

PROJECT LOCATION

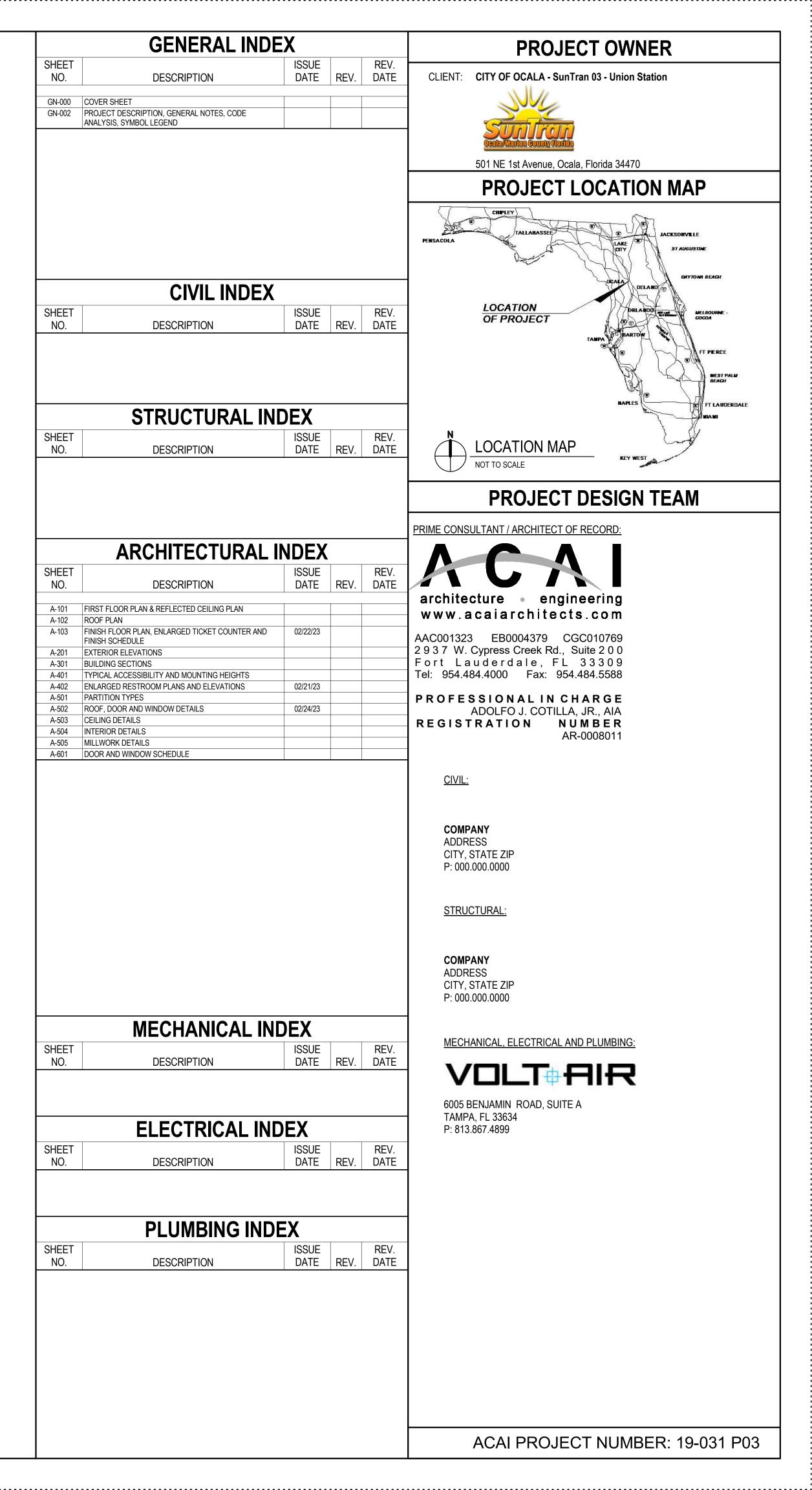


PROPOSED BUILDING LOCATION

City of Ocala SunTran -Union Station- Restrooms and Ticketing Kiosk

501 NE 1st Avenue, Ocala, Florida 34470

PROGRESS SET - CONSTRUCTION DOCUMENTS MAY 01-2023



GENERAL CONSTRUCTION NOTES SYMBOL LEGEND SYMBOL DESCRIPTION A. CUTTING AND PATCHING: EXAMINE EXISTING CONDITIONS, INCLUDING ELEMENTS SUBJECT TO DAMAGE OR ALL WORK TO COMPLY WITH ALL LOCAL, STATE, NATIONAL AND FEDERAL REGULATIONS HAVING JURISDICTION OVER THIS PROJECT. MOVEMENT DURING CUTTING AND PATCHING. INDICATES DIRECTION AFTER UNCOVERING WORK, ASSESS CONDITIONS AFFECTING PERFORMANCE OF 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH BUILDING REGULATIONS AND OF TRUE NORTH NORTH ARROW IN A QUALITY WORKMANSHIP LIKE MANNER. EXECUTE WORK BY METHODS TO AVOID DAMAGE TO OTHER WORK. AND WHICH 3. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS WILL PROVIDE APPROPRIATE SURFACES TO RECEIVE PATCHING AND FINISHING. & EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCY BETWEEN THE RESTORE WORK WITH NEW PRODUCTS IN ACCORDANCE WITH REQUIREMENTS EXISTING CONDITIONS & THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT **VIEW TITLE** OF CONTRACT DOCUMENTS. TO THE ATTENTION OF THE ARCHITECT IN WRITING PRIOR TO THE PREPARATION VIEW NUMBER, TITLE, & FIT WORK TIGHT TO PIPES, SLEEVES, DUCTS, CONDUIT, AND OTHER OF BID AND START OF WORK. PENETRATIONS THROUGH SURFACES. 4. IF FIELD CONDITIONS NECESSITATE ANY CHANGES OR MODIFICATIONS, THE 1/8" = 1'-0" REFINISH SURFACES TO MATCH ADJACENT FINISHES. FOR CONTINUOUS CHANGES OR MODIFICATIONS MUST BE APPROVED BY THE ARCHITECT AND SURFACES, REFINISH TO NEAREST INTERSECTION; FOR AN ASSEMBLY, REFINISH OWNER PRIOR TO PROCEEDING WITH WORK. ENTIRE UNIT. 5. ALL EXISTING WORK NOT INDICATED FOR DEMOLITION SHALL BE PROTECTED - VIEW # ON FROM DAMAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE **BUILDING SECTION TAG B. ALTERATION PROJECT PROCEDURES:** CAUSED BY THE CONSTRUCTION PROCESS. MATCH EXISTING PRODUCTS AND WORK FOR PATCHING AND EXTENDING WORK 6. THE CONTRACTOR SHALL COORDINATE ALL APPLICABLE WORK WITH ALL ∖ A101 / SHEET # CUT, MOVE, OR REMOVE ITEMS AS NECESSARY FOR ACCESS TO ALTERATIONS ASSOCIATED TRADES. AND RENOVATION WORK: REPLACE AND RESTORE AT COMPLETION. 7. THE CONTRACTOR SHALL ESTABLISH ALL ITEMS WHICH REQUIRE IMMEDIATE VIEW # ON REMOVE UNSUITABLE MATERIAL NOT MARKED FOR SALVAGE, SUCH AS ROTTED PROCESSING DUE TO LONG LEAD ORDERING TIME. A LIST OF THESE ITEMS SHEET WOOD, CORRODED METALS, DETERIORATED MASONRY AND CONCRETE; SHALL BE SUBMITTED TO THE ARCHITECT AND OWNER WITHIN ONE WEEK AFTER WALL / PARTIAL SECTION REPLACE MATERIALS AS SPECIFIED FOR FINISHED WORK. THE CONTRACT IS AWARDED. ∖ A101 / REMOVE DEBRIS AND ABANDONED ITEMS FROM AREA AND FROM CONCEALED THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE TO THE ARCHITECT AND OWNER WITHIN ONE WEEK AFTER THE AWARD OF THE COORDINATE WORK OF ALTERATION AND RENOVATION WORK WITH OWNER FOR 1 ---- VIEW # 9. ALL SUBCONTRACTORS SHALL SUBMIT SHOP DRAWINGS THROUGH THE ACCESS AND MINIMAL CONFLICT WITH NORMAL OPERATION OF THE FACILITY. ON SHEET CONTRACTOR. ONCE CHECKED, THE CONTRACTOR SHALL SUBMIT THE SHOP SHEET DRAWINGS TO THE ARCHITECT FOR APPROVAL BEFORE PROCEEDING WITH C: FINISHES: **ELEVATION TAGS** WHERE NEW WORK ABUTS OR ALIGNS WITH EXISTING, MAKE A SMOOTH AND SHEET# -\underset A101 FARRICATION AND INSTALLATION 10. MANUFACTURER'S DIRECTIONS FOR APPLICATION, INSTALLATION AND METHODS SHEET # EVEN TRANSITION. PATCH WORK TO MATCH EXISTING ADJACENT WORK IN TEXTURE AND APPEARANCE SHALL BE FOLLOWED AND ARE HEREWITH MADE A PART OF THE CONSTRUCTION **EXTERIOR** INTERIOR WHEN FINISHED SURFACES ARE CUT SO THAT A SMOOTH TRANSITION WITH NEW 11. INSURANCE: THE CONTRACTOR AND EACH SUBCONTRACTOR NEEDS WORKMAN'S VIFW# WORK IS NOT POSSIBLE, TERMINATE EXISTING SURFACE ALONG A STRAIGHT ON SHEET 1 LINE AT A NATURAL LINE OF DIVISION AND MAKE RECOMMENDATIONS TO COMPENSATION AS REQUIRED BY LAW, AND OWNER REQUIREMENTS AND SUFFICIENT PROTECTION FOR CLAIMS FOR PERSONAL INJURY, INCLUDING CALLOUT TAGS SHEET# ——A101 AT COMPLETION OF WORK IN EACH AREA, CLEAN AND RETURN SPACE TO A DEATH, SHOULD THEY ARISE FROM OPERATIONS UNDER CONTRACT. CONDITION SUITABLE FOR USE BY OWNER. 12. CONTRACTOR IS TO EXERCISE SPECIAL CARE IN THE HANDLING OF MATERIALS. EQUIPMENT AND RUBBISH TO AVOID INCONVENIENCE AND ANNOYANCE TO D. CONSTRUCTION FACILITIES AND TEMPORARY CONTROLS: ADJACENT BUILDINGS AND TENANT AREAS. COLUMN GRID PRIOR TO STARTING WORK, CONTRACTOR SHALL NOTIFY AUTHORITIES AND/OR 13. ALL PHASING AND ALTERNATE DAILY ROUTES DURING CONSTRUCTION SHALL BE **DESIGNATIONS** OWNERS OF EXISTING CONSTRUCTION AND UTILITIES, ON OR ADJACENT TO SITE, DEVELOPED BY THE CONTRACTOR AS PART OF THEIR MEANS AND METHODS. THAT MAY BE AFFECTED BY WORK UNDER THIS CONTRACT COORDINATE ALL PHASING WITH THE OWNER. **ELEVATION TAG** 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF SAFETY PROTECT SUCH ITEMS AGAINST DAMAGE. CONTRACTOR SHALL BE RESPONSIBLE Elevation FOR RELOCATION OF UTILITIES AND CONSTRUCTION MADE NECESSARY BY BARRICADES TO ENSURE SAFETY INSIDE THE BUILDING DURING WORK UNDER THIS CONTRACT, WHETHER TEMPORARY OR PERMANENT. CONSTRUCTION IN AREAS AFFECTED BY THIS CONTRACT. SYMBOL DESCRIPTION SYMBOL DESCRIPTION 15. MEANS OF EGRESS SHALL BE CONTINUOUSLY MAINTAINED FREE OF ALL **ROOM NAME** AREA NAME OBSTRUCTIONS IN CASE OF FIRE OR OTHER EMERGENCY. **ROOM NAME** AREA NAME **E. BARRIERS** 16. ALL PENETRATIONS PASSING THROUGH RATED PARTITION ASSEMBLIES SHALL **ROOM NUMBER** AREA 150 SF PROVIDE BARRIERS TO PREVENT UNAUTHORIZED ENTRY TO CONSTRUCTION MAINTAIN THE INTEGRITY OF THE EXISTING AND/OR NEW RATED PARTITION PER F.B.C. 714.4.1 AREAS AND TO PROTECT EXISTING FACILITIES AND ADJACENT PROPERTIES **EQUIPMENT TAG REVISION TAG 88** 17. NO SUBSTITUTIONS ARE TO BE MADE WITHOUT APPROVAL BY THE ARCHITECT FROM DAMAGE PROTECT NON-OWNED VEHICULAR TRAFFIC, STORED MATERIALS, SITE AND AND OWNER. CONTRACTOR TO SUBMIT SUBSTITUTE MATERIAL SPECIFICATIONS **DEMO KEYNOTE** FINISH TAG FOR APPROVAL IN WRITING TO THE ARCHITECT AND OWNER PRIOR TO STRUCTURES FROM DAMAGE. TAG PROVIDE ACCESS DOORS WITH SELF-CLOSING HARDWARE AND LOCKS. CLOSERS COMMENCEMENT OF WORK. CATEGORY KEYNOTE ? SHALL NOT BLOCK REQUIRED LEGAL EGRESS ROUTES. 18. CONTRACTOR SHALL HAVE AN ENGLISH-SPEAKING SUPERVISOR **NEW KEYNOTE TA** REPRESENTATIVE ON THE WORK SITE AT ALL TIMES, WHO SHALL BE THOROUGHLY KNOWLEDGEABLE OF ALL PLANS, SPECIFICATIONS, AND OTHER ? DOOR TAG WALL TAG PROVIDE SECURITY AND FACILITIES TO PROTECT WORK, EXISTING FACILITIES, CONTRACT DOCUMENTS AND HAS THE AUTHORITY TO ACT ON THE AND OWNER'S OPERATIONS FROM UNAUTHORIZED ENTRY, VANDALISM OR CONTRACTOR'S BEHALF. LOUVER TAG WINDOW TAG THEFT. COORDINATE WITH OWNER'S SECURITY PROGRAM. 19. ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED SHOULD IT BE NECESSARY FOR WORK TO BE CONDUCTED ON WEEKENDS OR 20. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR SPOT ELEVATION **BREAK LINE** ____ "OFF HOURS", THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY OF TO COMMENCING WORK THE PREMISES. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER IN 21. ALL FORMS AND APPROVALS USED ARE TO BE AIA FORMS / CONTRACT SLOPE ARROW ORDER TO OBTAIN KEYS AND ARRANGE FOR THE RETURN OF KEYS. DOCUMENTS AND REQUIRE THE ARCHITECT TO BE THE ACTIVE PARTICIPANT FOR PROCESSING AND APPROVAL THROUGHOUT THE PROJECT. 22. PRIOR TO COMMENCING ANY CHANGE ORDER IN THE WORK THE CONTRACTOR **G. PROGRESS CLEANING:** PROJECT LIMIT LINE MATCHLINE MAINTAIN AREAS FREE OF WASTE MATERIALS, DEBRIS, AND RUBBISH. MAINTAIN SHALL SUBMIT THE CHANGE ORDER REQUEST FORM (AIA G709) TO THE - / ---SITE IN A CLEAN AND ORDERLY CONDITION. ARCHITECT 23. THE CONTRACTOR SHALL NOT PROCEED ON ANY CHANGE ORDER UNTIL HAVING REMOVE DEBRIS AND RUBBISH FROM PIPE CHASES, PLENUMS, CRAWL SPACES, INDICATES EXISTING AREA NOT IN CONTRACT AND OTHER CLOSED OR REMOTE SPACES, PRIOR TO ENCLOSING THE SPACE. RECEIVED THE SIGNED CHANGE ORDER FORM (AIA G701) FROM THE ARCHITECT 24. CONTRACTOR SHALL INCLUDE A TIME IMPACT ANALYSIS ILLUSTRATING THE INFLUENCE OF EACH CHANGE OR DELAY UPON THE CURRENT SCHEDULE WITH **TYPICAL MATERIALS H. TEMPORARY CONTROLS:** ANY CHANGE ORDER SUBMITTAL. NOISE CONTROL: PROVIDE ALL NECESSARY REQUIREMENTS FOR NOISE CONCRETE MASONRY CONTROL DURING CONSTRUCTION PERIOD. CONFORM WITH APPLICABLE OSHA L. DEMOLITION GENERAL NOTES: REQUIREMENTS AND LOCAL ORDINANCES HAVING JURISDICTION. 1. CONTRACTOR SHALL PROTECT EXISTING ADJACENT CONSTRUCTION AND OPERATIONS PRIOR TO STARTING DEMO WORK. DUST CONTROL: EXECUTE WORK BY METHODS TO MINIMIZE RAISING DUST FROM CONCRETE PLYWOOD CONSTRUCTION OPERATIONS. PROVIDE POSITIVE MEANS TO PREVENT AIR-2. DEMOLITION SERVICES AND TEMPORARY WORK PLANNED BY CONTRACTOR BORNE DUST FROM DISPERSING INTO ATMOSPHERE. SHALL NOT IN ANY WAY INTERFERE WITH DAY-TO-DAY OPERATIONS WITHIN THE DEBRIS CONTROL: MAINTAIN ALL AREAS FREE OF EXTRANEOUS DEBRIS. AFFECTED AND/ OR ADJACENT AREAS. COORDINATE WORK WITH ALL TRADES. GYPSUM PROVIDE CONTAINERS FOR DEPOSIT OF DEBRIS. TEMPORARY WORK SHALL INCLUDE (BUT NOT BE LIMITED TO) THE FOLLOWING: WOOD POLLUTION CONTROL: PROVIDE METHODS, MEANS, AND FACILITIES TO PREVENT A. TEMPORARY LIGHT AND POWER. CONTAMINATION OF SOIL, WATER, AND ATMOSPHERE FROM DISCHARGE OF B. TEMPORARY WALLS AND / OR FLOORING. STUCCO STEEL NOXIOUS. TOXIC SUBSTANCES. AND POLLUTANTS PRODUCED BY CONSTRUCTION C. BARRICADE PARTITIONS @ EGRESS CORRIDORS. 4. CONTRACTOR SHALL COORDINATE ALL DEMOLITION AND TEMPORARY WORK W/ OPERATIONS OWNER AS REQUIRED, AND SHALL MAKE ARRANGEMENTS FOR REMOVAL OF **INSULATION** ALUMINUM I. REMOVAL OF UTILITIES, FACILITIES AND CONTROLS: DEBRIS AND HAULING FROM PREMISES WITH A MIN. OF DISTURBANCE ON A DAILY CLEAN AND REPAIR DAMAGE CAUSED BY INSTALLATION OR USE OF TEMPORARY 5. CONTRACTOR TO PROVIDE 72 HOURS PRIOR NOTICE TO BUILDING OWNER FOR TILE / STONE SHUTDOWNS OF ALL MEP & F UTILITIES. RESTORE EXISTING FACILITIES USED DURING CONSTRUCTION TO ORIGINAL CONDITION. RESTORE PERMANENT FACILITIES USED DURING CONSTRUCTION TO THE DRAWINGS DO NOT INTEND TO SHOW ALL OBJECTS EXISTING AT THE SITE. **ABBREVIATIONS** SPECIFIED CONDITION. THE CONTRACTOR MUST VERIFY AT SITE ALL OBJECTS TO BE PRESERVED AND REPORT TO ARCHITECT IN WRITING ANY DISCREPANCIES OR QUESTIONABLE J. CONTRACT CLOSEOUT ACOUSTICAL SUBMIT WRITTEN CERTIFICATION THAT CONTRACT DOCUMENTS HAVE BEEN 7. USE ALL MEASURES NECESSARY TO PROTECT EXISTING OBJECTS DESIGNATED ADJUSTABLE FLOOR REVIEWED, WORK HAS BEEN INSPECTED, AND THE WORK IS COMPLETE IN TO REMAIN, AND IN THE EVENT OF DAMAGE, IMMEDIATELY MAKE ALL REPAIRS ABOVE FINISH FLOOR FLASH. FLASHING ACCORDANCE WITH CONTRACT DOCUMENTS AND READY FOR ARCHITECT'S AND REPLACEMENTS NECESSARY TO MEET THE APPROVAL OF THE ARCHITECT AIR CONDITIONING UNIT FP FIRE PROOFING AND OWNER AT NO ADDITIONAL COST. RFVIFW. AHU AIR HANDLING UNIT FEET / FOOT PROVIDE SUBMITTALS TO ARCHITECT THAT ARE REQUIRED BY GOVERNING OR PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR SHALL CAREFULLY INSPECT ALUM. ALUMINUM GALV. GALVANIZED OTHER AUTHORITIES. THE ENTIRE SITE OF ALL OBJECTS, UTILITIES AND STRUCTURES TO BE REMOVED APPROX.APPROXIMATELY GLASS GL. SUBMIT FINAL APPLICATION FOR PAYMENT IDENTIFYING TOTAL ADJUSTED AND/OR PRESERVED TO DETERMINE REQUIREMENTS FOR PROTECTION OR BD. BOARD GWB GYPSUM WALL BOARD CONTRACT PRICE, PREVIOUS PAYMENTS, AND AMOUNT OF REMAINING DUE. DISCONNECTION AND CAPPING OF WORK IN ACCORDANCE W/ REQUIREMENTS OF BLDG. BUILDING HDWR HARDWARE ADJUST OPERATING PRODUCTS AND EQUIPMENT TO ENSURE SMOOTH AND THE UTILITY COMPANY, OR GOVERNMENT AGENCIES INVOLVED. UNHINDERED OPERATION. BLK. BLOCK HM HOLLOW METAL). THE CONTRACTOR SHALL RE-ROUTE AND/OR CAP OFF ALL UNUSED UTILITIES BLKG. BLOCKING HORIZ. HORIZONTAL INSTRUCT OWNER'S PERSONNEL IN OPERATION, ADJUSTMENT, AND COMING INTO THE SPACE AFTER CHECKING WITH THE ARCHITECT. ALL UTILITIES BUILT UP ROOF HP HIGH POINT MAINTENANCE OF EQUIPMENT AND SYSTEMS, USING THE OPERATION AND IF NOT BEING RE-ROUTED SHALL BE CAPPED OFF AS REQUIRED BY CODE IN HVAC HEATING, VENTILATION & A/C MAINTENANCE DATA AS THE BASIS OF INSTRUCTION. CAB. CABINET PARTITIONS, FLOORS AND CEILINGS. ALL ADJACENT AREAS TO REMAIN IN CATCH B ASIN INCH / INCHES CONDUCT CLEANING AND DISPOSAL OPERATIONS TO COMPLY WITH LOCAL FULL OPERATION. INSUL. INSULATION CEM. CEMENT ORDINANCES AND ANTI-POLLUTION LAWS. 10. CONTRACTOR SHALL NOTIFY OWNER SEVEN CALENDAR DAYS PRIOR TO LT. WT. LIGHT WEIGHT CERAMIC TILE A. DO NOT DISPOSE OF VOLATILE WASTES SUCH AS MINERAL SPIRITS, OIL OR COMMENCEMENT OF DEMOLITION WORK. CJ CONTROL JOINT MAX MAXIMUM PAINT THINNER IN STORM OR SANITARY SEWER. 11. CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL EXISTING UTILITIES. CLKG CAULKING MECH MECHANICAL B. DO NOT DISPOSE OF WASTES INTO STREAMS OR WATERWAYS. USE NOTIFY ARCHITECT OF ANY DISCREPANCIES. CLNG CEILING MFG. MANUFACTURING MATERIALS WHICH WILL NOT CREATE HAZARDS TO HEALTH OR PROPERTY, 12. ALL EGRESS ROUTES SHALL BE MAINTAINED, UNOBSTRUCTED DURING CLR. CLEAR MINIMUM MIN. AND WHICH WILL NOT DAMAGE SURFACES. CONSTRUCTION. CLO. CLOSET MISC. MISCELLANEOUS USE ONLY MATERIALS AND METHODS RECOMMENDED BY MANUFACTURER OF 13. COORDINATE W/ MEPF & STRUCTURAL FOR REQUIRED SLAB AND WALL CMU CONCRETE MASONRY UNIT MO. MASONRY OPENING MATERIAL BEING CLEANED. PENETRATIONS & OPENINGS C.O. CLEAN OUT MTL. METAL PROVIDE CONTAINERS AND LOCATE ON SITE FOR COLLECTION OF WASTE 14. ALL CONSTRUCTION AND DEMOLITION WORK SHALL COMPLY WITH THE LATEST COL. COLUMN NIC NOT IN CONTRACT EDITION OF OSHA STANDARDS AND REGULATIONS. MATERIALS, RUBBISH AND DEBRIS, WHEN APPLICABLE. CONC. CONCRETE NTS NOT TO SCALE EXECUTE CLEANING TO ENSURE THAT BUILDING, GROUNDS, AND PUBLIC 15. CONTRACTOR TO PROVIDE TEMPORARY FENCING AND LOCKING GATE CONST. CONSTRUCTION OC ON CENTER ENTRANCE TO SECURE THE SITE. PROPERTIES ARE MAINTAINED FREE FROM ACCUMULATIONS OF WASTE CONT. CONTINUOUS OVHD. OVERHEAD MATERIALS AND RUBBISH. CENTER LINE SCHED. SCHEDULE 10. USE EXPERIENCED WORKMEN, OR PROFESSIONAL CLEANERS FOR FINAL DETAIL SHT. SHEET CI FANING DRINKING FOUNTAIN SIM. SIMILAR REMOVE TEMPORARY PROTECTION AND LABELS NOT REQUIRED TO REMAIN. SPEC. SPECIFICATIONS DIAMETER 12. VACUUM CARPET SURFACES AND POLISH HARD SURFACED FLOOR FINISHES S.S. STAINLESS STEEL DIM. DIMENSION INSTALLED OR AFFECTED BY WORK DOWN STD. STANDARD 13. CLEAN PERMANENT FILTERS OF VENTILATING EQUIPMENT AND REPLACE DOOR OPENING STL. STEEL DISPOSABLE FILTERS WHEN UNITS HAVE BEEN OPERATED DURING DWG. DRAWING STOR. STORAGE CONSTRUCTION. STRUCT. STRUCTURAL FACH 4. REMOVE WASTE, DEBRIS, AND SURPLUS MATERIALS FROM SITE. CLEAN EXHAUST FAN SUSP. SUSPENDED GROUNDS; REMOVE STAINS, SPILLS, AND FOREIGN SUBSTANCES RESULTING **EXPANSION JOINT** TELEPHONE FROM CONSTRUCTION WORK FROM PAVED AREAS, AND SWEEP CLEAN. RAKE TYP. TYPICAL ELECTRTICAL FLFC. OTHER EXTERIOR SURFACES, AS APPLICABLE. ELEV. **ELEVATOR** UNDERWRITERS LAB. EACH U.N.O. UNLESS NOTED OTHERWISE EXHAUST FAN VCT VINYL COMPOSITE TILE **EXPANSION JOINT** VIF VERIFY IN FIELD ELECTRTICAL ELEC. WITH ELEV. ELEVATOR W.C. WATER CLOSET **EQUAL** W.P. WATERPROOFING EXIST. EXISTING PTD. PAINTED FLOOR DRAIN QTY. QUANTITY FIRE EXTINGUISHER R.D. ROOF DRAIN FIRE EXTINGUISHER CABINET REQD. REQUIRED FINISH FLOOR

.		INTERIOR	FINISHES	PROJECT DESCRIPTION
			ES FBC 803.1.1 & TABLE 803.11 NISH FBC 804	THE WORK CONSISTS OF A NEW TICKET SALES AND RESTROOM KIOSK INCLUDING BUT NOT LIMITED TO:
	R-2 & S-2)	INT. EXIT STAIRWAYS AND RAMPS & EXIT PASSAGEWAYS	N/A	-A NEW SEPARATE CMU ENCLOSURE WITH SLOPED ROOF BUILDING TO SERVE AS TICKET SALES POINT A
) CEILING: (R-2	CORRIDORS & ENCLOSURE FOR EXIT ACCESS STAIRWAYS	N/A	
	WALL AND	ROOMS & ENCLOSED SPACES	CLASS C: FLAME SPREAD 76-200; SMOKE DEVELOPED 0-450	
	FLOOR	INTERIOR FLOOR FINISH IN EXIT ENCLOSURES, EXIT	CLASS II: 0.22 watts/cm² OR GREATER	
		PASSAGEWAYS, CORRIDORS & ROOMS		CODE ANALYSIS
	ROUP B)	INT. EXIT STAIRWAYS AND RAMPS & EXIT PASSAGEWAYS	N/A	APPLICABLE CODES
	WALL AND CEILING: (GROUP	CORRIDORS & ENCLOSURE FOR EXIT ACCESS STAIRWAYS	N/A	THE FOLLOWING IS A LIST OF APPLICABLE CODES FOR THE PROJECT. WHERE DIFFERENT REQUIREMENT FLORIDA FIRE PREVENTION CODE AND THE FLORIDA BUILDING CODE, THE MOST STRINGENT AND RESTF APPLICABLE AND ARE NOTED IN THIS OUTLINE. A. FLORIDA BUILDING CODE (FBC) 2020, BUILDING - 7TH EDITION (WITH SUPPLEMENTS) B. FLORIDA BUILDING CODE (FBC) 2020, ACCESSIBILTY, 7TH EDITION
	WALL AND	ROOMS & ENCLOSED SPACES	CLASS C: FLAME SPREAD 76-200; SMOKE DEVELOPED 0-450	C. FLORIDA BUILDING CODE (FBC) 2020, - 7TH EDITION - MECHANICAL, ENERGY CONSERVATION, FUD. FLORIDA FIRE PREVENTION CODE (FFPC) 2020, 7th EDITION E. NATIONAL FIRE PROTECTION ASSOCIATION (NFPA 101), LIFE SAFETY CODE 2018 EDITION F. NFPA 1, FIRE CODE, 2018
	FLOOR	INTERIOR FLOOR FINISH IN EXIT ENCLOSURES, EXIT PASSAGEWAYS, CORRIDORS & ROOMS	CLASS II: 0.22 watts/cm² OR GREATER	BUILDING/ZONING: CITY OF OCALA, FLORIDA FIRE JURISDICTION: CITY OF OCALA, FLORIDA

PARATE CMU ENCLOSURE WITH SLOPED ROOF BUILDING TO SERVE AS TICKET SALES POINT AND PUBLIC RESTROOMS. **CODE ANALYSIS APPLICABLE CODES** DWING IS A LIST OF APPLICABLE CODES FOR THE PROJECT. WHERE DIFFERENT REQUIREMENTS ARE SPECIFIED BY THE FIRE PREVENTION CODE AND THE FLORIDA BUILDING CODE, THE MOST STRINGENT AND RESTRICTIVE REQUIREMENTS ARE LE AND ARE NOTED IN THIS OUTLINE. LORIDA BUILDING CODE (FBC) 2020, BUILDING - 7TH EDITION (WITH SUPPLEMENTS) LORIDA BUILDING CODE (FBC) 2020, ACCESSIBILTY, 7TH EDITION LORIDA BUILDING CODE (FBC) 2020, - 7TH EDITION - MECHANICAL, ENERGY CONSERVATION, FUEL GAS, PLUMBING LORIDA FIRE PREVENTION CODE (FFPC) 2020, 7th EDITION NATIONAL FIRE PROTECTION ASSOCIATION (NFPA 101), LIFE SAFETY CODE 2018 EDITION IFPA 1, FIRE CODE, 2018 ZONING: CITY OF OCALA, FLORIDA SDICTION: CITY OF OCALA, FLORIDA

PROJECT DESCRIPTION

BUILDING DATA

RISK CATEGORY OF BUILDINGS (FBC SECTION 1604.5)

LOW HAZARD - RISK CATEGORY I

OCCUPANCY CLASSIFICATION AND USE DESIGNATION (FBC CHAPTER 3) (NFPA 101 CHAPTER 26) MULTIPLE OCCUPANCY:

-STORAGE (STORAGE ROOM) - GROUP S-1- MODERATE-HAZARD; FBC 311.2 -BUSINESS (OFFICE) - GROUP B; FBC 304.1

TYPE OF CONSTRUCTION (FBC CHAPTER 6 - SECTION 601)

CONSTRUCTION TYPE: II-A (NON-SPRINKLERED)

FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (TABLE 601) **BUILDING ELEMENT RATING**

PRIMARY STRUCTURAL FRAME 1 HOURS BEARING WALLS EXTERIOR 1 HOURS

INTERIOR 1 HOURS NONBEARING WALLS & PARTITIONS EXTERIOR 0 HOURS INTERIOR 0 HOURS FLOOR CONSTRUCTION AND ASSOC. SECONDARY MEMBERS 1 HOURS ROOF CONSTRUCTION AND ASSOC. SECONDARY MEMBERS 1 HOURS

ALLOWABLE BUILDING HEIGHT & AREA (FBC CHAPTER 5) (TYPE IIA - NON SPRINKLERED)

MAX. ALLOWABLE BUILDING HEIGHT: 65'-0" PROPOSED BUILDING HEIGHT: 14'-6"

MAX. ALLOWABLE NUMBER OF STORIES: 5

PROPOSED NUMBER OF STORIES: 1

MAX. ALLOWABLE AREA: 37,500 SF PROPOSED BUILDING AREA: 1ST FLOOR 460 SF

SEPARATION OF OCCUPANCIES (FBC TABLE 508.4 & NFPA 101 - TABLE 6.1.14.4.1) (USING MOST STRINGENT)

REQUIRED SEPARATION FOR STORAGE, LOW & ORDINARY HAZARD - BUSINESS = NONE

MEANS OF EGRESS

MEANS OF EGRESS (FBC CHAPTER 10)

OCCUPANT LOAD (FBC TABLE 1004.5) (NFPA 101 TABLE 7.3.1.2)

-S-1 STORAGE (MODERATE HAZARD STORAGE) CALCULATION: 72 SF / 300 GROSS = 1 OCC. -ELECTRICAL ROOM: 37 SF / 300 GROSS = 1 OCC.

CALCULATION: 82 SF / 150 GROSS = 1 OCC. -(3) SINGLE USE BATHROOMS -EXTERIOR ACCESS: (4) X 1 OCC. = 3 OCC.

FIRST FLOOR TOTAL OCCUPANT LOAD = 6 OCC

EGRESS WIDTH (FBC 1005.3	2)		
FLOOR	CALCULATIONS	REQUIRED	PROVIDED
1ST FLOOR	0.2 X 51	10.2"	141"
EXIT ACCESS (SPRINKLER	ED BUILDING) (FBC 1006) (USING MOST STR	INGENT OF S2 & B @ 1ST FL):	
MAX. COMMON PATH OF TRAVEL (F	BC 1006.2.1) 1ST FL	100' MAX	VARIE- LESS THAN 100'
MAX. TRAVEL DISTANCE (FBC TABL	E 1017.2) 1ST FL	200' MAX	VARIE- LESS THAN 100'
DEAD END CORRIDOR (FBC SECTION	N 1020.4) 1ST FL	20' MAX	NONE

REVISIONS DESCRIPTION PROJECT TEAM PROFESSIONAL IN CHARGE ADOLFO J. COTILLA, JR., AIA REGISTRATION-NUMBER APPROVED BY D E S I G N E D B Y -----D R A W N B Y

CHECKEDBY

S U B M

Progress Set

PHASE

A L S

05-01-2023

DESIGN CONSULTANT

OCALA SUNTRAN **RESTROOMS & KIOSK**

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PROJECT DESCRIPTION. **GENERAL NOTES CODE ANALYSIS** SYMBOL LEGEND

SHEET TITLE

architecture engineering roofing consulting

construction management

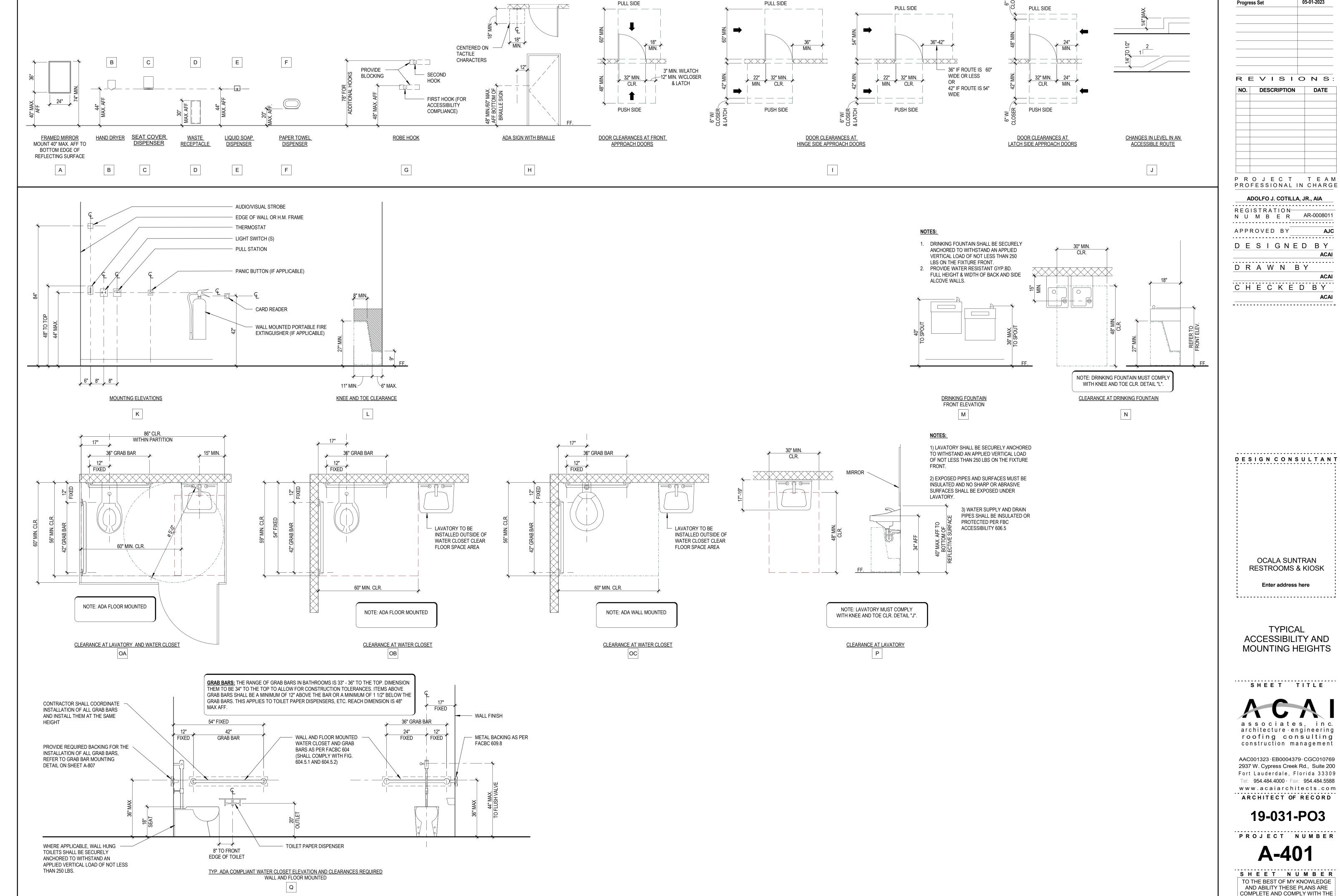
AAC001323 · EB0004379 · CGC010769 2937 W. Cypress Creek Rd., Suite 200 Fort Lauderdale, Florida 33309 Tel: 954.484.4000 - Fax: 954.484.5588 www.acaiarchitects.com

ARCHITECT OF RECORD 19-031-PO3

PROJECT NUMBER

SHEET NUMBER TO THE BEST OF MY KNOWLEDGE AND ABILITY THESE PLANS ARE COMPLETE AND COMPLY WITH THE APPLICABLE BUILDING CODES

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S U B M I T T A L S: PHASE 05-01-2023 **Progress Set** REVISIONS: DESCRIPTION PROJECT TEAM PROFESSIONAL IN CHARGE

ADOLFO J. COTILLA, JR., AIA

REGISTRATION-N U M B E R AR-0008011 APPROVED BY ····· D E S I G N E D B Y

D R A W N B Y CHECKEDBY

DESIGN CONSULTANT

OCALA SUNTRAN **RESTROOMS & KIOSK**

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TYPICAL ACCESSIBILITY AND MOUNTING HEIGHTS

architecture engineering roofing consulting construction management

AAC001323 · EB0004379 · CGC010769 2937 W. Cypress Creek Rd., Suite 200 Fort Lauderdale, Florida 33309 Tel: 954.484.4000 • Fax: 954.484.5588 www.acaiarchitects.com ARCHITECT OF RECORD

19-031-PO3

PROJECT NUMBER

SHEET NUMBER TO THE BEST OF MY KNOWLEDGE AND ABILITY THESE PLANS ARE COMPLETE AND COMPLY WITH THE APPLICABLE BUILDING CODES COPYRIGHT 2022 BY ACAI ASSOC., INC. 11. CONTRACTOR TO COORDINATE THE LOCATION OF ALL ABOVE CEILING SYSTEMS INCLUDING BUT NOT LIMITED TO DUCTWORK, ETC. TO AVOID CONFLICT WITH LIGHT FISTURES AND OTHER CEILING MOUNTED ITEMS BASED ON THE CEILING HEIGHTS SHOWN ON THE PLANS.

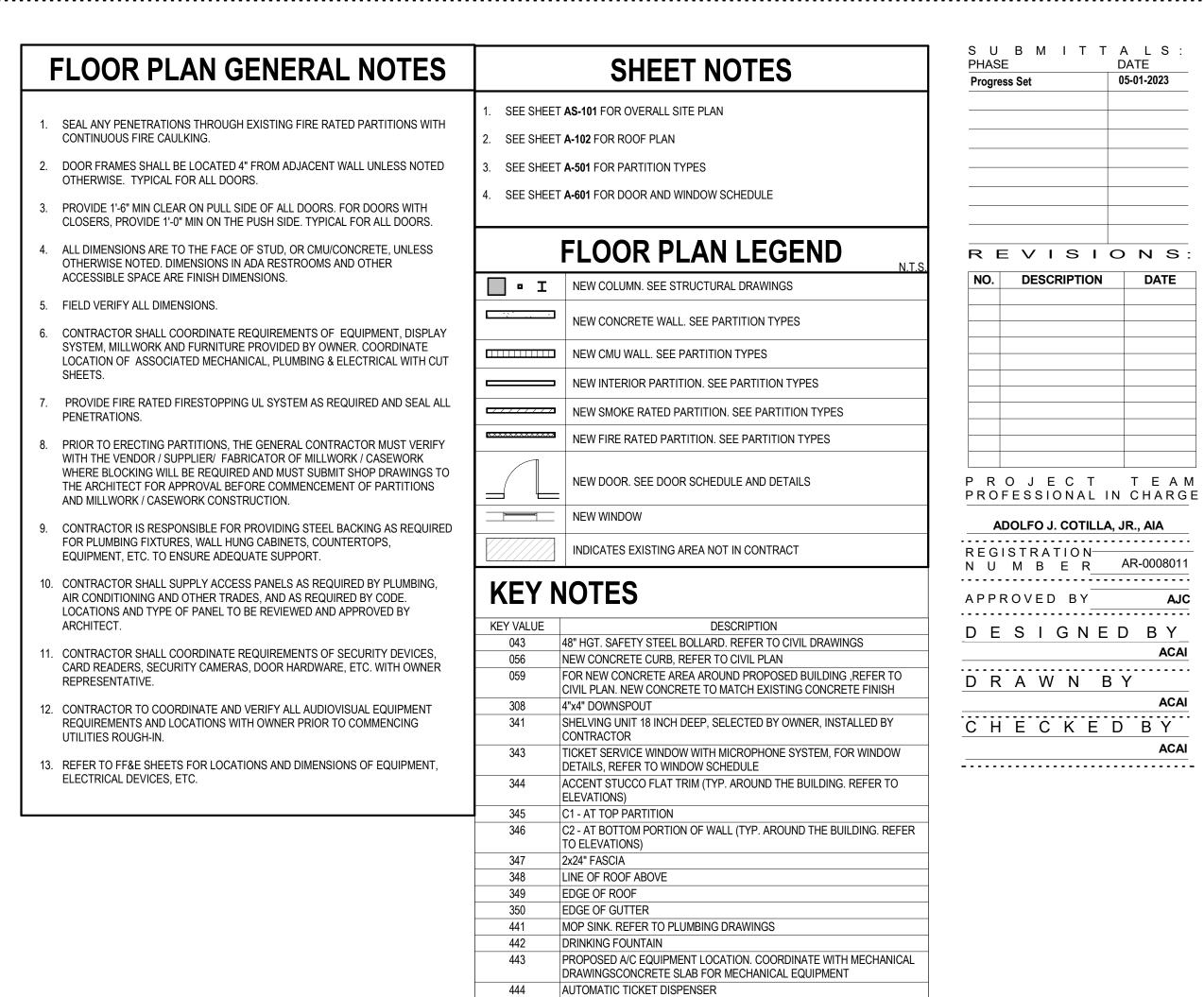
12. REFER TO FINISH SCHEDULE FOR CEILING FINISH SPECS.

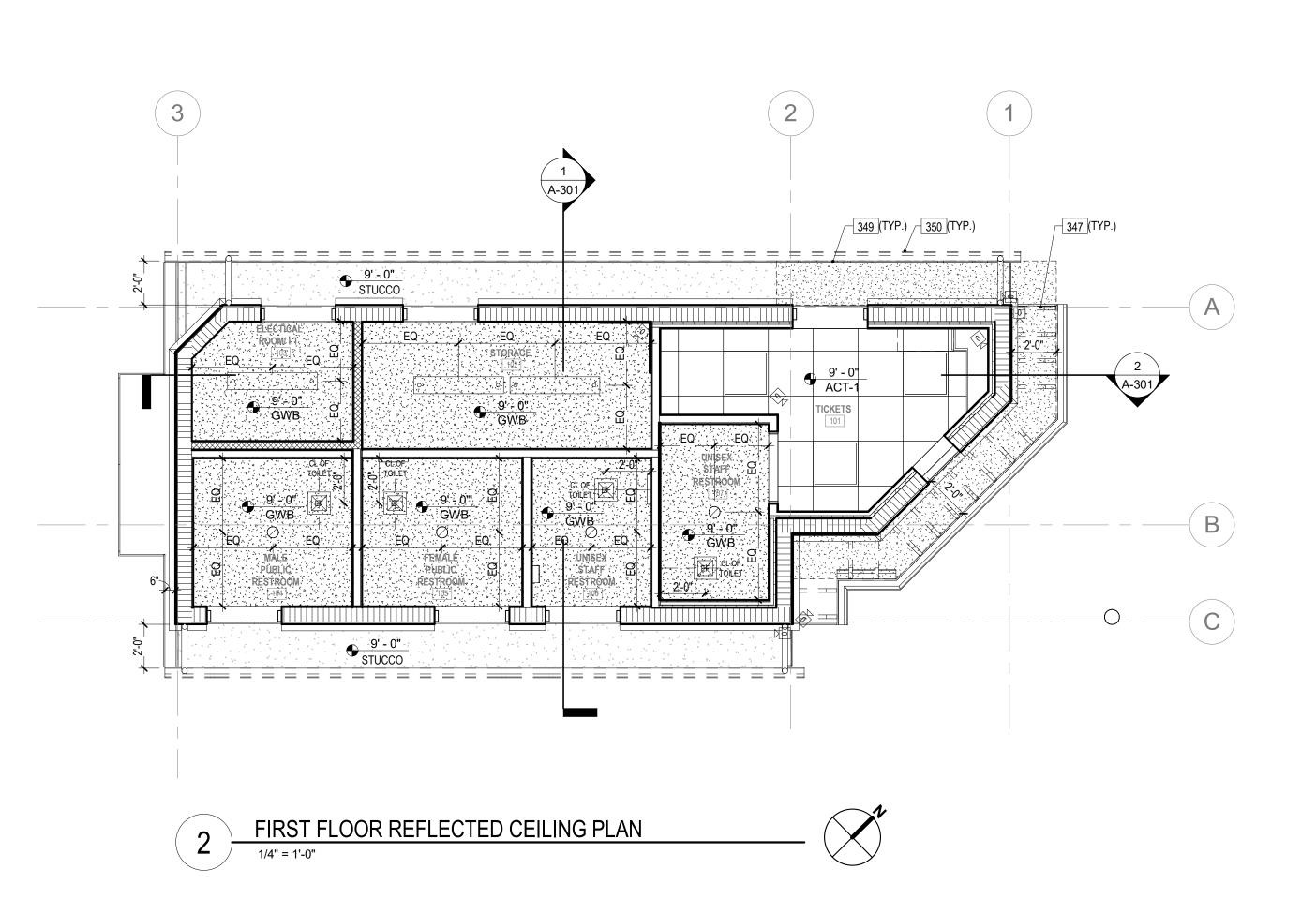
13. CONTRACTOR SHALL ADVISE THE OWNER THAT AN 18" MIN. VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN THE BOTTOM OF THE EXTENDED SPRINKLER HEADS AND THE TOP OF ANY FILES, SHELVING, LOCKERS, ETC.

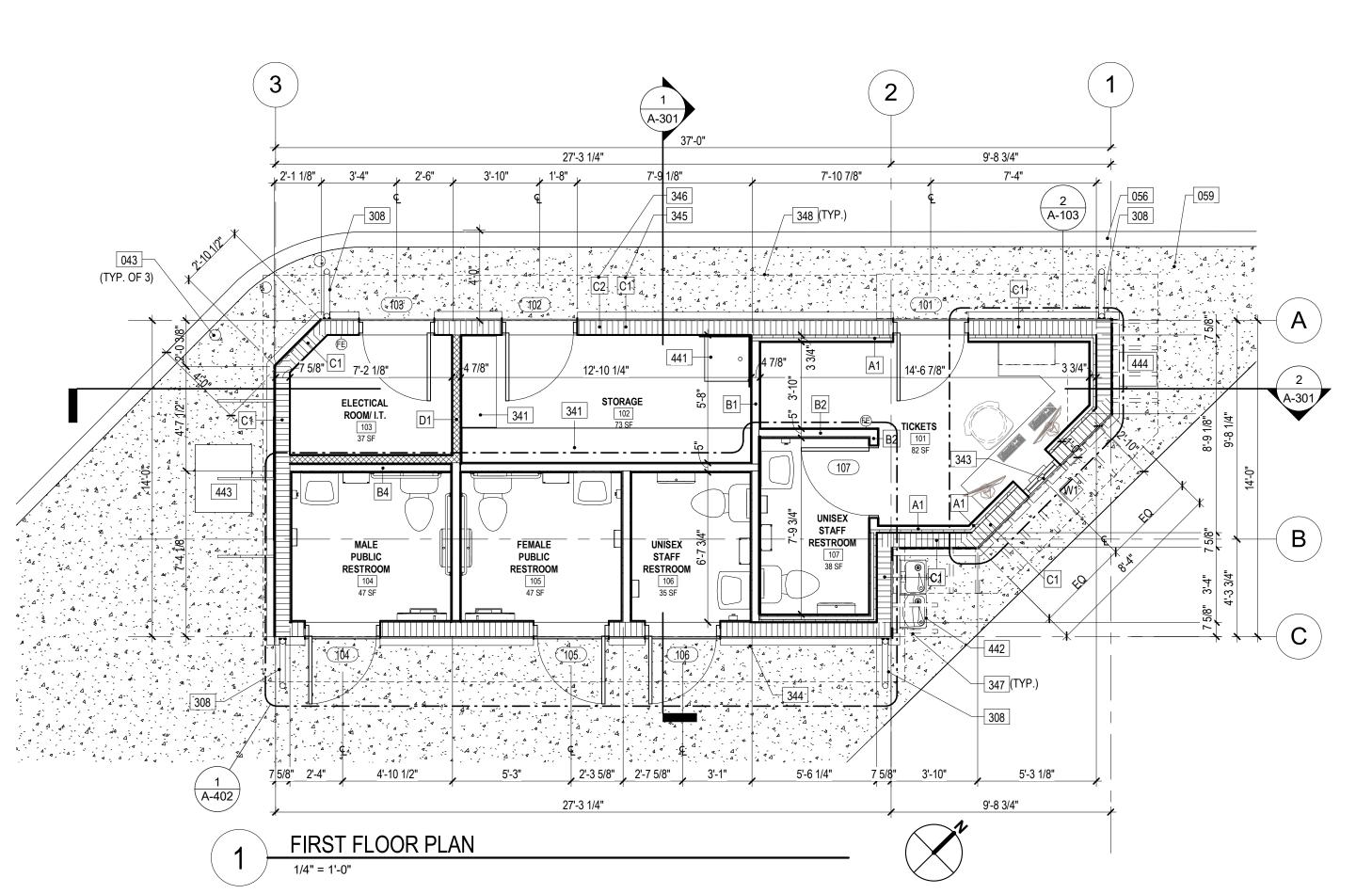
14. SEE FLOOR PLAN GENERAL NOTE 10.

	REFLECTED CEILING NOTES	REF	LECTED CEILING LEGEND N.T.S
1.		SYMBOL	DESCRIPTION
	REFLECTED CEILING PLANS SUCH AS LIGHT FIXTURES AND AIR DIFFUSERS ARE SHOWN TO DENOTE LOCATION AND LAYOUT PATTERN WHERE PLACEMENT IS CRITICAL. THE ARCHITECTURAL DRAWINGS DO NOT REPRESENT COMPLETE SYSTEMS THAT ARE SHOWN ON OTHER DRAWINGS.		2' X 2' ACOUSTICAL CEILING TILE AND GRID. SEE FINISH SCHEDULE
2.	REFER TO MECHANICAL DRAWINGS FOR TYPES AND SIZES OF SUPPLY DIFFUSERS AND RETURN GRILLES.		GYPSUM BOARD CEILING
3.	LIGHT FIXTURES, ALARM DEVICES, AND EXIT SIGNS MAY BE SHOWN ON THE ARCHITECTURAL REFLECTED CEILING PLANS FOR LAYOUT CLARITY ONLY. SEE ELECTRICAL DRAWINGS FOR TOTAL QUANTITIES AND OTHER REQUIREMENTS	• •	LIGHT FIXTURES. SEE LIGHT FIXTURE SCHEDULE (RE: ELECTRICAL DRAWINGS)
4.	REFER TO ELECTRICAL DRAWINGS FOR LIGHTING SCHEDULE AND LIGHTING FIXTURES NOT SHOWN ON ARCHITECTURAL DRAWINGS.	₩	EXIT SIGN. (RE: ELECTRICAL DRAWINGS)
5.	WHERE AN ITEM IS MOUNTED ON THE CEILING, IT SHALL BE CENTERED ON THE ELEMENT (CEILING TILE, GYPSUM BOARD BAND, ETC) IN WHICH IT IS PLACED, UNLESS INDICATED OTHERWISE.	Š	EXIT SIGN WALL MOUNT (RE: ELECTRICAL DRAWINGS)
6.	CEILING HEIGHTS ARE BASED ON DIMENSION ABOVE FINISH FLOOR. (TYPICAL)		NEW AIR RETURN (RE: MECHANICAL DRAWINGS)
7.	· · ·		NEW AIR SUPPLY (RE: MECHANICAL DRAWINGS)
1.	WIRES TO ATTACH TO STRUCTURE ABOVE. DO NOT ATTACH TO HVAC DUCTWORK, ELECTRICAL EQUIPMENT, ETC.	S	NEW SPEAKER. (RE: ELECTRICAL DRAWINGS)
8.	CONTRACTOR WILL BE RESPONSIBLE TO NOTIFY ARCHITECT IMMEDIATELY FOR	Ä	NEW WALL MOUNTED FIRE ALARM HORN (RE: ELECTRICAL DRAWINGS)
•	ANY CONFLICTS WITHIN REFLECTED CEILING PLAN PRIOR TO INSTALLATION.	XX'-X"	DENOTES CEILING HEIGHT
9.	CONTRACTOR TO VERIFY HEIGHT OF EXISTING STRUCTURE AND COORDINATE CEILING HEIGHTS WITH LIGHT FIXTURES, NEW DUCTWORK, PIPING, ETC.	ACT-1	DENOTES CEILING FINISH
10.	CONTRACTOR TO VERIFY HEIGHT OF EXISTING STRUCTURE PRIOR TO ORDER		NOT IN CONTRACT
	AND INSTALLATION OF NEW LIGHT FIXTURES AND CEILING DEVICES.		PROJECT LIMIT LINE 1/A-103 MATCHLINE
11.	CONTRACTOR TO COORDINATE THE LOCATION OF ALL ABOVE CEILING		1///-100

-SEE FLOOR PLAN FOR WALLS, PARTITIONS, DOORS, ETC. -REFER TO ELECTRICAL PLAN FOR ALL LIGHTING. -REFER TO MECHANICAL PLAN FOR ALL MECHANICAL ITEMS.









05-01-2023

DESCRIPTION

ADOLFO J. COTILLA, JR., AIA

AR-0008011

FIRST FLOOR PLAN & REFLECTED CEILING PLAN

SHEET TITLE

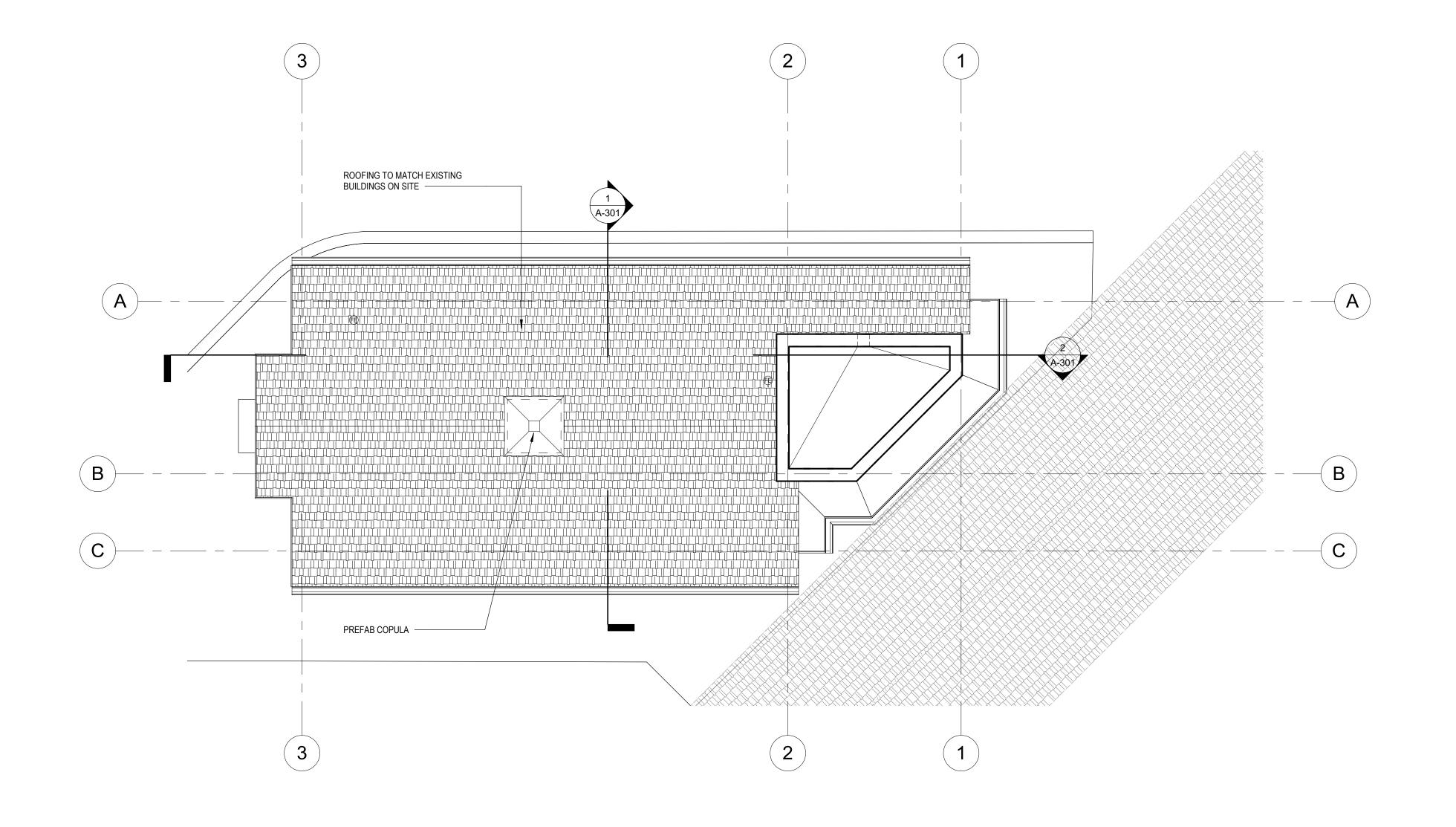
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ARCHITECT OF RECORD 19-031-PO3

PROJECT NUMBER

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ROOF PLAN

ROOF GENERAL NOTES

- 1. CONTRACTOR SHALL COORDINATE ALL ROOF PENETRATIONS AND OPENINGS WITH MEP AND STRUCTURAL DWGS.
- 2. ALL WOOD IN CONTACT WITH MASONRY, STEEL OR CONCRETE SHALL BE PRESSURE TREATED. DIFFERENT MATERIALS SHALL BE SUITABLY ISOLATED
- WHEN IN CONTACT. 3. ALL METAL ACCESSORIES SHALL CONFORM TO SMACNA STANDARDS AND
- 4. ROOFING SHALL COMPLY WITH FBC HIGH VELOCITY HURRICANE ZONE REQUIREMENTS AND SHALL BE INSTALLED PER RAS 115 AND MANUFACTURER'S INSTRUCTIONS.

ROOF PLAN KEY NOTES

ROOFING SYSTEM: {description}.

SHALL COMPLY WITH FBC.

- BASIS OF DESIGN: {manufacturer and product, include noa/fl approval number}
- (2.) ROOFING SYSTEM: {description}. BASIS OF DESIGN: {manufacturer and product, include noa/fl approval number}
- 3. ITEM
- 4. ITEM

Progre	ess Set			ATE 5-01-202	23
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ROOF PLAN

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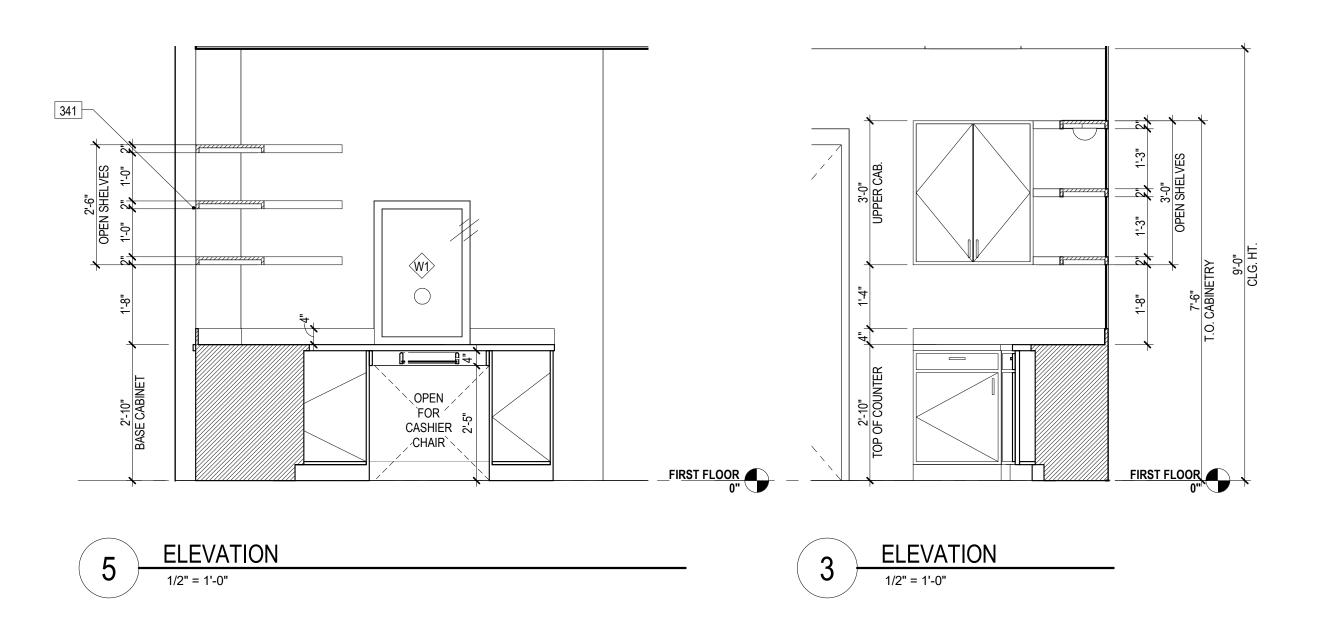
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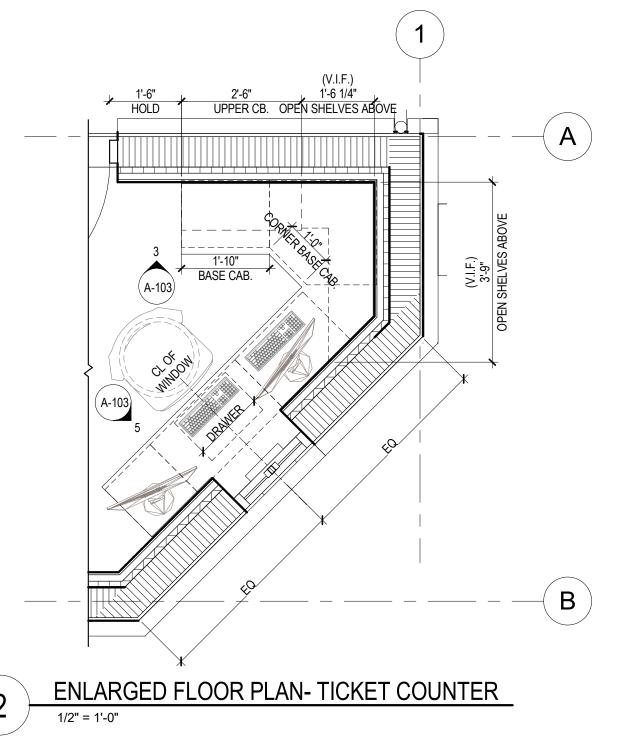
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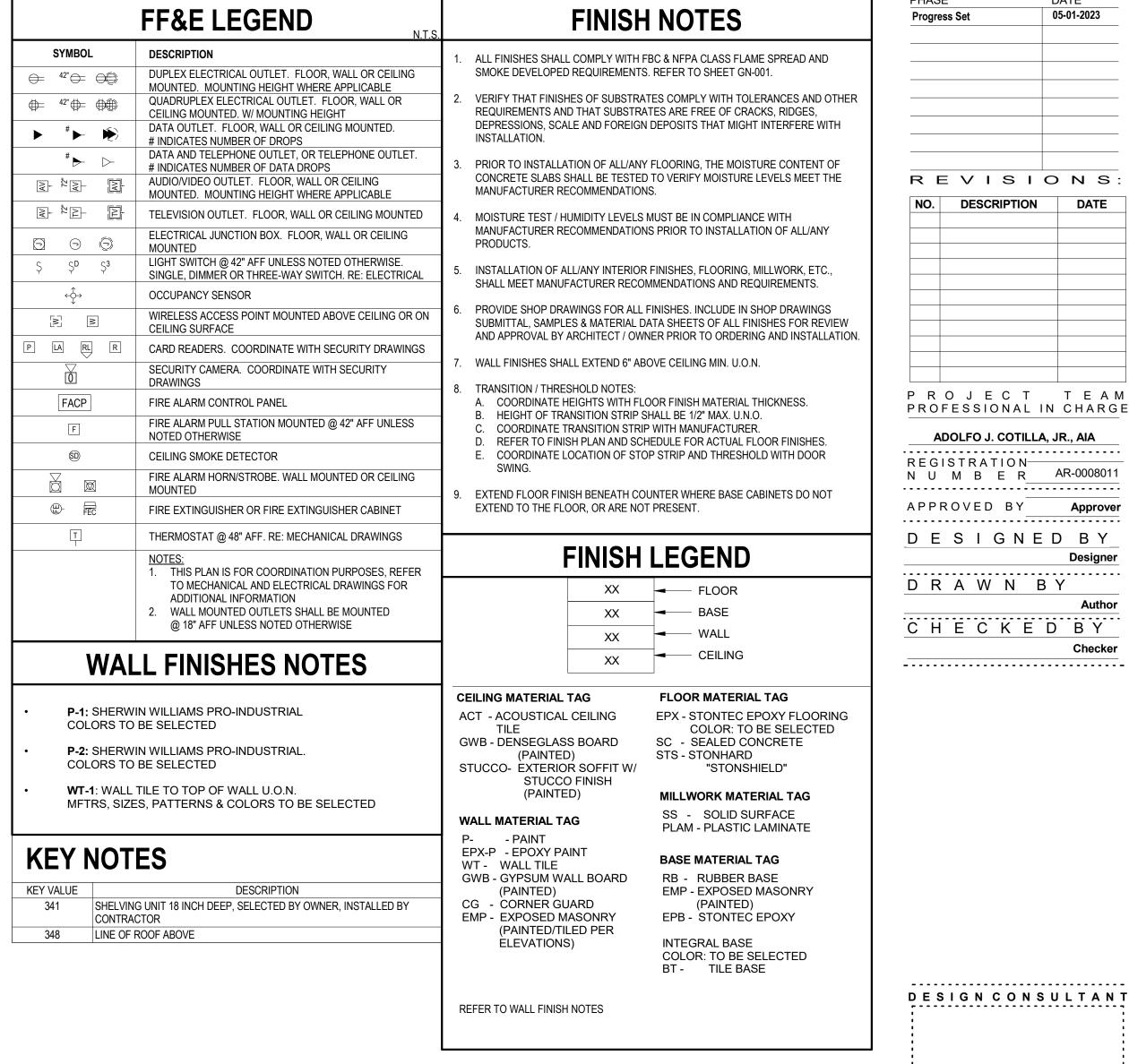
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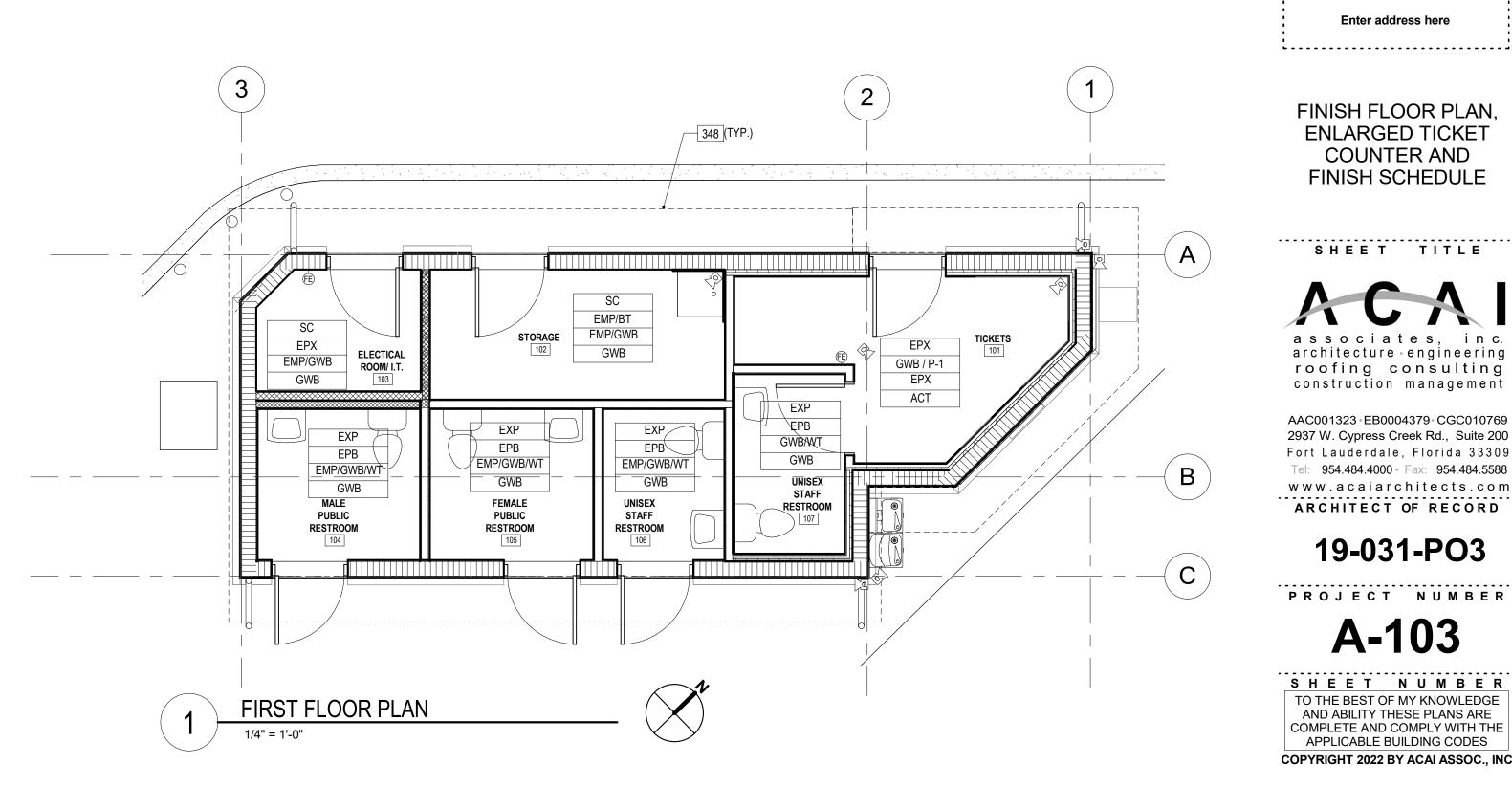
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							FINIS	H SCHE	DULE			
					W	/ALL			MILL	WORK		
							-			UPPER CAB.		
ROOM NO.	ROO	M NAME	FLOOR	BASE	FIELD	ACCENT	CEILING	COUNTER	BASE CAB.	/ SHELVING	BASE	REMARK
110011110.	1100		120011	D7 (02	1 1225	71002111	O E I E II TO	OCCITIENT	<i>Bi</i> (02 0) (B.	, 0	<i>Bi</i> (62	112117
101	TICKETS		EPX	GWB / P-1	EPX		ACT					
102	STORAGE		SC	EMP/BT	EMP/GWB		GWB					
103	ELECTICAL ROO	M/ I.T.	SC	EPX	EMP/GWB		GWB					
104	MALE PUBLIC RE		EXP	EPB	EMP/GWB/WT		GWB					
105	FEMALE PUBLIC		EXP	EPB	EMP/GWB/WT		GWB					
106	UNISEX STAFF F	RESTROOM	EXP	EPB	EMP/GWB/WT		GWB					
107	UNISEX STAFF F	RESTROOM	EXP	EPB	GWB/WT		GWB					
C • 1						FIN	ISHES I	LIST		T		
finish group sub-order	SYMBOL	PRC	DUCT	MANUF	ACTURER	MODEL	/ STYLE	UNIT	SIZE	COLOR /	FINISH	REMARKS
LOORING												
1	EPXY-1	EPOXY FLOORING	G	STONHARD		STONETEC ERF						
	SC-1	SEALED CONCRE	TE									
WALL BASE				T		T				T		
2	EPB	EPOXY BASE		STONHARD		STONETEC ERF						
2	TB-1	TILE COVE BASE										
DAINIT/OTAINI												
PAINT/STAIN	D.4	PAINT		CLIEDWIN WILLIA	MAC							
!	P-1 P-2	PAINT		SHERWIN WILLIA	AIVIO							
•	P-2	PAINT										
CEILING												
6.1	ACT-1	ACOUSTICAL CEI	LING TILE	ARMSTRONG		RANDOM FISSURE	-D	2'x2'				
5.3	GWB	DENSEGLASS BO		GEORGIA PACIFI	IC.	DENSARMOR PLU		ZAZ				
,. .	3115	32.1020B100 B0	, and oblinito	3231311110111		DEI (O) II (WIOTCI EO	<u> </u>					
MILLWORK												
7	PL-1	HIGH PRESSURE	PLASTIC LAMINATE	<u> </u>		HORIZONTAL GRA	,DE					
7	PL-2		PLASTIC LAMINATE			VERTICAL GRADE						
,	S-1	SOLID SURFACE		WILSONART								
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OCALA SUNTRAN

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FINISH FLOOR PLAN, **ENLARGED TICKET** COUNTER AND FINISH SCHEDULE

SHEET TITLE

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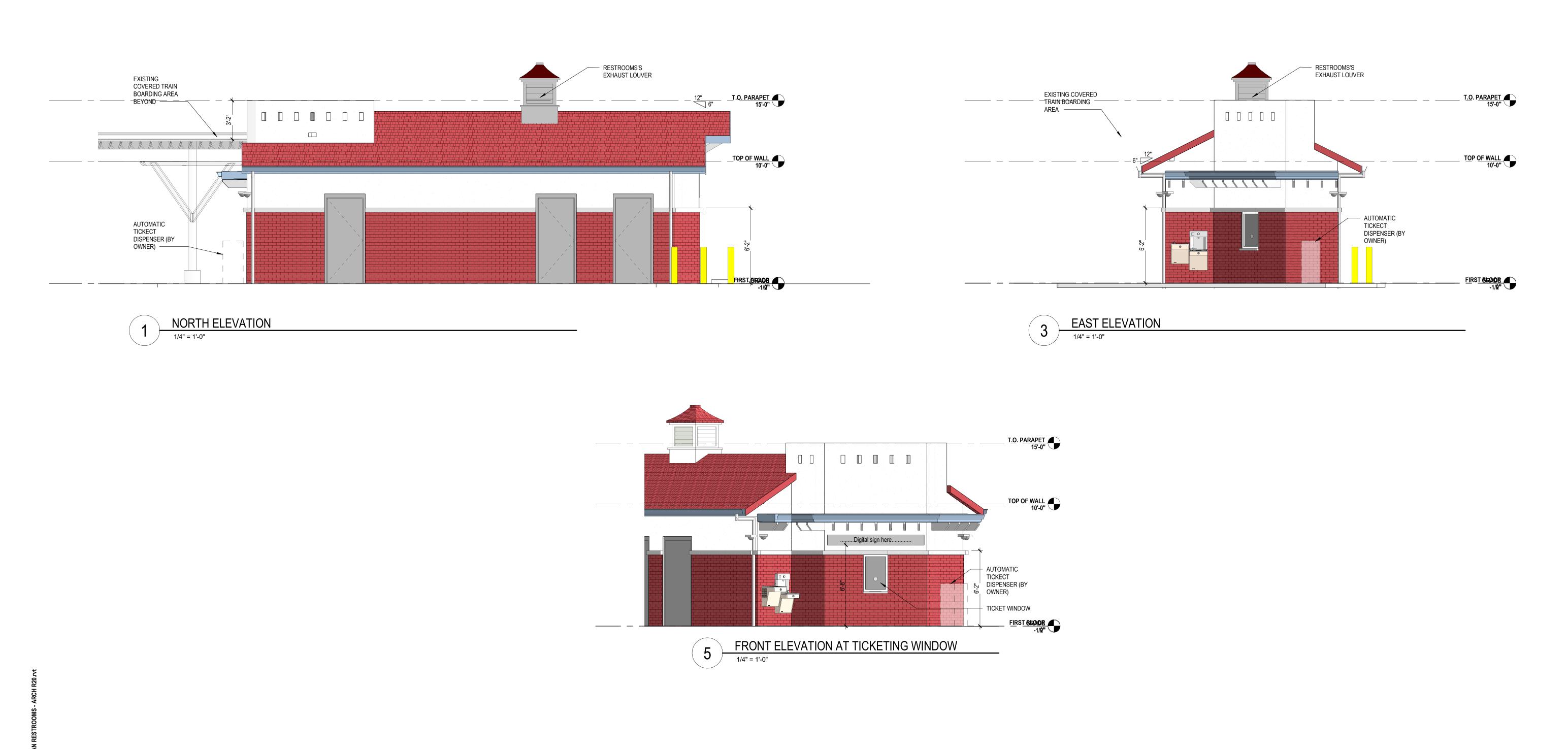
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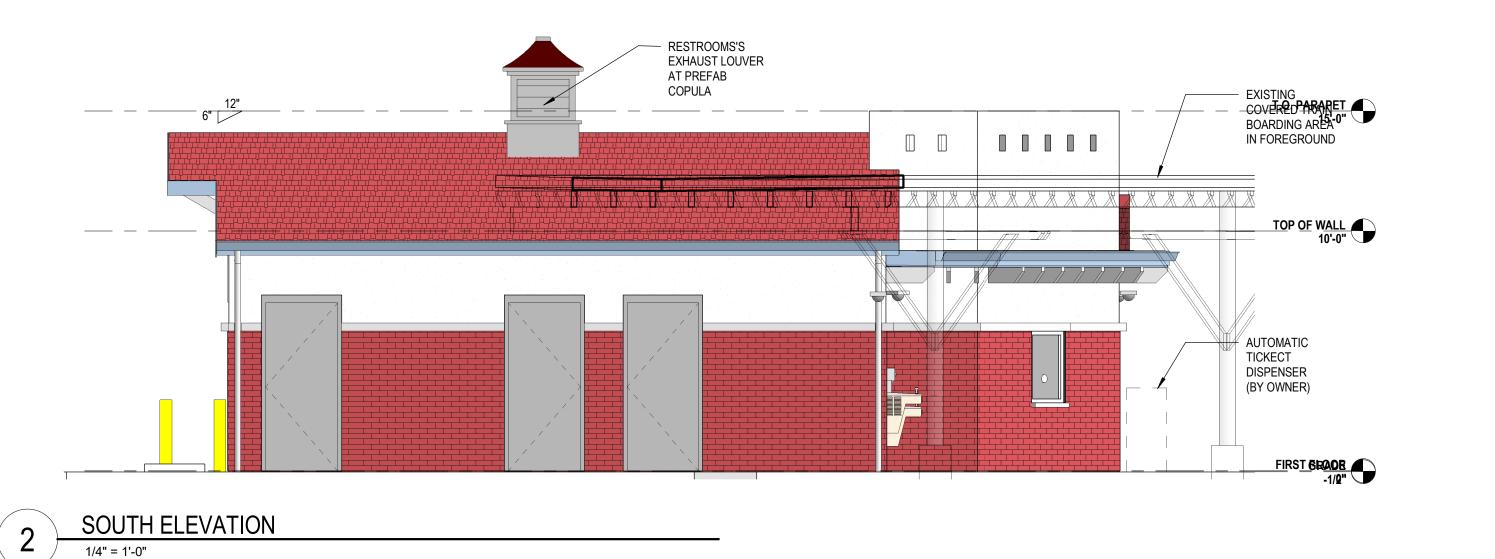
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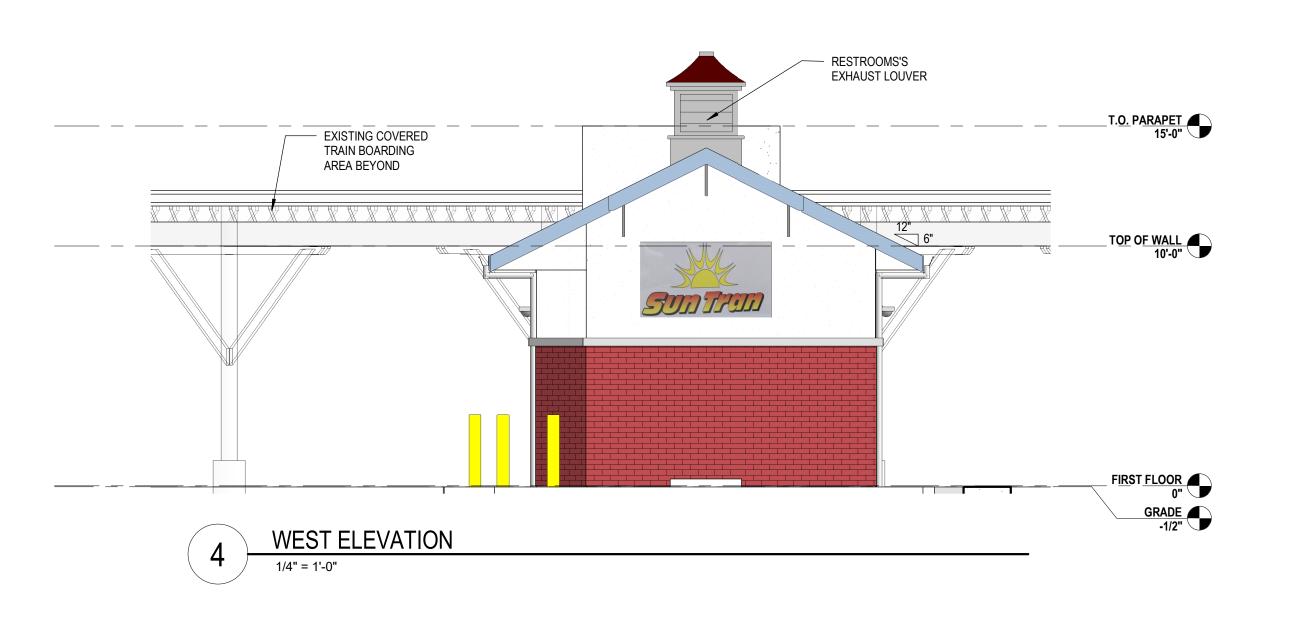
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DESIGNCONSULTANT

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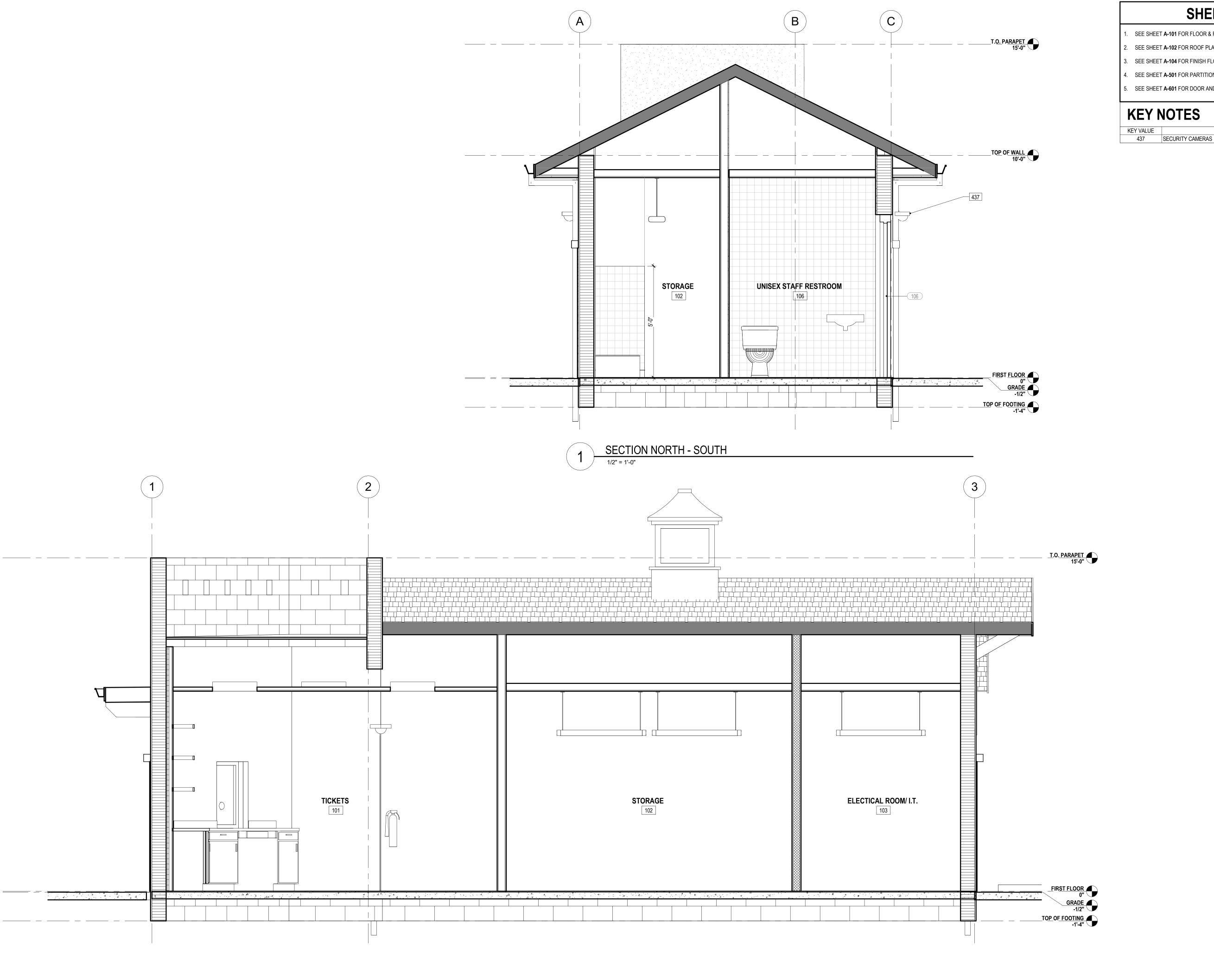
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19-031-PO3

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SHEET NOTES

SEE SHEET A-101 FOR FLOOR & REFLECTED CEILING PLANS

SEE SHEET **A-102** FOR ROOF PLAN

3. SEE SHEET **A-104** FOR FINISH FLOOR PLAN & FINISH SCHEDULE

SEE SHEET **A-501** FOR PARTITION TYPES

. SEE SHEET A-601 FOR DOOR AND WINDOW SCHEDULE

KEY NOTES

DESCRIPTION

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P R O J E C T T E A M PROFESSIONAL IN CHARGE

ADOLFO J. COTILLA, JR., AIA

REGISTRATION NUMBER AR-0008011

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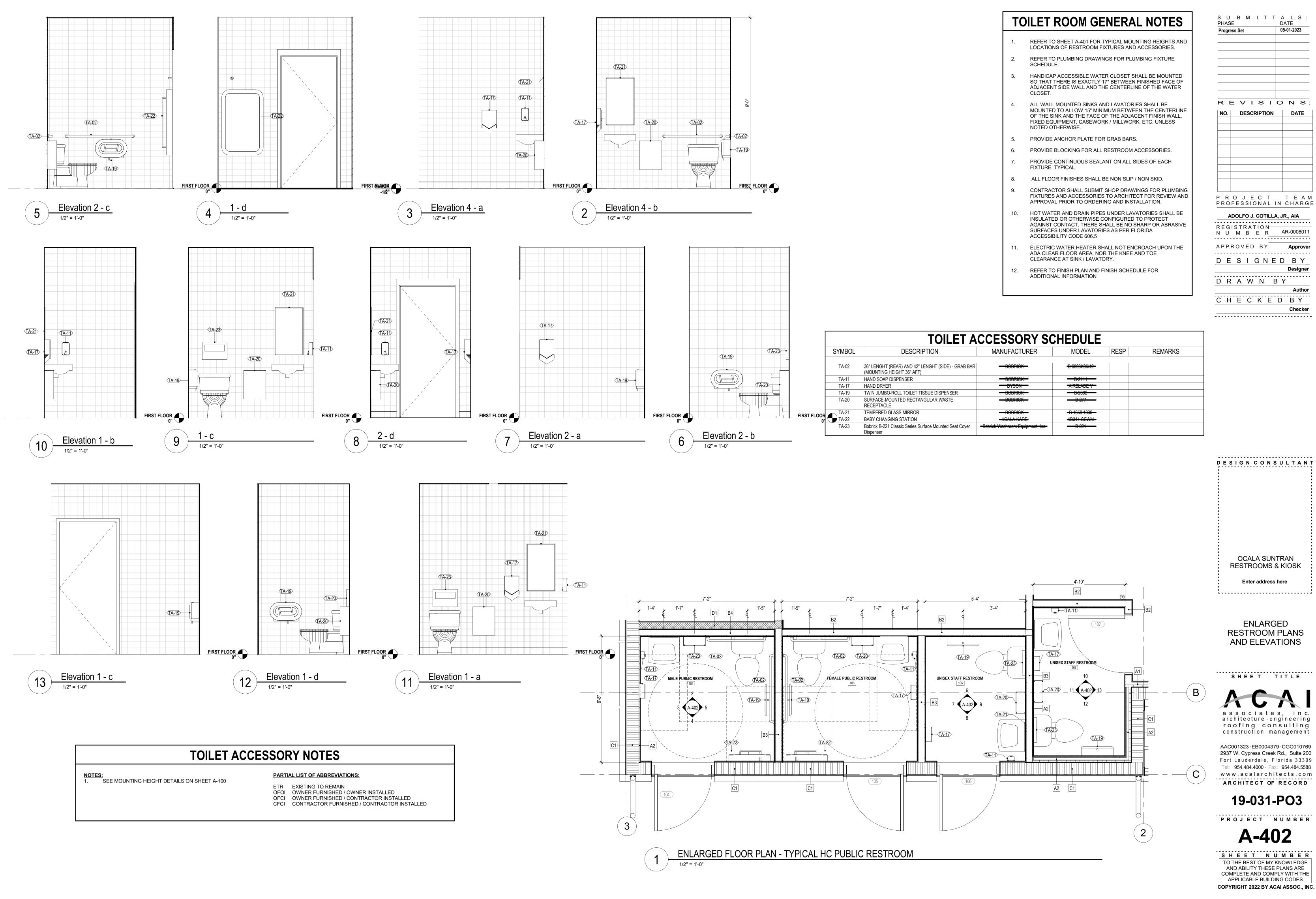
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A-301

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SECTION EAST - WEST



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CMU WALL SCALE: 1 1/2" = 1'-0" U.L. DESIGN NO. U904 (WHERE CORE FILL IS

DESCRIPTION

N/A 7 5/8" CMU -INT. UNFINISHED- EXT. 3/4" STUCCO

C2 N/A 7 5/8" CMU EXPOSED INT- SPLIT FACE EXT.

EXTERIOR

TYPE | WIDTH

UNDERSIDE OF STRUCTURE ABOVE

ROOM WHERE EXPOSED CMU

FACE, TO BE PAINTED AS PER

FINISH SCHEDULE

FINISH AS SCHEDULED

CMU BLOCK WALL, SEE

INSULATION

STRUCTURAL DRAWINGS. SEE CHART FOR SIZE AND

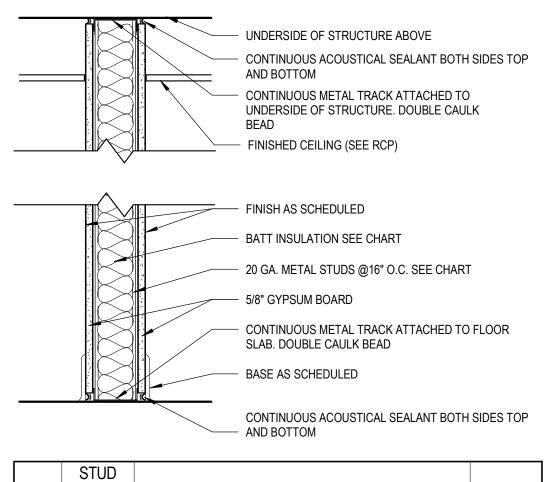
WALL AT INTERIOR IS THE FINISH

INSUL.

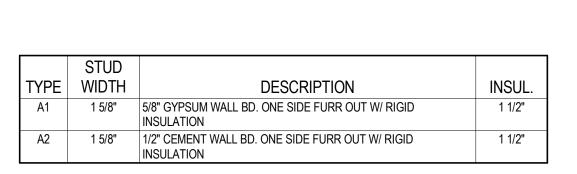
NO

(INTERIOR LOCATIONS ONLY)

INTERIOR



	STUD		
TYPE	WIDTH	DESCRIPTION	INSUL.
B1	3 5/8"	5/8" GYPSUM WALL BD. BOTH SIDES UP TO DECK	3 1/2"
B2	3 5/8"	1/4" TILE OVER 1/2" CEMENT WALL BD. INT / 5/8" GYPSUM WALL BD. EXT. TO DECK	3 1/2"
В3	3 5/8"	1/4" TILE AND 1/2" CEMENT WALL BD. BOTH SIDES ABOVE CEILING	3 1/2"
B4	3 5/8"	1/2" CEMENT WALL BD. INT / 5/8" GYPSUM WALL BD. EXT. ABOVE CEILING	NO



NON-RATED PARTITION - ONE SIDED A SCALE: N.T.S.

PARTITION GENERAL NOTES

PHASE

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05-01-2023

REVISIONS:

PROJECT TEAM

PROFESSIONAL IN CHARGE

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PARTITION TYPES

SHEET TITLE

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DESCRIPTION

SEE INTERIOR ELEVATIONS FOR TILE FINISH HEIGHT & LOCATIONS.

PROVIDE METAL BACKING OR FIRE RETARDANT P.T. WOOD BLOCKING AT ALL WALL MOUNTED FIXTURES, PROJECTION SCREENS, SHELVING, ACCESSORIES, ETC.

ALL PENETRATIONS IN FIRE RATED PARTITION ASSEMBLIES, SHALL MAINTAIN THE INTEGRITY OF THE FIRE RATING. REFER TO MEP DWGS.

ALL THERMAL INSULATING MATERIAL PROVIDED ON THIS PROJECT SHALL COMPLY WITH F.B.C. 720.1.

INSULATING MATERIALS, WHERE CONCEALED AS INSTALLED, IN BUILDINGS OF ANY TYPE CONSTRUCTION, SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN

CORRIDOR PARTITIONS, SMOKESTOP PARTITIONS, HORIZONTAL EXIT PARTITIONS, EXIT ENCLOSURES, AND FIRE RATED WALLS REQUIRED TO HAVE PROTECTED OPENINGS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED WITH SIGNS OR STENCILING IN A MANNER ACCEPTABLE TO THE AUTHORITY HAVING JURISDICTION. SUCH IDENTIFICATION SHALL BE ABOVE ANY DECORATIVE CEILING AND IN CONCEALED SPACES. SUGGESTED WORDING: "FIRE AND SMOKE BARRIER PROTECT ALL OPENINGS" PER F.B.C. 703.7.

25 AND A SMOKE DEVELOPED INDEX OF NOT MORE THAN 450 AS PER F.B.C. 720.2.

PERMANENT, FULL-HEIGHT INTERIOR WALLS AND PARTITIONS SHALL BE DESIGNED TO RESIST A LATERAL LIVE LOAD NOT LESS THAN 5 POUNDS PER SQUARE FOOT

ALL EXPOSED GYP. BOARD SHALL BE PAINTED UNLESS OTHERWISE NOTED OR FINISHED WITH OTHER MATERIAL. SEE FINISH SCHEDULE.

DO NOT ALLOW GYP. BD. TO TOUCH STRUCTURE - STOP GYP BOARD 1/4" BEFORE STRUCTURE AND FILL THE JOINT WITH SEALANT. USE FIRE RETARDANT SEALANT WHEN PARTITION IS RATED.

10. WHERE CASEWORK IS SHOWN, INSTALL 18 GA METAL STUDS AT WALL PARTITIONS.

11. MOISTURE RESISTANT GYPSUM BOARD TO BE USED ON WET SIDE OF WALLS.

12. ALL DIMENSIONS ARE TAKEN FROM FACE OF STUD OR CMU WALL.

13. REFER TO DETAIL ON THIS SHEET FOR WALL PRIORITY LEGEND.

14. UNDERSIDE OF STRUCTURE GYPSUM BOARD TERMINATION TO BE COORDINATED WITH WALL SECTIONS AND DETAILS.

15. DO NOT INSTALL WALL BOXES, ELECTRICAL, DATA, ETC. BACK TO BACK IN A PARTITION. ALL RECESSED WALL DEVICES SHALL BE STAGGERED.

PARTITION PRIORITY LEGEND HIGHER PRIORITY LOWER PRIORITY -2 HOUR FIRE & SMOKE WALL ———— → PRIORITY 1 HIGHEST

2 HOUR FIRE WALL

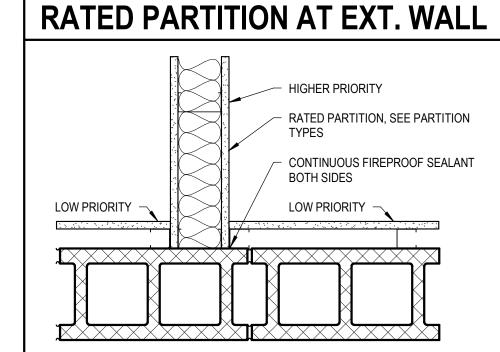
2 HOUR SHAFTWALL

1 HOUR FIRE WALL

1 HOUR FIRE & SMOKE WALL

PRIORITY 4

PRIORITY 5 LOWEST



PARTITION SPECIFICATION

METAL STUDS: METAL STUDS SHALL BE MINIMUM 20 GAUGE THROUGHOUT

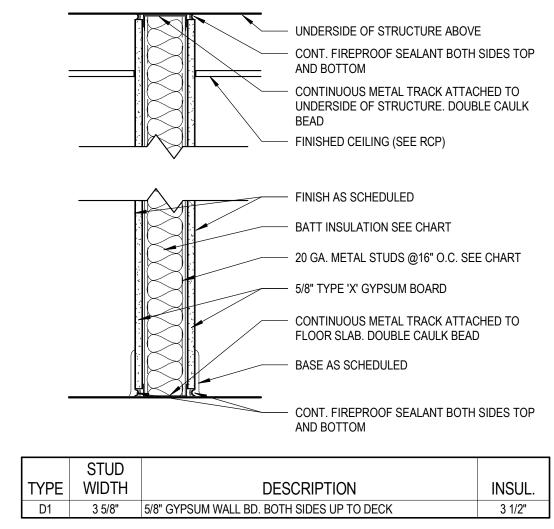
GYPSUM BOARD: ALL GYPSUM BOARD SHALL HAVE A LEVEL 5 FINISH THROUGHOUT

INSULATION: BATT INSULATION SHALL BE 3.5" MINERAL WOOL INSULATION. RIGID INSULATION SHALL BE 1-1/2" EXTRUDED POLYSTYRENE (XPS) RIGID FOAM. ARCHITECT OF RECORD 19-031-PO3

PROJECT NUMBER

A-501

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U.L. DESIGN NO. U465 STC = 48 (STC REPORT RAL TL99-103)

UNDERSIDE OF STRUCTURE ABOVE - CONTINUOUS SEALANT TOP AND BOTTOM FINISHED CEILING, WHERE APPLICABLE(SEE RCP) METAL RUNNER TRACK ATTACHED TO UNDERSIDE OF STRUCTURE 1 1/2" POLYISO INSULATION BOARD, R-9.5 MIN - CMU OR CONCRETE WALL OR COLUMN, SEE STRUCTURAL DRAWINGS 20 GA. METAL STUDS @16" O.C. SEE CHART



	STUD		
TYPE	WIDTH	DESCRIPTION	INSUL.
A1	1 5/8"	5/8" GYPSUM WALL BD. ONE SIDE FURR OUT W/ RIGID INSULATION	1 1/2"
A2	1 5/8"	1/2" CEMENT WALL BD. ONE SIDE FURR OUT W/ RIGID	1 1/2"

(POLYISO INSULATION)

SUBMITTALS

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05-01-2023

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19-031-PO3

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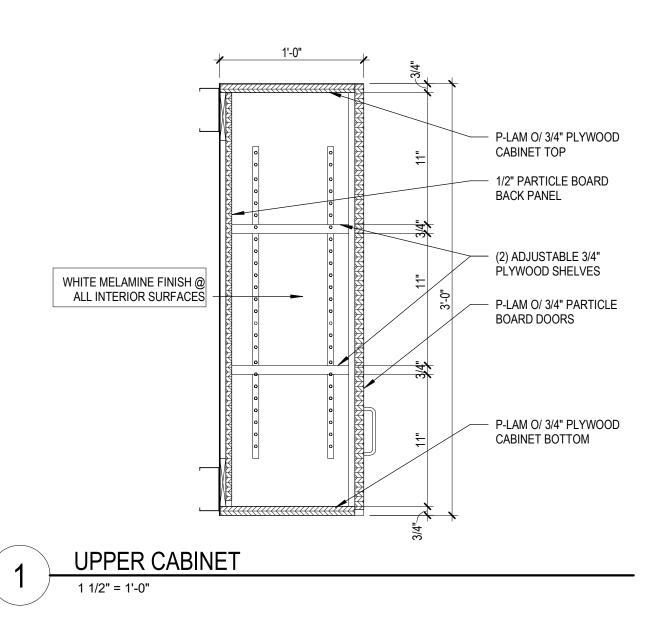
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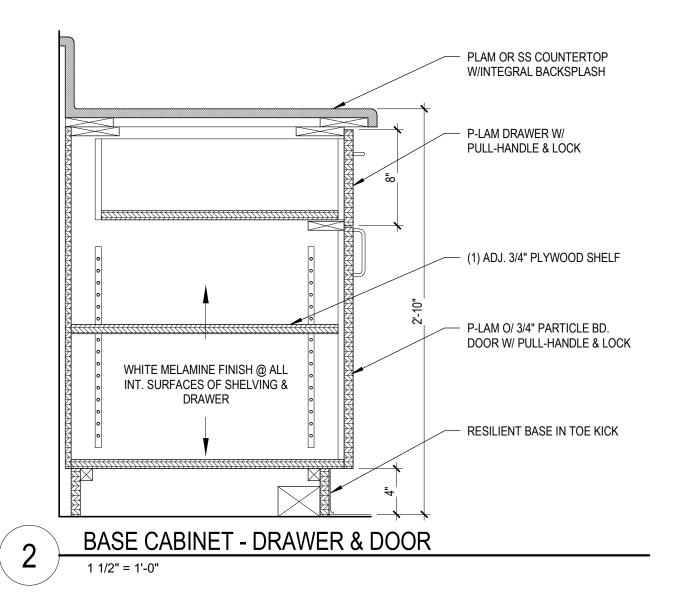
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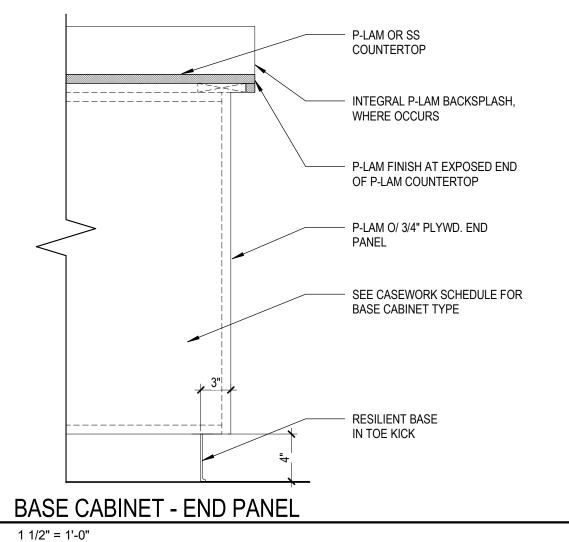
- RESILIANT BASE TYP.

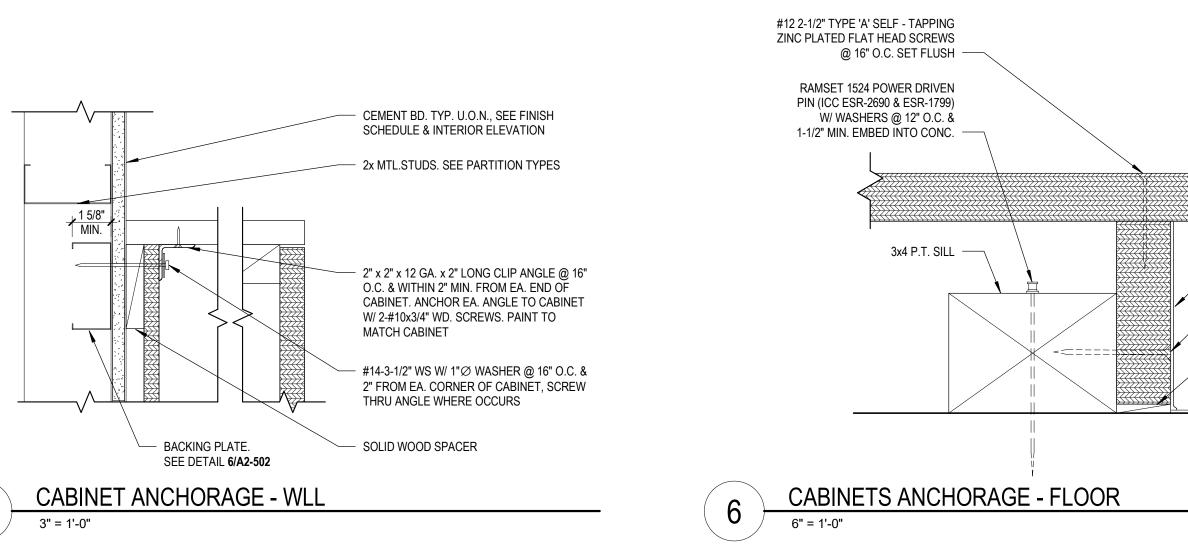
- CONT. SHIM AS REQ.

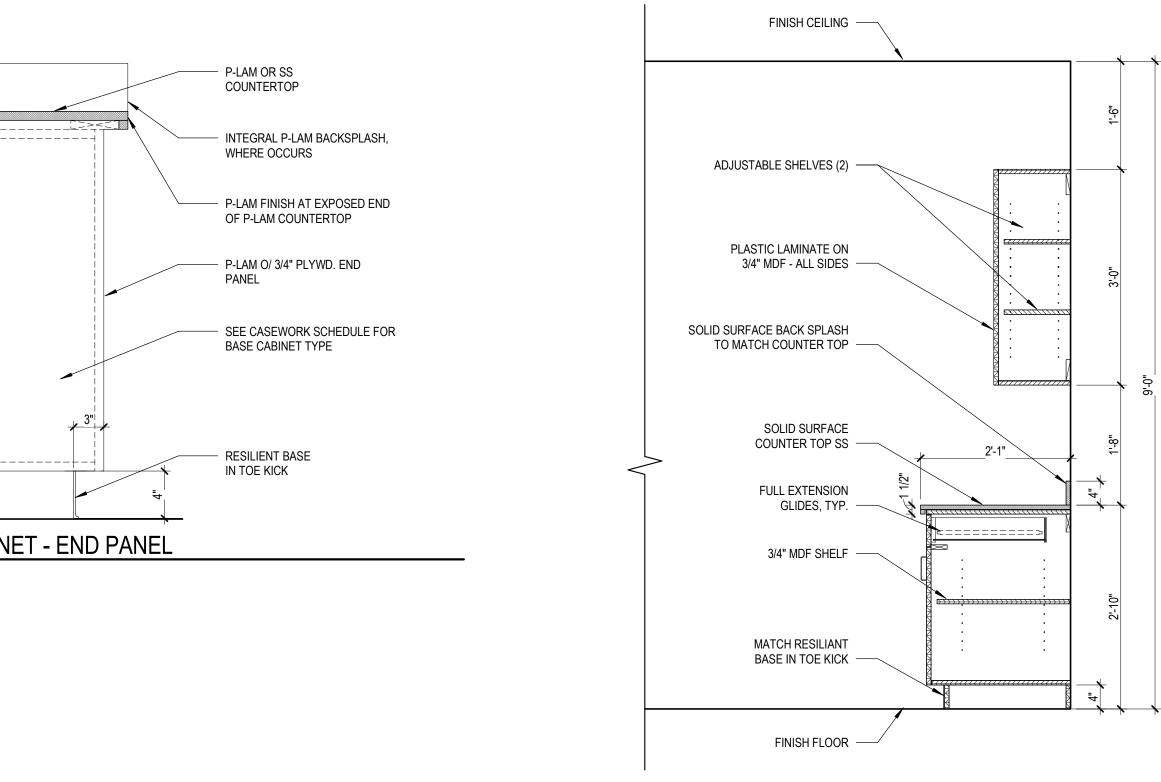
TOP OF FLOOR

- #14 3" W.S. TYPE 'A' SELF TAPPING ZINC PLATED

F.H.S. @12" O.C. SET FLUSH







ALL INTERIOR SURFACES BE WHITE MELAMINE

BASE WITH SHELF WALL CABINET



SUBMITTALS

REVISIONS:

P R O J E C T T E A M PROFESSIONAL IN CHARGE

ADOLFO J. COTILLA, JR., AIA

REGISTRATION NUMBER AR-0008011

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architecture engineering

SHEET TITLE

roofing consulting construction management AAC001323 · EB0004379 · CGC010769 2937 W. Cypress Creek Rd., Suite 200

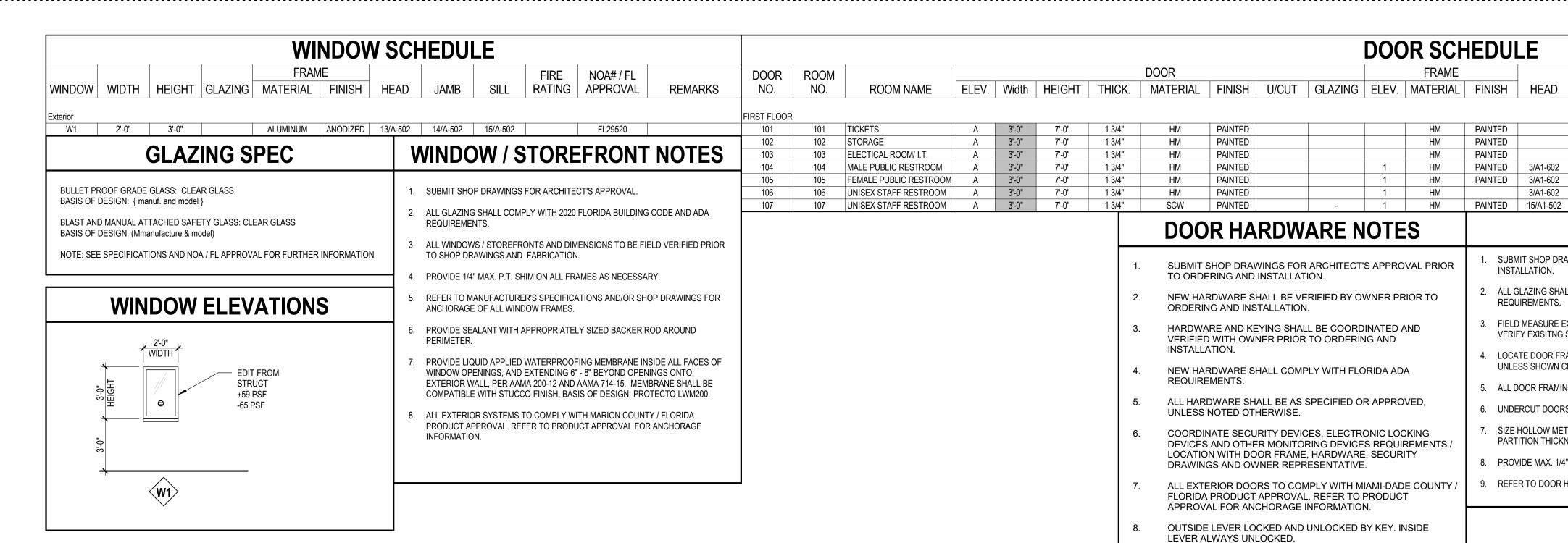
Fort Lauderdale, Florida 33309 Tel: 954.484.4000 • Fax: 954.484.5588 www.acaiarchitects.com ARCHITECT OF RECORD

19-031-PO3

PROJECT NUMBER A-505

SHEET NUMBER TO THE BEST OF MY KNOWLEDGE AND ABILITY THESE PLANS ARE COMPLETE AND COMPLY WITH THE APPLICABLE BUILDING CODES

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ALL GLAZING SHALL COMPLY WITH 2020 FLORIDA BUILDING CODE AND ADA

4. LOCATE DOOR FRAMES WITH HINGE 4" FROM THE CORNER OF ADJACENT WALL,

UNLESS SHOWN CENTERED ON THE WALL OR DIMENSIONED OTHERWISE.

SIZE HOLLOW METAL FRAME THROAT 1/8" GREATER THAN THE ACTUAL

8. PROVIDE MAX. 1/4" P.T. SHIM SPACE ON ALL FRAMES AS NECESSARY.

PARTITION THICKNESS. REFER TO PARTITION TYPES AND FINISH SCHEDULE.

VERIFY EXISITNG STRUCTURAL CONDITIONS AT JAMBS AND HEAD.

5. ALL DOOR FRAMING IS DIMENSIONED AS 2" NOMINALLY, U.N.O.

FIELD MEASURE EXISTING OPENINGS PRIOR TO FABRICATION AND INSTALLATION.

JAMB

REQUIREMENTS.

6. UNDERCUT DOORS 3/4" (MAX.)

9. REFER TO DOOR HARDWARE SCHEDULE.

THRESH./ H/W CARD

DOOR HARDWARE NOTES

SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL PRIOR INSTALLATION. TO ORDERING AND INSTALLATION.

DOOR SCHEDULE

- NEW HARDWARE SHALL BE VERIFIED BY OWNER PRIOR TO
- ORDERING AND INSTALLATION. HARDWARE AND KEYING SHALL BE COORDINATED AND

DOOR

7'-0"

7'-0"

7'-0"

7'-0"

7'-0"

1 3/4"

1 3/4"

1 3/4"

3'-0"

INSTALLATION. NEW HARDWARE SHALL COMPLY WITH FLORIDA ADA

VERIFIED WITH OWNER PRIOR TO ORDERING AND

- REQUIREMENTS. ALL HARDWARE SHALL BE AS SPECIFIED OR APPROVED,
- UNLESS NOTED OTHERWISE. COORDINATE SECURITY DEVICES, ELECTRONIC LOCKING DEVICES AND OTHER MONITORING DEVICES REQUIREMENTS /

LOCATION WITH DOOR FRAME, HARDWARE, SECURITY

- DRAWINGS AND OWNER REPRESENTATIVE. ALL EXTERIOR DOORS TO COMPLY WITH MIAMI-DADE COUNTY / FLORIDA PRODUCT APPROVAL. REFER TO PRODUCT APPROVAL FOR ANCHORAGE INFORMATION.
- OUTSIDE LEVER LOCKED AND UNLOCKED BY KEY. INSIDE LEVER ALWAYS UNLOCKED.

DOOR NOTES

FIRE

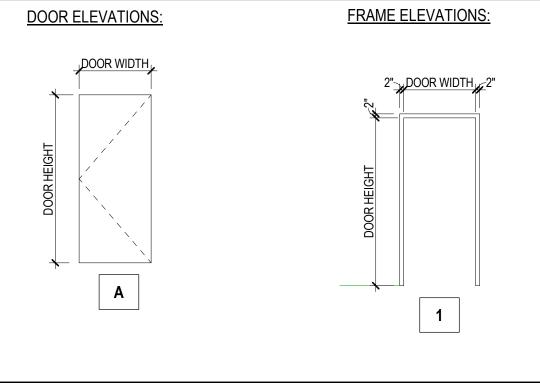
SILL GROUP READER RATING APPROVAL#

SUBMIT SHOP DRAWINGS FOR ARCHITECT'S APPROVAL PRIOR TO ORDERING AND 10. LABELS ARE ASTM CLASSIFICATIONS WITH FIRE RATINGS IN MINUTES. FIRE RATINGS OR LABELS REQUIRED FOR DOOR APPLY EQUALLY TO THE FRAME AND HARDWARE.

REMARKS

- 11. COORDINATE SECURITY DEVICES, ELECTRONIC LOCKING DEVICES AND OTHER MONITORING DEVICES REQUIREMENTS / LOCATION WITH DOOR FRAME, HARDWARE, SECURITY DRAWINGS AND OWNER REPRESENTATIVE.
- 12. REFER TO FINISH PLAN AND SCHEDULE FOR DOOR AND FRAME STAIN AND PAINT COLORS.
- 13. PROVIDE SEALANT WITH APPROPRIATELY SIZED BACKER ROD ON ALL EXTERIOR DOOR FRAMES.
- 14. ALL EXTERIOR DOORS TO COMPLY WITH MARION COUNTY / FLORIDA PRODUCT APPROVAL. REFER TO PRODUCT APPROVAL FOR ANCHORAGE INFORMATION.

DOOR AND FRAME ELEVATIONS



REVISIONS DESCRIPTION P R O J E C T T E A M PROFESSIONAL IN CHARGE ADOLFO J. COTILLA, JR., AIA REGISTRATION-AR-0008011 NUMBER APPROVED BY _____ D E S I G N E D B Y D R A W N B Y

CHECKEDBY

SUBMITTALS

05-01-2023

Author

PHASE **Progress Set**

door no.

DESIGN CONSULTANT	
OCALA SUNTRAN RESTROOMS & KIOSK	
Enter address here	

DOOR AND WINDOW SCHEDULE

SHEET TITLE

architecture engineering roofing consulting

construction management AAC001323 · EB0004379 · CGC010769 2937 W. Cypress Creek Rd., Suite 200 Fort Lauderdale, Florida 33309 Tel: 954.484.4000 - Fax: 954.484.5588

www.acaiarchitects.com ARCHITECT OF RECORD 19-031-PO3

PROJECT NUMBER

A-601

SHEET NUMBER TO THE BEST OF MY KNOWLEDGE AND ABILITY THESE PLANS ARE COMPLETE AND COMPLY WITH THE APPLICABLE BUILDING CODES COPYRIGHT 2022 BY ACAI ASSOC., INC.

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OCALA SUNTRAN RESTROOMS & KIOSK Enter address here

DESIGNCONSULTANT

D E S I G N E D B Y

D R A W N B Y

CHECKEDBY

FINISH SCHEDULE

associates, inc. architecture engineering

SHEET TITLE

architecture engineering roofing consulting construction management

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19-031-PO3

PROJECT NUMBER

A-703

S H E E T N U M B E R

TO THE BEST OF MY KNOWLEDGE
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