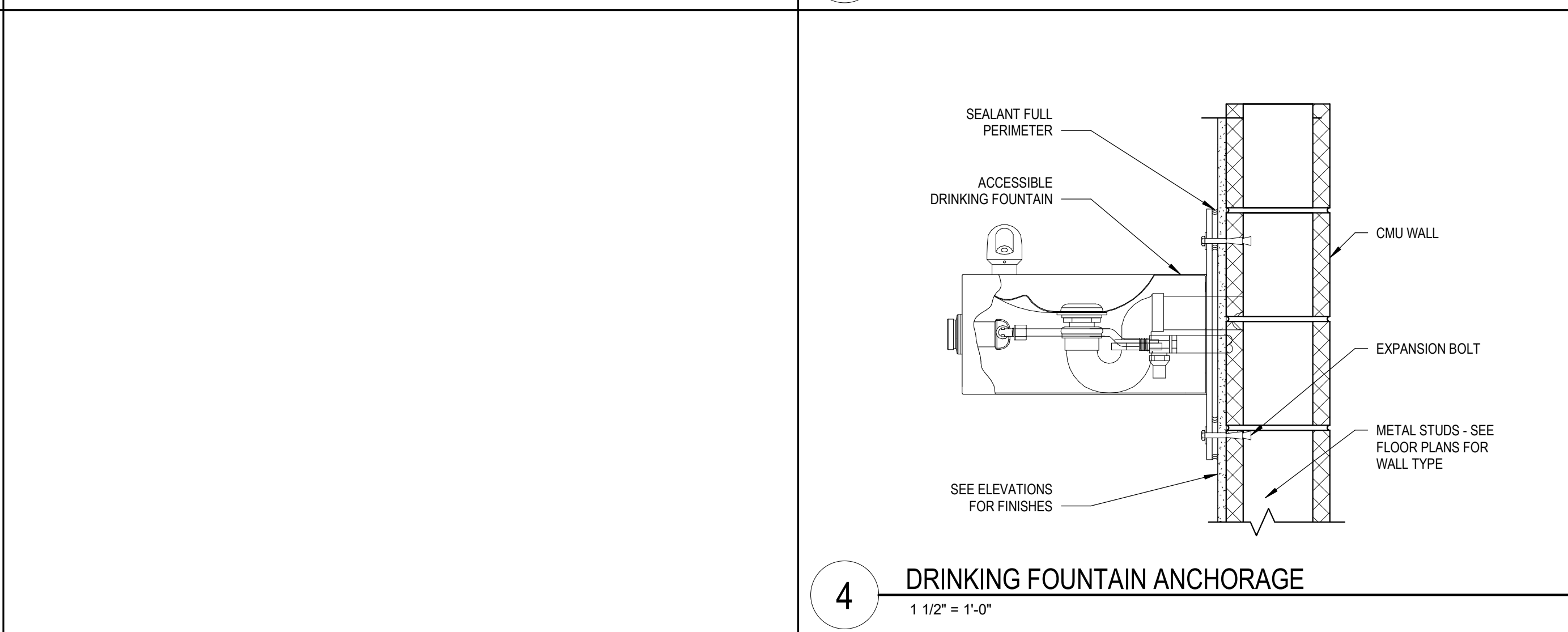
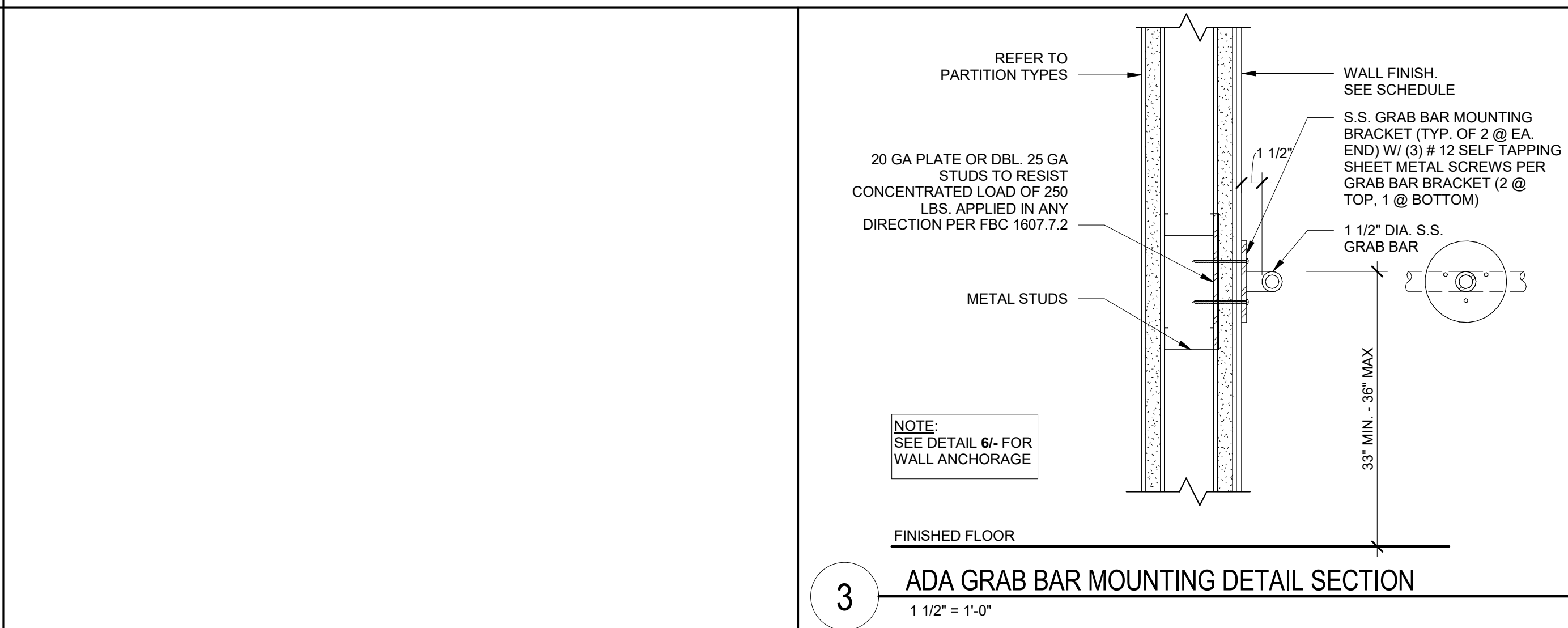
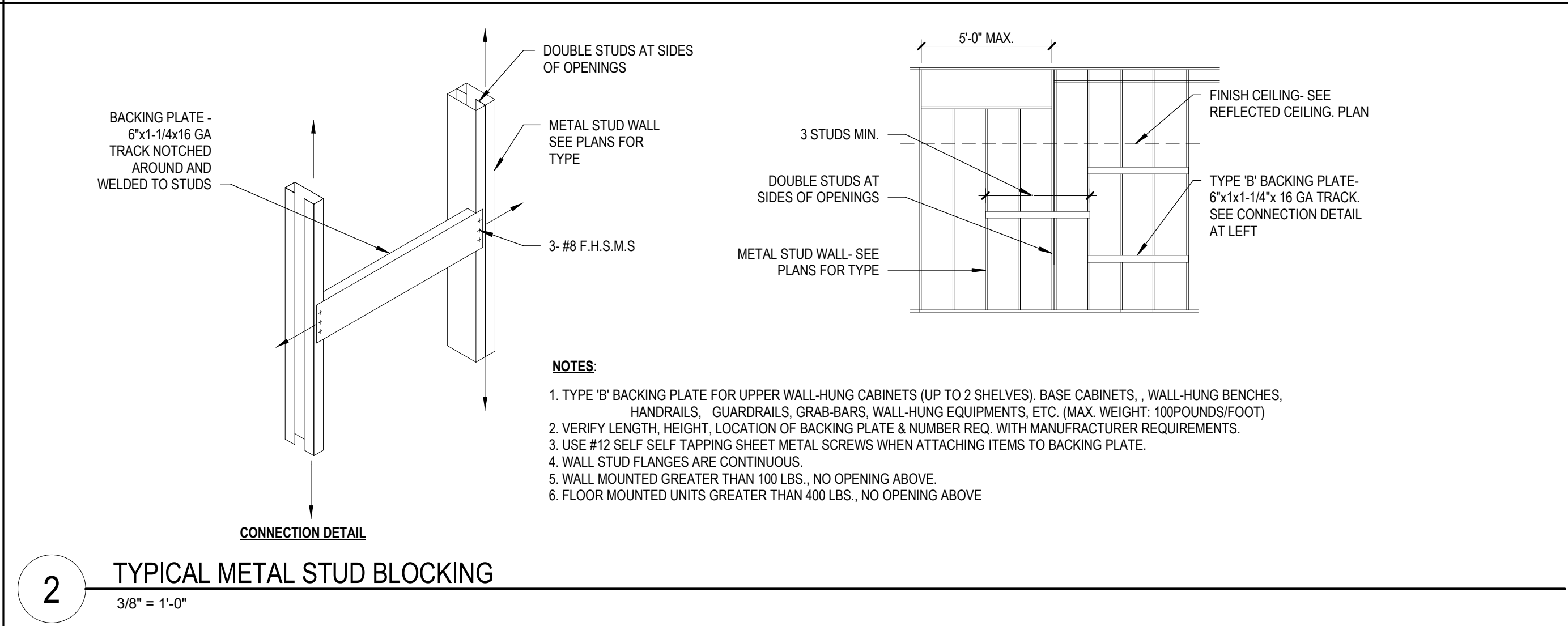
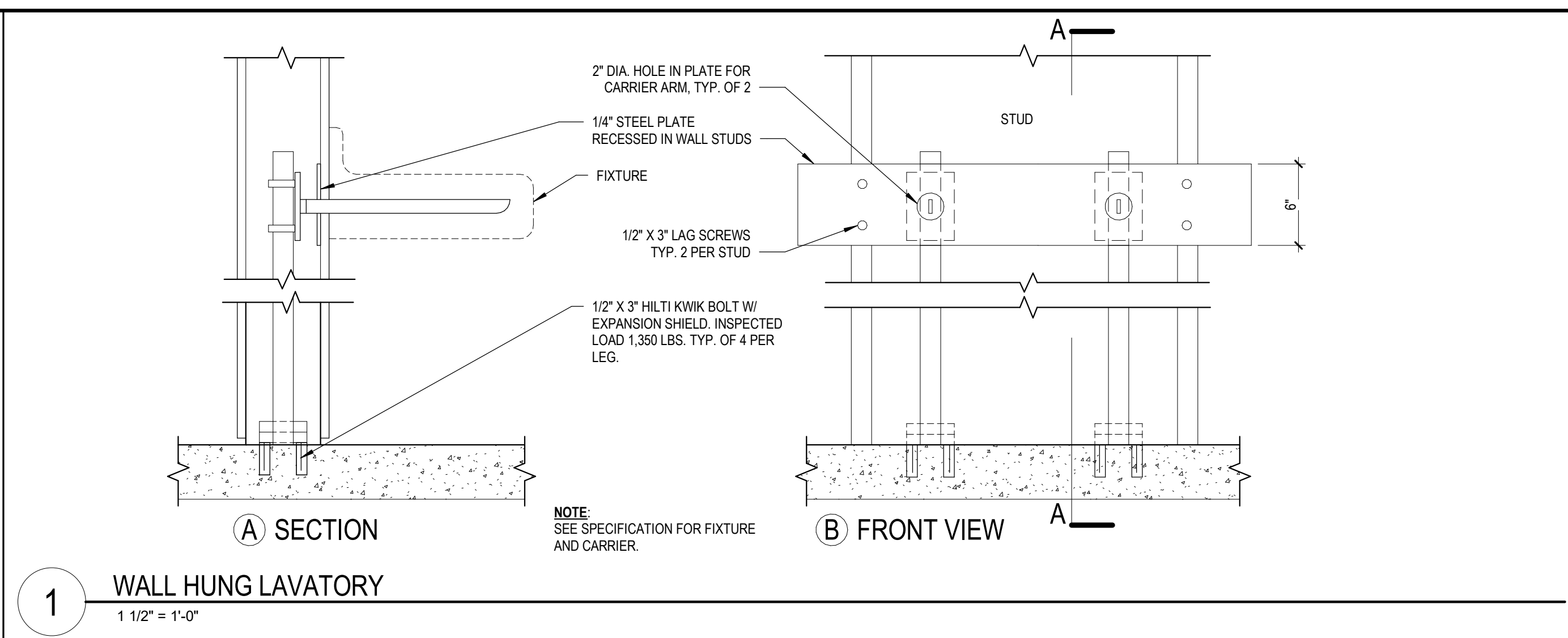


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SUBMITTALS:  
PHASE  
Progress Set  
DATE  
05-01-2023

REVISIONS:  
NO. DESCRIPTION DATE

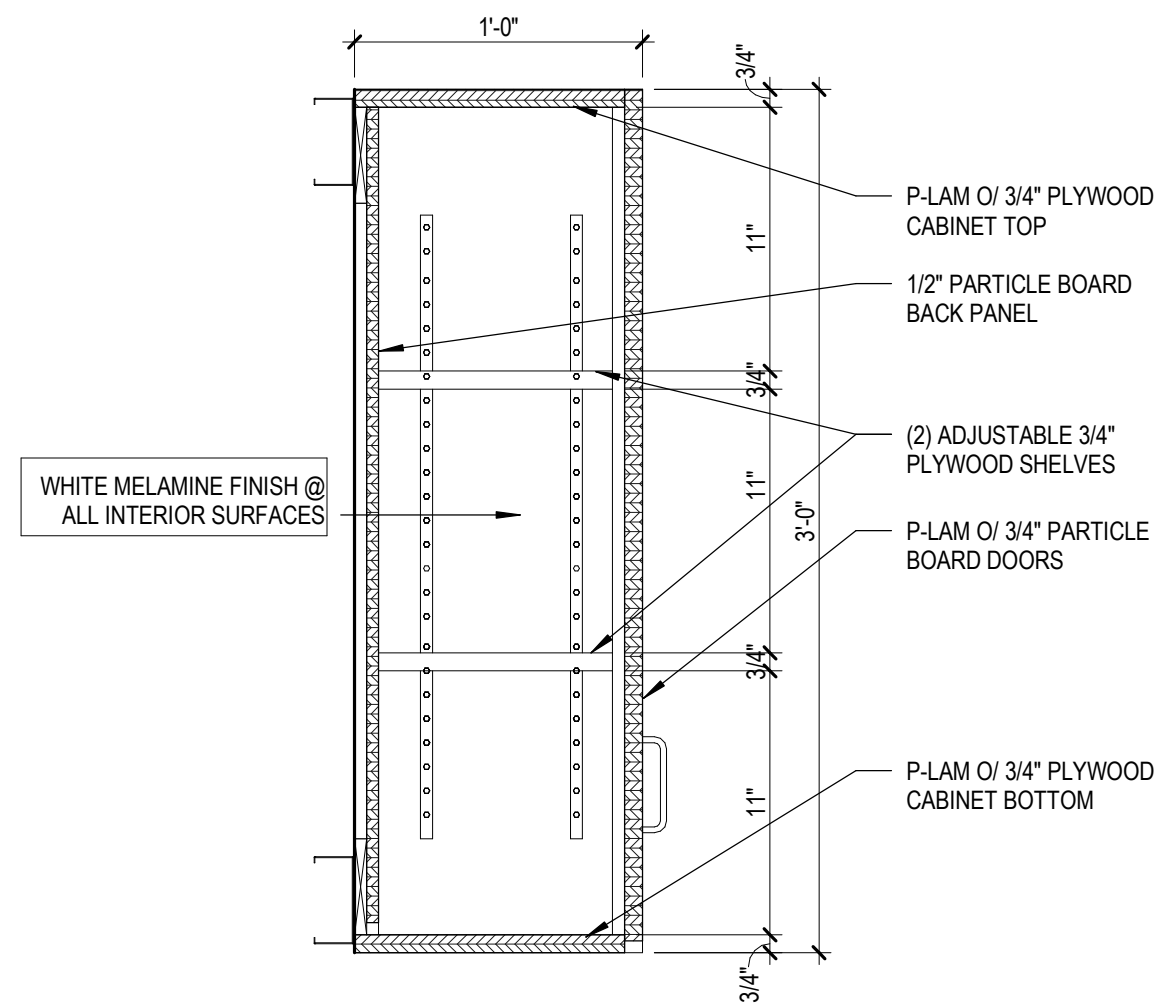
PROJECT TEAM  
PROFESSIONAL IN CHARGE  
ADOLFO J. COTILLA, JR., AIA  
REGISTRATION NUMBER AR-0008011  
APPROVED BY AJC  
DESIGNED BY ACAI  
DRAWN BY ACAI  
CHECKED BY ACAI

DESIGN CONSULTANT  
OCALA SUNTRAN  
RESTROOMS & KIOSK  
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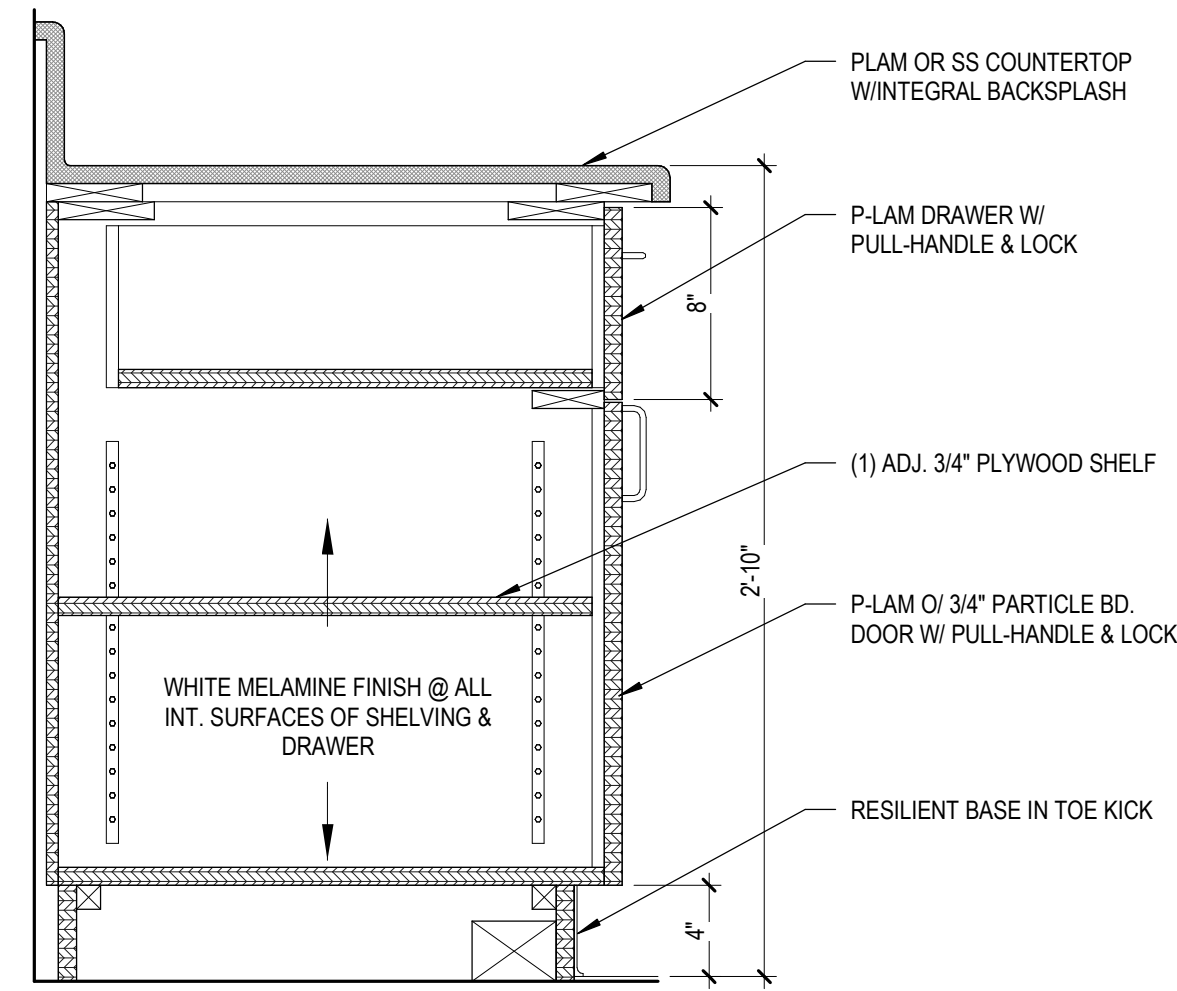
INTERIOR DETAILS

SHEET TITLE  
ACAI  
associates, inc.  
architecture-engineering  
roofing consulting  
construction management  
AAC001323-EB0004379-CGC010769  
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ARCHITECT OF RECORD  
19-031-PO3  
PROJECT NUMBER  
A-504  
SHEET NUMBER  
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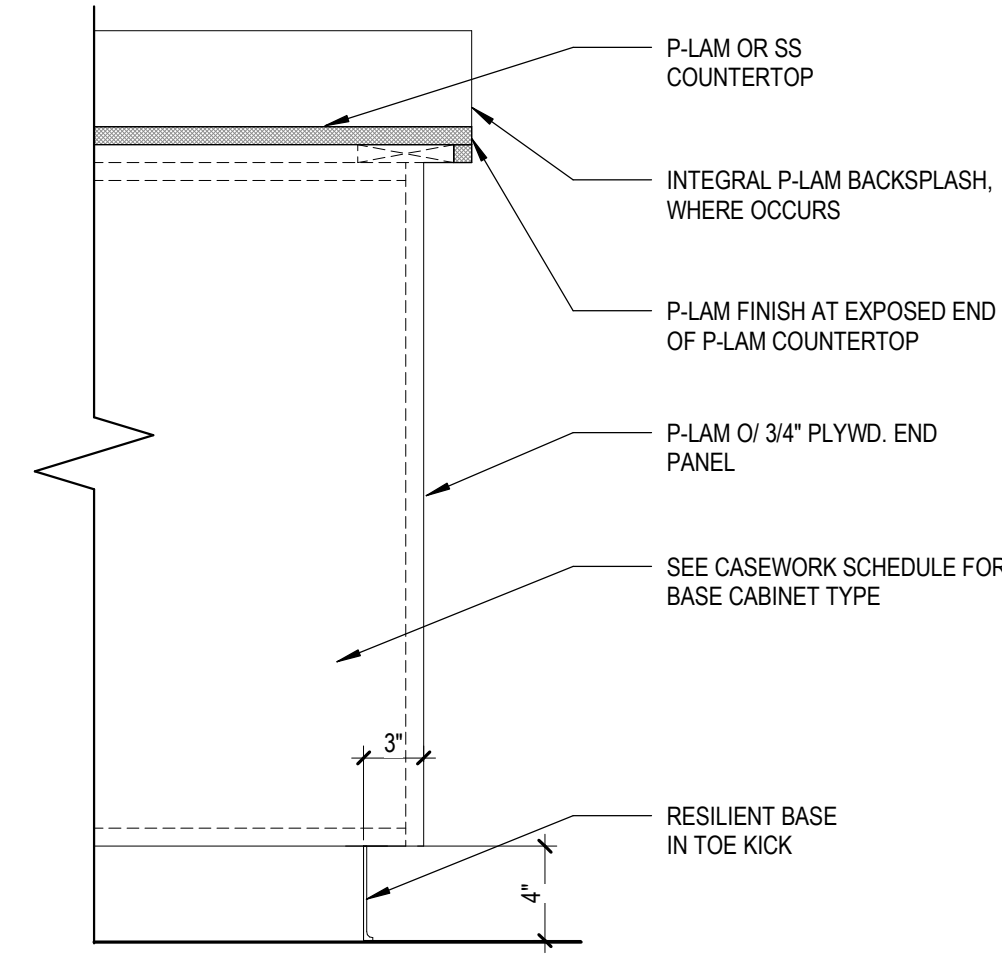




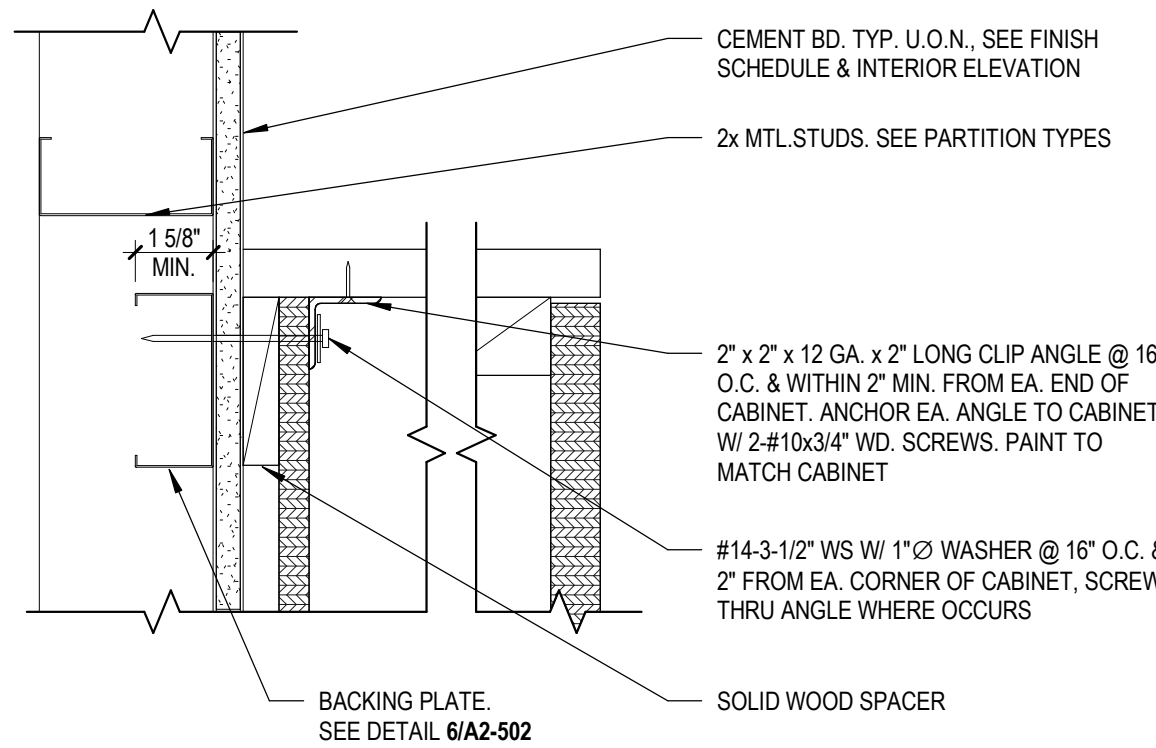
1 UPPER CABINET  
1 1/2" = 1'-0"



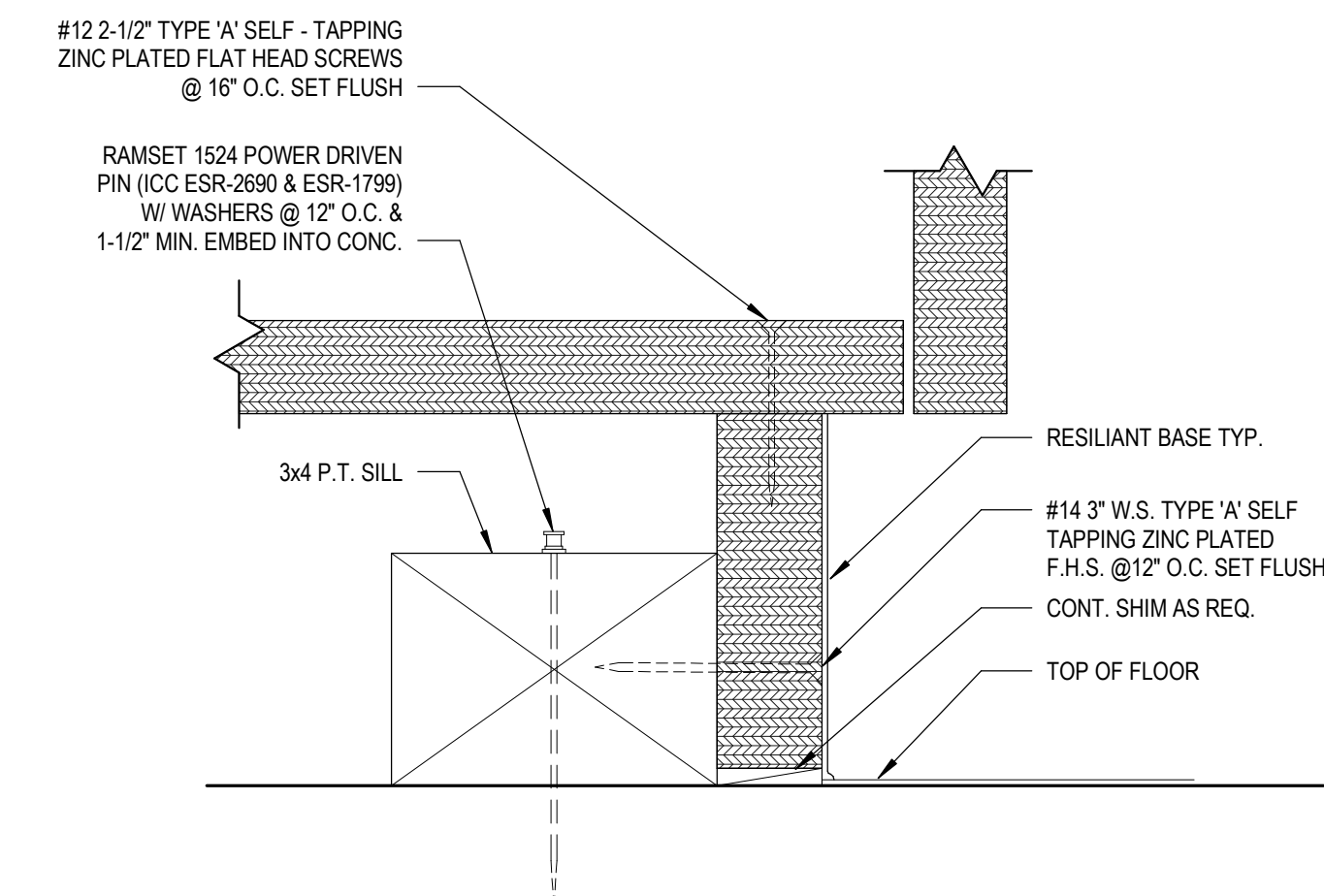
2 BASE CABINET - DRAWER & DOOR  
1 1/2" = 1'-0"



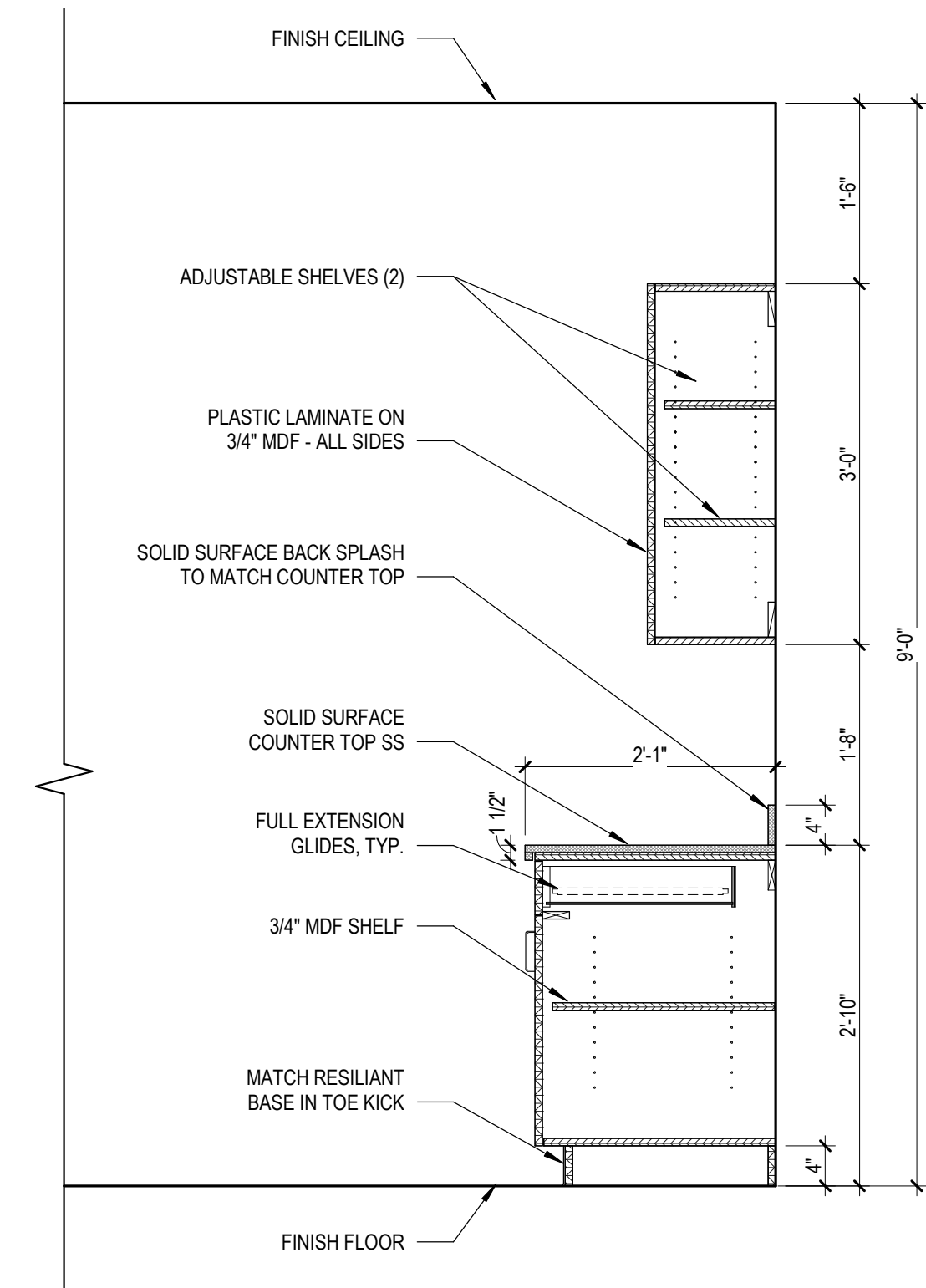
3 BASE CABINET - END PANEL  
1 1/2" = 1'-0"



5 CABINET ANCHORAGE - WALL  
3" = 1'-0"



6 CABINETS ANCHORAGE - FLOOR  
6" = 1'-0"



4 BASE WITH SHELF WALL CABINET  
3/4" = 1'-0"

SUBMITTALS:	
PHASE	DATE
Progress Set	05-01-2023

REVISIONS:

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PROJECT TEAM  
PROFESSIONAL IN CHARGE

ADOLFO J. COTILLA, JR., AIA  
REGISTRATION NUMBER AR-0008011  
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DESIGNED BY ACAI  
DRAWN BY ACAI  
CHECKED BY ACAI

DESIGN CONSULTANT

OCALA SUNTRAN  
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MILLWORK DETAILS

SHEET TITLE

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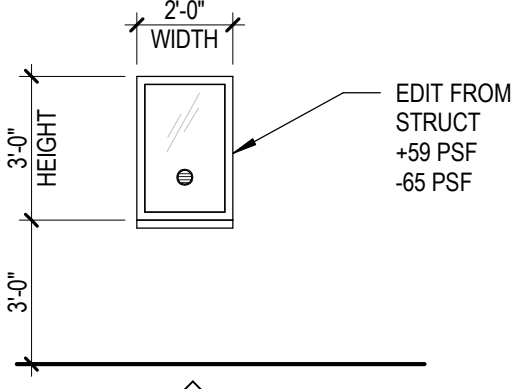
A-505

SHEET NUMBER

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WINDOW SCHEDULE											
WINDOW	WIDTH	HEIGHT	GLAZING	FRAME		HEAD	JAMB	SILL	FIRE RATING	NOA# / FL APPROVAL	REMARKS
				MATERIAL	FINISH						
Exterior											
W1	2'-0"	3'-0"		ALUMINUM	ANODIZED	13/A-502	14/A-502	15/A-502		FL29520	
GLAZING SPEC						WINDOW / STOREFRONT NOTES					
<p>BULLET PROOF GRADE GLASS: CLEAR GLASS BASIS OF DESIGN: {manuf. and model}</p> <p>BLAST AND MANUAL ATTACHED SAFETY GLASS: CLEAR GLASS BASIS OF DESIGN: {Mnmanufacture &amp; model}</p> <p>NOTE: SEE SPECIFICATIONS AND NOA / FL APPROVAL FOR FURTHER INFORMATION</p>						<p>1. SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL.</p> <p>2. ALL GLAZING SHALL COMPLY WITH 2020 FLORIDA BUILDING CODE AND ADA REQUIREMENTS.</p> <p>3. ALL WINDOWS / STOREFRONTS AND DIMENSIONS TO BE FIELD VERIFIED PRIOR TO SHOP DRAWINGS AND FABRICATION.</p> <p>4. PROVIDE 1/4" MAX. P.T. SHIM ON ALL FRAMES AS NECESSARY.</p> <p>5. REFER TO MANUFACTURER'S SPECIFICATIONS AND/OR SHOP DRAWINGS FOR ANCHORAGE OF ALL WINDOW FRAMES.</p> <p>6. PROVIDE SEALANT WITH APPROPRIATELY SIZED BACKER ROD AROUND PERIMETER.</p> <p>7. PROVIDE LIQUID APPLIED WATERPROOFING MEMBRANE INSIDE ALL FACES OF WINDOW OPENINGS, AND EXTENDING 6" - 8" BEYOND OPENINGS ONTO EXTERIOR WALL. PER AIAA 200-12 AND AIAA 714-15. MEMBRANE SHALL BE COMPATIBLE WITH STUCCO FINISH. BASIS OF DESIGN: PROTECTO LWM200.</p> <p>8. ALL EXTERIOR SYSTEMS TO COMPLY WITH MARION COUNTY / FLORIDA PRODUCT APPROVAL. REFER TO PRODUCT APPROVAL FOR ANCHORAGE INFORMATION.</p>					
WINDOW ELEVATIONS											
 <p>2'-0" WIDTH</p> <p>3'-0" HEIGHT</p> <p>EDIT FROM STRUCT +59 PSF -65 PSF</p>											

DOOR SCHEDULE

DOOR NO.	ROOM NO.	ROOM NAME	DOOR								FRAME			HEAD	JAMB	THRESH./ SILL	H/W GROUP	CARD READER	FIRE RATING	NOA# / FL APPROVAL#	REMARKS	door no.	
			ELEV.	Width	HEIGHT	THICK.	MATERIAL	FINISH	U/CUT	GLAZING	ELEV.	MATERIAL	FINISH										
FIRST FLOOR																							
101	101	TICKETS	A	3'-0"	7'-0"	1 3/4"	HM	PAINTED				HM	PAINTED										101
102	102	STORAGE	A	3'-0"	7'-0"	1 3/4"	HM	PAINTED				HM	PAINTED										102
103	103	ELECTICAL ROOM/ I.T.	A	3'-0"	7'-0"	1 3/4"	HM	PAINTED				HM	PAINTED										103
104	104	MALE PUBLIC RESTROOM	A	3'-0"	7'-0"	1 3/4"	HM	PAINTED			1	HM	PAINTED	3/A1-602	4/A1-602	05			20-0910.03				104
105	105	FEMALE PUBLIC RESTROOM	A	3'-0"	7'-0"	1 3/4"	HM	PAINTED			1	HM	PAINTED	3/A1-602	4/A1-602	05			20-0910.03				105
106	106	UNISEX STAFF RESTROOM	A	3'-0"	7'-0"	1 3/4"	HM	PAINTED			1	HM		3/A1-602	4/A1-602	05			20-0910.03				106
107	107	UNISEX STAFF RESTROOM	A	3'-0"	7'-0"	1 3/4"	SCW	PAINTED		-	1	HM	PAINTED	15/A1-502	16/A1-502	21							107

DOOR HARDWARE NOTES

1. SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL PRIOR TO ORDERING AND INSTALLATION.

2. NEW HARDWARE SHALL BE VERIFIED BY OWNER PRIOR TO ORDERING AND INSTALLATION.

3. HARDWARE AND KEYING SHALL BE COORDINATED AND VERIFIED WITH OWNER PRIOR TO ORDERING AND INSTALLATION.

4. NEW HARDWARE SHALL COMPLY WITH FLORIDA ADA REQUIREMENTS.

5. ALL HARDWARE SHALL BE AS SPECIFIED OR APPROVED, UNLESS NOTED OTHERWISE.

6. COORDINATE SECURITY DEVICES, ELECTRONIC LOCKING DEVICES AND OTHER MONITORING DEVICES REQUIREMENTS / LOCATION WITH DOOR FRAME, HARDWARE, SECURITY DRAWINGS AND OWNER REPRESENTATIVE.

7. ALL EXTERIOR DOORS TO COMPLY WITH MIAMI-DADE COUNTY / FLORIDA PRODUCT APPROVAL. REFER TO PRODUCT APPROVAL FOR ANCHORAGE INFORMATION.

8. OUTSIDE LEVER LOCKED AND UNLOCKED BY KEY. INSIDE LEVER ALWAYS UNLOCKED.

DOOR NOTES

1. SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL PRIOR TO ORDERING AND INSTALLATION.

2. ALL GLAZING SHALL COMPLY WITH 2020 FLORIDA BUILDING CODE AND ADA REQUIREMENTS.

3. FIELD MEASURE EXISTING OPENINGS PRIOR TO FABRICATION AND INSTALLATION. VERIFY EXISITNG STRUCTURAL CONDITIONS AT JAMBS AND HEAD.

4. LOCATE DOOR FRAMES WITH HINGE 4" FROM THE CORNER OF ADJACENT WALL, UNLESS SHOWN CENTERED ON THE WALL OR DIMENSIONED OTHERWISE.

5. ALL DOOR FRAMING IS DIMENSIONED AS 2" NOMINALLY, U.N.O.

6. UNDERCUT DOORS 3/4" (MAX.)

7. SIZE HOLLOW METAL FRAME THROAT 1/8" GREATER THAN THE ACTUAL PARTITION THICKNESS. REFER TO PARTITION TYPES AND FINISH SCHEDULE.

8. PROVIDE MAX. 1/4" P.T. SHIM SPACE ON ALL FRAMES AS NECESSARY.

9. REFER TO DOOR HARDWARE SCHEDULE.

10. LABELS ARE ASTM CLASSIFICATIONS WITH FIRE RATINGS IN MINUTES. FIRE RATINGS OR LABELS REQUIRED FOR DOOR APPLY EQUALLY TO THE FRAME AND HARDWARE.

11. COORDINATE SECURITY DEVICES, ELECTRONIC LOCKING DEVICES AND OTHER MONITORING DEVICES REQUIREMENTS / LOCATION WITH DOOR FRAME, HARDWARE, SECURITY DRAWINGS AND OWNER REPRESENTATIVE.

12. REFER TO FINISH PLAN AND SCHEDULE FOR DOOR AND FRAME STAIN AND PAINT COLORS.

13. PROVIDE SEALANT WITH APPROPRIATELY SIZED BACKER ROD ON ALL EXTERIOR DOOR FRAMES.

14. ALL EXTERIOR DOORS TO COMPLY WITH MARION COUNTY / FLORIDA PRODUCT APPROVAL. REFER TO PRODUCT APPROVAL FOR ANCHORAGE INFORMATION.

DOOR AND FRAME ELEVATIONS

DOOR ELEVATIONS:

DOOR WIDTH

DOOR HEIGHT

A

DOOR ELEVATIONS:

2" DOOR WIDTH 2"

DOOR HEIGHT

1

SUBMITTALS:		DATE
PHASE		05-01-2023
Progress Set		
REVISIONS:		
NO.	DESCRIPTION	DATE
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PROFESSIONAL IN CHARGE		
ADOLFO J. COTILLA, JR., AIA		
REGISTRATION NUMBER	AR-0008011	
APPROVED BY	Approver	
DESIGNED BY	Designer	
DRAWN BY	Author	
CHECKED BY	Checker	

5/1/2023 10:48:43 AM

**E S I G N C O N S U L T A N**

**Ocala Suntran  
Restrooms & Kiosk**

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## DOOR AND WINDOW SCHEDULE

SHEET TITLE

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**19-031-PO3**  
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**A-601**  
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FINISHES LIST							
finish group sub-order	SYMBOL	PRODUCT	MANUFACTURER	MODEL / STYLE	UNIT SIZE	COLOR / FINISH	REMARKS
FLOORING							
1	EPXY-1	EPOXY FLOORING	STONHARD	STONETEC ERF			
1	SC-1	SEALED CONCRETE					
WALL BASE							
2	EPB	EPOXY BASE	STONHARD	STONETEC ERF			
2	TB-1	TILE COVE BASE					
PAINT/STAIN							
4	P-1	PAINT	SHERWIN WILLIAMS				
4	P-2	PAINT					
CEILING							
6.1	ACT-1	ACOUSTICAL CEILING TILE	ARMSTRONG	RANDOM FISSURED	2x2'		
6.3	GWB	DENSEGLASS BOARD CEILING	GEORGIA PACIFIC	DENSARMOR PLUS			
MILLWORK							
7	PL-1	HIGH PRESSURE PLASTIC LAMINATE		HORIZONTAL GRADE			
7	PL-2	HIGH PRESSURE PLASTIC LAMINATE		VERTICAL GRADE			
7	S-1	SOLID SURFACE	WILSONART				
TRANSITION STRIP							
9	TS-1	TRANSITION STRIP					
9.1	TH-1	ALUMINUM THRESHOLD					

[illegible]

DESIGN CONSULTANT

## Ocala Suntran Restrooms & Kiosk

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## FINISH SCHEDULE

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