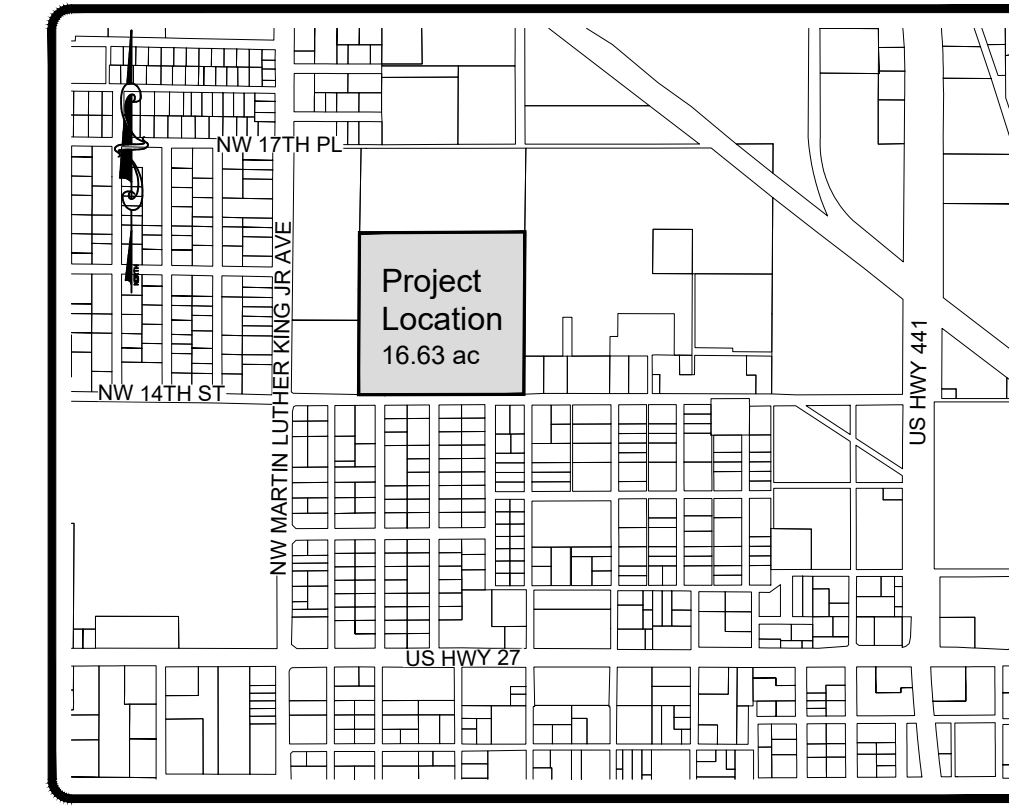
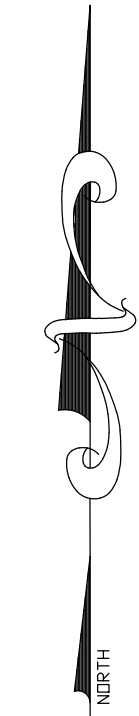


# PINE OAKS PRESERVE

## CONCEPTUAL SUBDIVISION PLAN

OCALA, FLORIDA



LOCATION MAP  
SCALE: 1" = 1000'  
OCALA, FLORIDA  
SECTION 07, TOWNSHIP 15 SOUTH, RANGE 22 EAST

CITY OF OCALA PROJECT  
PROJECT # SUB24-45758

### General Notes:

- PROPOSED DENSITY = 88/16.63 = 5.29 UNITS/ACRE, WHICH INCLUDES INCENTIVES (PER APPROVED PD PLAN).
- THE SPECIFIC USE TO BE PERMITTED ON THE PROPERTY IS SINGLE-FAMILY RESIDENCES.
- TYPICAL PRICE RANGE FOR NEW HOMES IS \$300-350,000
- BUILDING HEIGHT SHALL NOT EXCEED THREE (3) STORIES OR 50'.
- CONSTRUCTION IS PROPOSED IN A SINGLE PHASE.
- FIRE HYDRANTS ARE REQUIRED WITHIN 500 FEET OF THE EXTERIOR REMOTE PORTION OF ANY PROPOSED BUILDING. STANDPIPES SHALL BE WITHIN 100' CLEARANCES SHALL BE MAINTAINED OF SEVEN AND ONE HALF FEET (7'6") IN FRONT OF AND TO THE SIDES OF EVERY FIRE HYDRANT, WITH FOUR FEET (4') CLEARANCE TO THE REAR OF THE HYDRANT.
- SIDEWALKS WITHIN THE DEVELOPMENT SHALL BE PUBLIC.
- ROAD RIGHT OF WAY AS SHOWN ON THE PLAT OF MUNDEN'S SUBDIVISION RECORDED IN PLAT BLOCK A, PAGE 76 AND LYING WITHIN THE BOUNDS OF THIS PROPERTY WERE ABROGATED PER RESOLUTION 72-10 RECORDED IN OFFICIAL RECORDS BOOK 504, PAGE 784 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA. BASED ON THE AMBIGUITIES OF SAID RESOLUTION IT IS UNCLEAR IF THE ROAD NORTH OF SUBJECT PROPERTY WAS ABROGATED OR WAS LEFT OPEN IN THE RESOLUTION.

### Statement of Unified Control:

THE APPLICANT IS IN THE COMPLETE, UNIFIED AND OTHERWISE-UNENCUMBERED CONTROL OF THE ENTIRE AREA OF THE PROPOSED PLANNED DEVELOPMENT. AS APPLICABLE APPLICANT WILL PROVIDE THE CITY ALL NECESSARY DOCUMENTS AND INFORMATION THAT MAY BE REQUIRED BY THE CITY ATTORNEY TO ASSURE THE CITY THAT THE DEVELOPMENT PROJECT MAY BE LAWFULLY COMPLETED ACCORDING TO THE PLANS SOUGHT TO BE APPROVED.

### Public Facilities:

ROADS, DRAINAGE, POTABLE WATER, SANITARY SEWER, ELECTRICAL AND SOLID WASTE COLLECTION SERVICES ARE PUBLIC FOR THE DEVELOPMENT AND WILL BE PROVIDED BY THE CITY OF OCALA. A SMALL PLAYGROUND WITHIN THE DEVELOPMENT WILL BE DEDICATED TO THE CITY FOR PUBLIC USE.

### Traffic:

THE PROPOSED DEVELOPMENT WILL CONSIST OF 88 SINGLE-FAMILY HOMES.

ACCESS TO THE PROPERTY WILL BE OFF OF N.W. 14TH STREET. PROPOSED 50' RIGHT-OF-WAY INTERIOR ROADS INCLUDING TWO ACCESS LOCATIONS TO 14TH STREET ARE SHOWN ON THE PLAN.

TRAFFIC GENERATION RATES ARE BASED ON THE ITE TRIP GENERATION REPORT 11th EDITION.

SINGLE FAMILY DETACHED HOUSING (ITE CODE:210)

88 HOMES X 9.43 = 830 TOTAL DAILY TRIPS  
88 HOMES X 0.75 = 66 AM PEAK HOUR TRIPS  
88 HOMES X 0.99 = 87 PM PEAK HOUR TRIPS

### Water / Sewer Notes:

SEWER NOTES:

- GRAVITY SEWER SHALL BE DESIGNED TO CONNECT TO EXISTING MUNICIPAL SEWER.
- ALL WATER AND SEWER CONSTRUCTION WILL BE IN ACCORDANCE WITH THE CITY OF OCALA WATER AND SEWER CONSTRUCTION MANUAL, VOL III, LATEST EDITION.

WATER NOTES:

- POTABLE WATER MAINS SHALL BE DESIGNED TO CONNECT TO THE EXISTING MUNICIPAL WATER SUPPLY.
- DEVELOPER WILL INSTALL ALL WATER SERVICES TO EACH BUILDING. THE CITY OF OCALA WILL INSTALL WATER METERS ONCE APPLICABLE FEES ARE PAID.
- DEVELOPER TO SUBMIT VALVE TIE SHEETS AFTER CONSTRUCTION.

AS-BUILTS, MEETING THE CITY OF OCALA WATER & SEWER CONSTRUCTION MANUAL REQUIREMENTS ARE TO BE SUPPLIED TO THE CITY PRIOR TO ISSUANCE OF THE C.O. (WSCM 485.2.5.8/495.2.8.5)

### Underground Electric:

ALL ELECTRIC WILL BE UNDERGROUND. UNDERGROUND ELECTRIC PLANS TO BE COORDINATED WITH OCALA UTILITY SERVICE AT TIME OF SUBDIVISION IMPROVEMENT PLANS.

### Solid Waste:

A RESIDENTIAL SOLID WASTE IMPACT FEE, AS ESTABLISHED BY THE CITY COUNCIL, IS DUE AND PAYABLE FOR EACH BUILDABLE LOT AT THE TIME OF FINAL PLAT.

### Drainage Narrative:

THE PROPOSED 16.63 ACRE PINE OAKS PRESERVE PROJECT WILL INCLUDE 88 SINGLE FAMILY HOMES SERVICED BY AN APPROXIMATE 2,975 LINEAR FEET (0.56 MILES) MIAMI TYPE CURB AND GUTTER ROADWAY. CAPACITY EXISTS IN THE ADJACENT MUNICIPAL DRA'S, AND WILL BE PURCHASED AS ALLOWED FOR IN THE CITY OF OCALA CODE.

STORMWATER RUNOFF FROM THIS PROJECT WILL BE COLLECTED THROUGH A SERIES OF INLETS AND PIPES WHICH DISCHARGE INTO EXISTING CITY OF OCALA DRAINAGE RETENTION AREAS (DRA) FOR WATER QUALITY AND/OR WATER QUANTITY ATTENUATION AS REQUIRED BY THE CITY OF OCALA AND SAINT JOHN'S RIVER WATER MANAGEMENT DISTRICT.

STORMWATER DESIGN WILL BE PERMITTED THROUGH CITY OF OCALA AND SJRWMD.

THE MAJORITY OF THE SITE IS LOCATED IN FIRM ZONE "X" (NOT IN THE FLOOD ZONE) PER FEMA. TWO (2) AREAS ARE LOCATED IN ZONE "A" & "AE" AS SHOWN ON THE SURVEY.

### Construction Timeline:

ESTIMATED CONSTRUCTION TO BEGIN FEBRUARY 2025 AND FINISH IN AUGUST 2025.

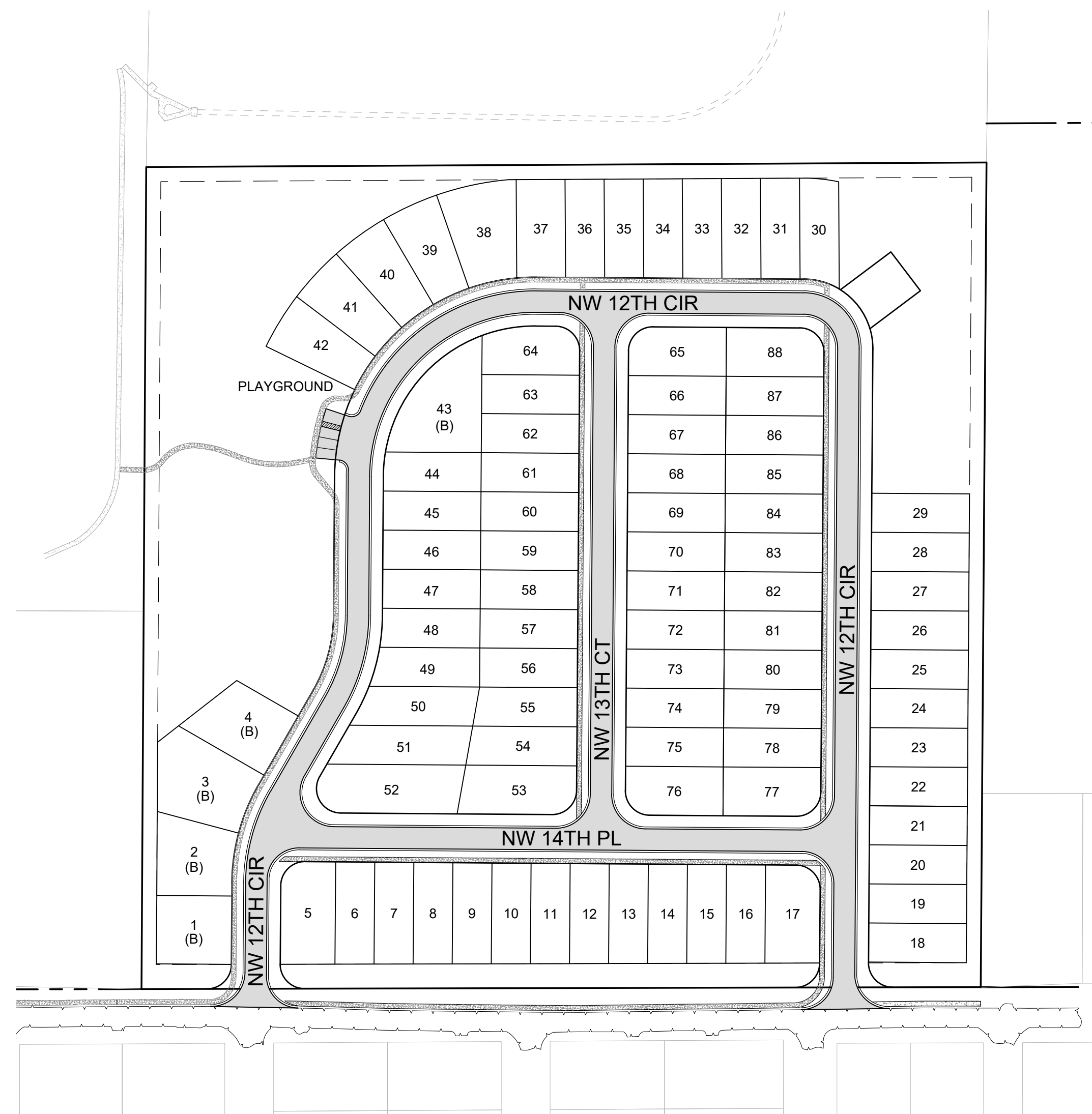
### Existing Conditions:

THE SITE IS SITUATED ON A WOODED LOT SURROUNDED BY THE EXISTING CITY OF OCALA RETENTION AREAS AND NEIGHBORHOODS WHICH CONSISTS OF SINGLE FAMILY & GOVERNMENT USES. MATURE EXISTS EXIST WITHIN THE SITE AND WILL BE PRESERVED AS PART OF THE PROJECTS NATURAL OPEN SPACE. DRAINAGE AND STORMWATER CONTROLS WILL BE PROVIDED TO MEET SJRWMD AND CITY OF OCALA STANDARDS.

### Description:

PER WARRANTY DEED AS RECORDED IN OFFICIAL RECORDS BOOK 7783, PAGE 1264 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

BLOCKS 6, 7, 14 AND 15; LOTS 2 AND 3, OR WEST 1/2 OF BLOCK 8; AND LOTS 2 AND 3, OR WEST 1/2 OF BLOCK 13, MUNDEN'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK A, PAGE 76, PUBLIC RECORDS OF MARION COUNTY, FLORIDA.



### Site Information:

PROJECT NAME: PINE OAKS PRESERVE  
PROJECT LOCATION: 1300 BLOCK OF NW 14TH STREET  
OWNER: SMART FILL INVESTMENTS, LLC  
4810 49TH AVE N  
ST. PETERSBURG FL 33714  
CONTACT: MIKE UNG  
TELEPHONE: (813) 830-8388  
TOTAL SITE AREA: 724,428 SF (16.63 AC)  
EXISTING ZONING: PD  
LOT SETBACKS: PROPOSED FOR PD  
FRONT = 20' FROM LOT BOUNDARY  
REAR = 20' FROM LOT BOUNDARY  
SIDES = 5' FROM LOT BOUNDARY  
PROPOSED UNITS: 88 SINGLE FAMILY UNITS  
PROPOSED DENSITY: 88 UNITS/16.63 ACRES = 5.29 UNITS PER ACRE  
LAND USE: NEIGHBORHOOD  
PARCEL NUMBER: 25773-000-00  
LENGTH OF ROADS: 2975 LF. (0.56 MILES)

### Sheet Index:

- C001 COVER SHEET
- C002 SITE LAYOUT
- C003 LOT DIMENSIONS
- C004 DRAINAGE PLAN
- C005 UTILITIES PLAN
- C006 OPEN SPACE CALCULATIONS
- C007 LANDSCAPE & TREE PLAN
- C008 TREE TABLE
- S001 BOUNDARY & TREE SURVEY (BARRINEAU)

### DESIGN PROFESSIONALS

DESIGN SUBJECT	COMPANY	CONTACT PERSON	PHONE NUMBER
ENGINEER	RADCLIFFE ENGINEERING	MICHAEL W. RADCLIFFE, P.E.	(352) 629-5500
SURVEYOR	R.M BARRINEAU + ASSOC.	TRAVIS BARRINEAU	(352) 622-3133
DEVELOPER	SMART FILL INVESTMENTS	MIKE UNG	(813) 830-8388

Revision	By	Date	REV. PER CITY COMMENTS
10-3-24	BIL	10-3-24	REV. PER CITY COMMENTS
12-12-24	CAS	12-12-24	REV. PER CITY COMMENTS

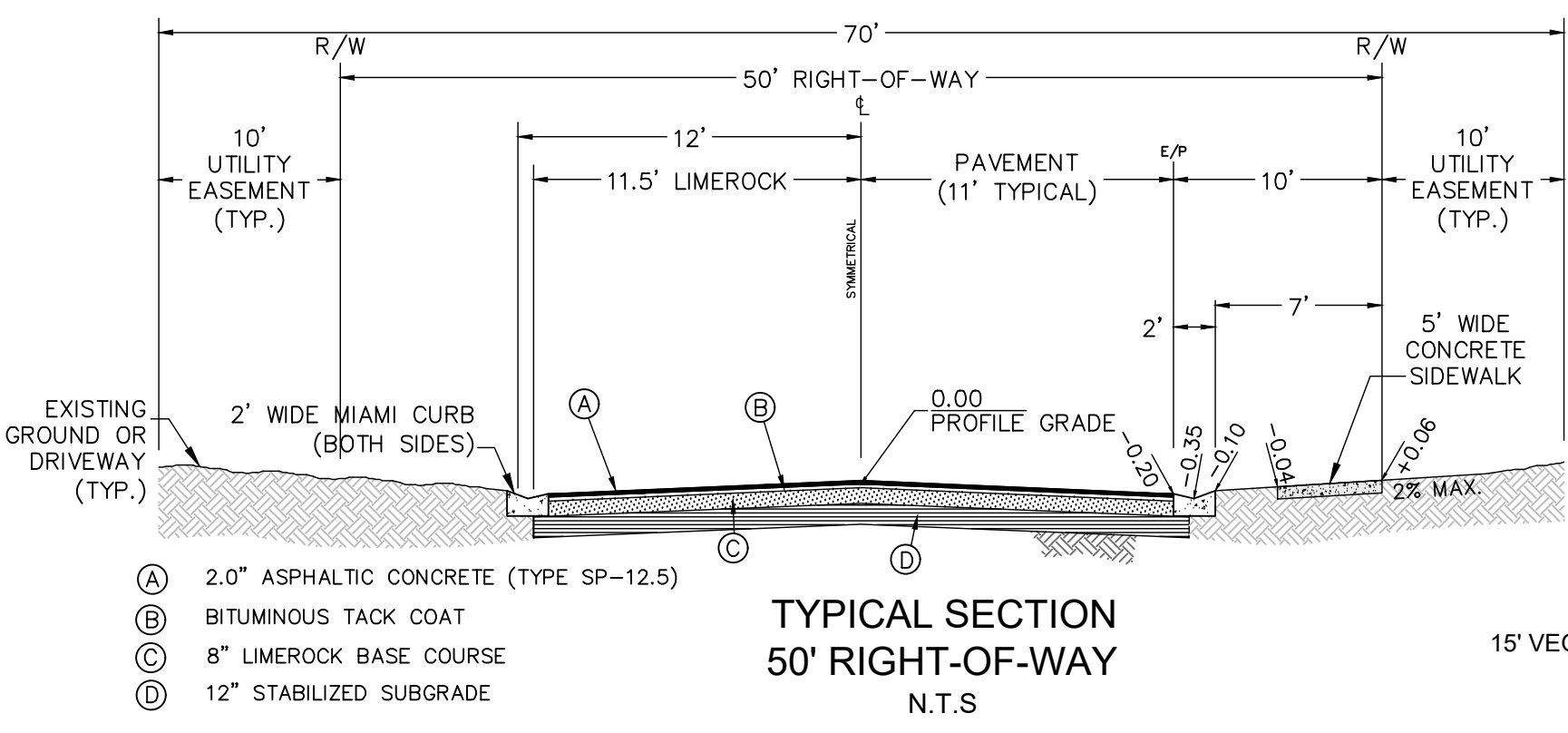
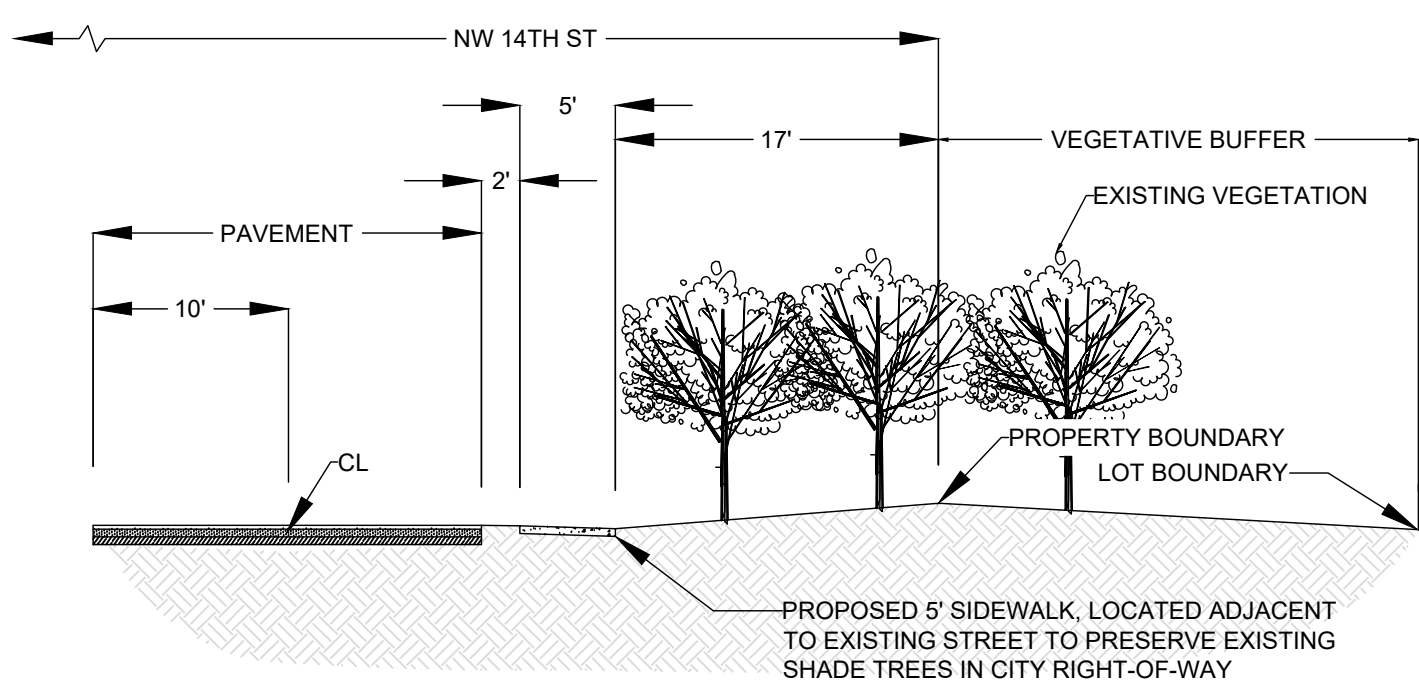
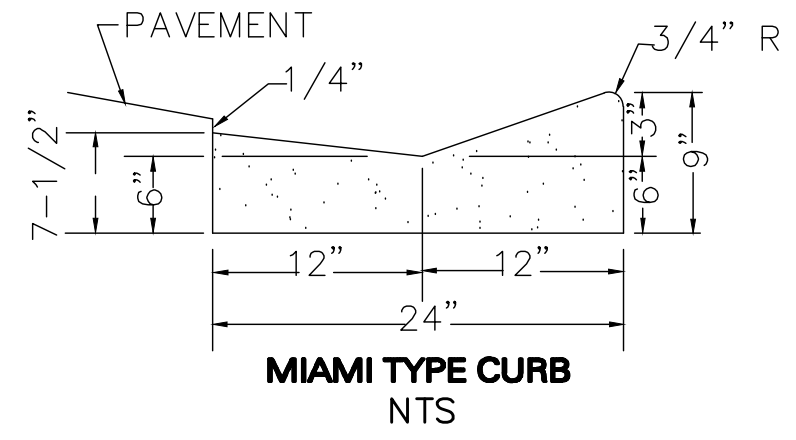
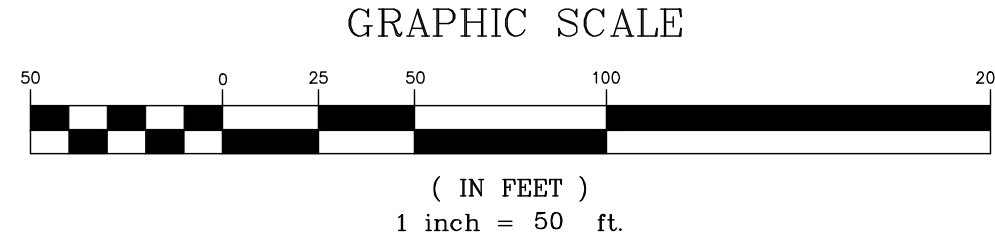
Designed	Scale	Project	Date
MWR	N/A	2023-12	12-12-24
Drawn			
Checked			
File			

**MWR** MICHAEL W. RADCLIFFE ENGINEERING, INC.  
3811 S.E. 14th Ave, Ocala, FL 34471  
(352) 629-5500 FAX (352) 629-1000  
Certificate No. EB-0008198 • Michael W. Radcliffe P.E. #11116 • Christopher A. Cain P.E. #46388

Project Name: Pine Oaks Preserve  
Sheet Name: Cover Sheet

Revisions to Plan Set  
THIS DATE INDICATES THE LATEST DATE AT WHICH ANY PART OF THIS PLAN SET WAS REVISED.  
Date: 12-12-2024

Sheet No.  
C001  
of  
C008



- (A) 2.0" ASPHALTIC CONCRETE (TYPE SP-12.5)
- (B) BITUMINOUS TACK COAT
- (C) 8" LIMEROCK BASE COURSE
- (D) 12" STABILIZED SUBGRADE

FOUND IRON ROD & CAP (5/8" NO I.D. (DISTURBED))  
N: 1769310.3130'  
E: 607946.6210'

PROPOSED 5' SIDEWALK CONNECTION TO NW MLK JR. AVE

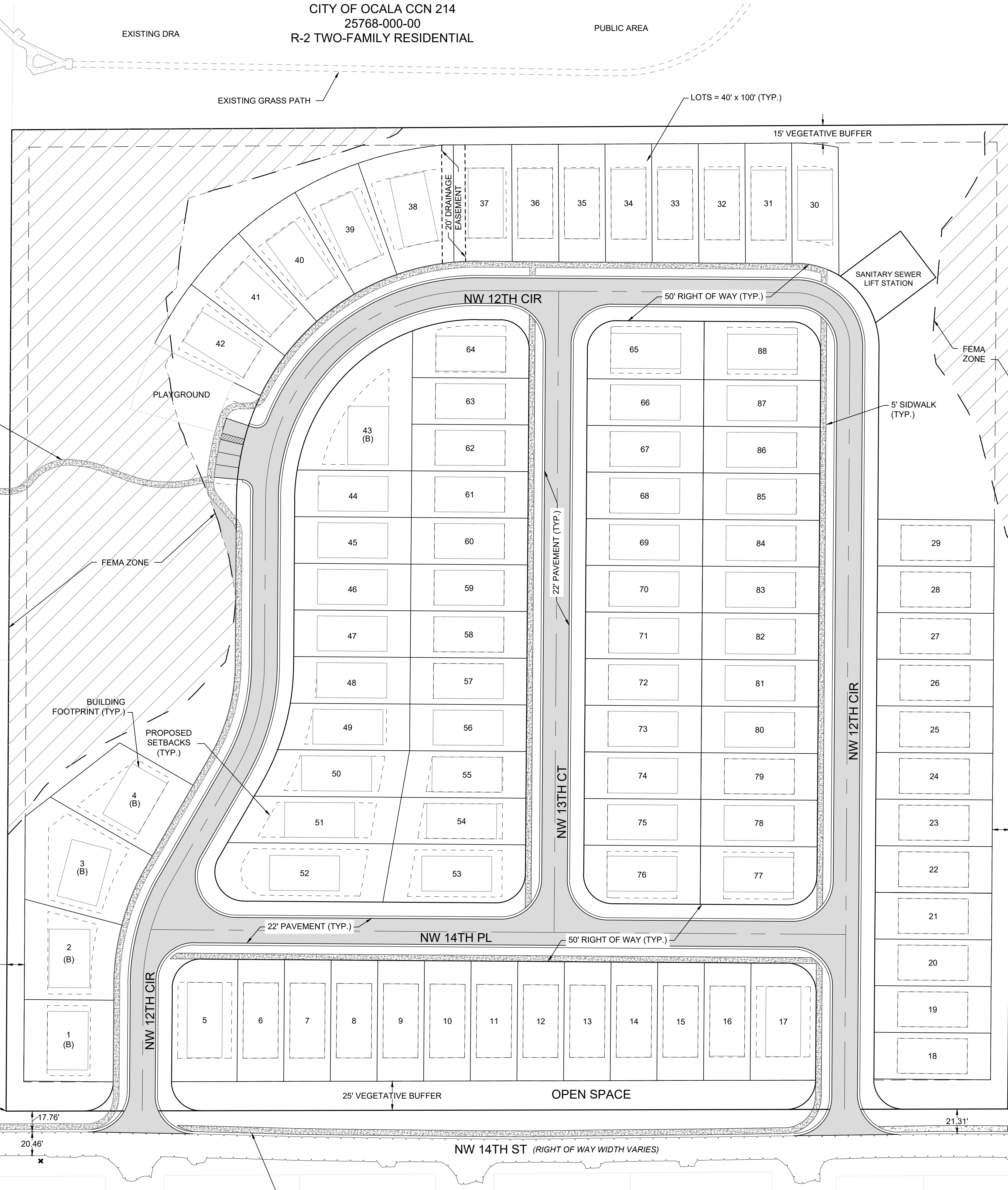
WEST WOOD PARK (SINGLE FAMILY RESIDENTIAL)

PROPOSED 5' SIDEWALK SEE 14TH STREET SIDEWALK CROSS-SECTION DETAIL THIS SHEET

BETHUNE VILLAGE (SINGLE FAMILY RESIDENTIAL)

BROWARDS ADDITION TO OCALA (SINGLE FAMILY RESIDENTIAL)

FOUND IRON ROD & CAP (5/8" NO I.D.)  
N: 1769312.2750'  
E: 608805.4860'



CITY OF OCALA  
25570-000-00  
G-U GOVERNMENTAL USE

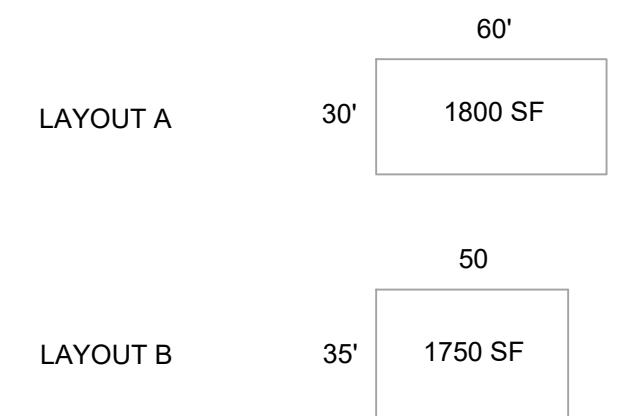
PROPOSED CONNECTION TO CITY WALKING TRAIL  
EXISTING CITY OF OCALA WILLIAM JAMES WALKING TRAIL

GENERATIONS BROADCASTING CORP  
25571-000-00  
G-U GOVERNMENTAL USE

CITY OF OCALA PROJECT  
PROJECT # SUB24-45758

CITY OF OCALA  
25769-000-00  
G-U GOVERNMENTAL USE

**Typical Building Footprints**



ALL BUILDING FOOTPRINTS ARE LAYOUT A UNLESS NOTED OTHERWISE

JEAN-PIERRE MICHAEL  
25780-000-00  
R-2 TWO-FAMILY RESIDENTIAL

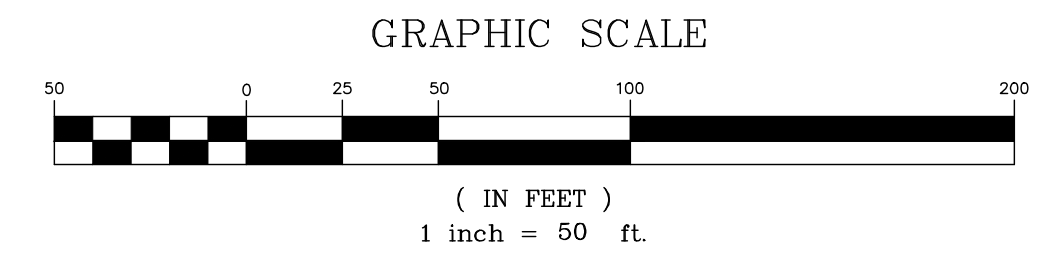
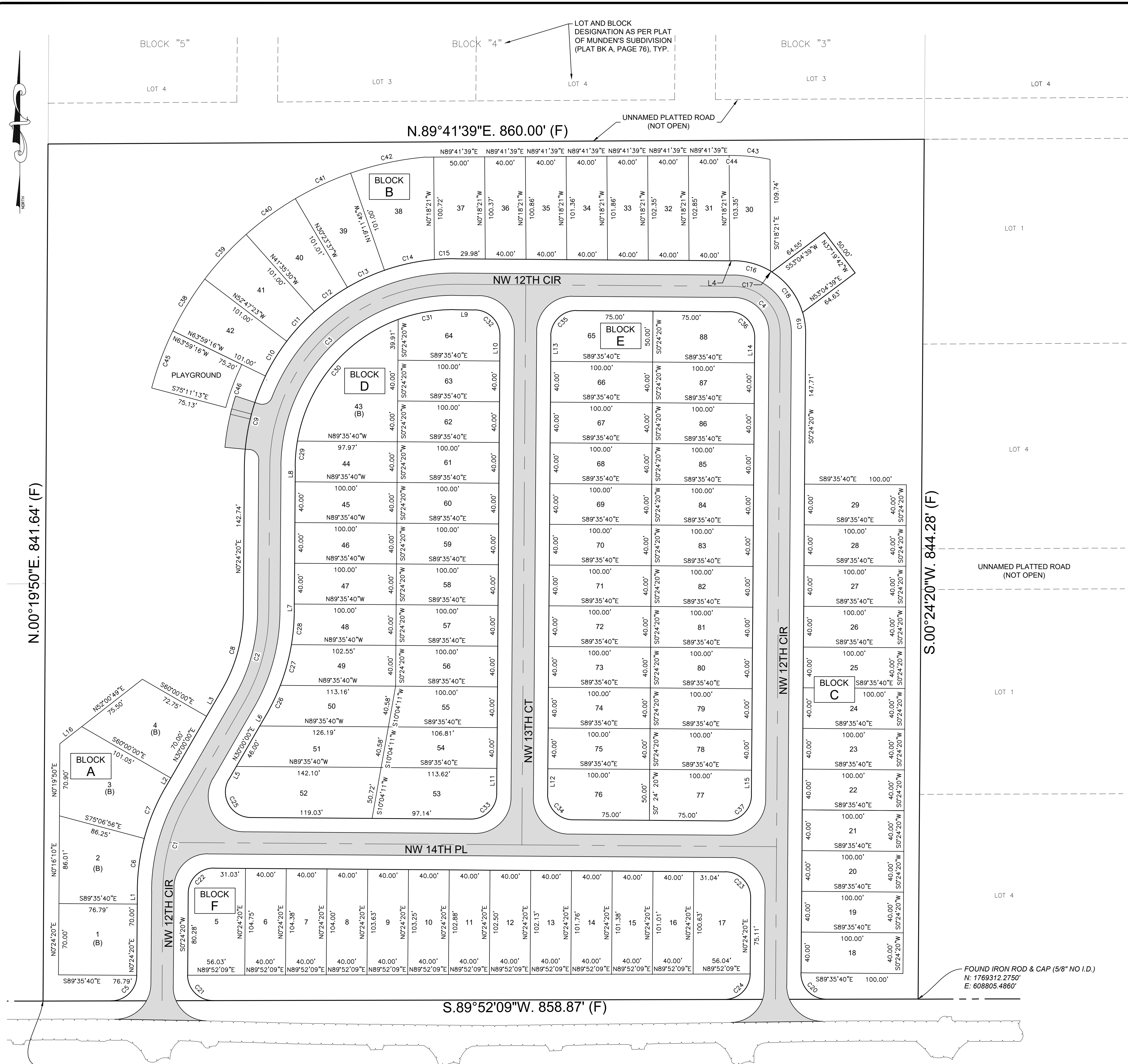
Revised:	
By:	BIL
Date:	10-3-24
Project:	2023-12
Scale:	1" = 50'
Drawn:	BIL
Checked:	NWR
Date:	07-19-24
File:	Conceptual Subdivision Planning

Project:	2023-12
Scale:	1" = 50'
Drawn:	BIL
Checked:	NWR
Date:	07-19-24
File:	Conceptual Subdivision Planning

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Certificate No. EB-000698 • Michael W. Radlife P.E. #3170 • Christopher A. Cain P.E. #4658  
www.radlifeengineering.com

Project Name: Pine Oaks Preserve  
Sheet Name: **Site Plan**

Sheet No.  
C002  
of  
C008



CITY OF OCALA PROJECT  
PROJECT # SUB24-45758

Curve Table					
CURVE #	LENGTH	RADIUS	DELTA	CHORD LEN.	CH. BEAR.
C1	92.97	180.00	29°35'40"	91.94	S15°12'10"W
C2	92.97	180.00	29°35'40"	91.94	N15°12'10"E
C3	282.74	180.00	90°00'00"	254.56	S45°24'20"W
C4	72.30	45.90	90°15'28"	65.05	N44°35'39"W
C5	39.27	25.00	89°59'38"	35.36	N44°52'13"E
C6	51.80	205.00	14°28'43"	51.67	N7°38'42"E
C7	54.08	205.00	15°06'56"	53.93	N22°26'32"E
C8	80.06	155.00	29°35'40"	79.17	N15°12'10"E
C9	91.58	209.70	25°01'16"	90.85	S13°12'29"W
C10	40.06	205.00	11°11'51"	40.00	N31°36'34"E
C11	40.06	205.00	11°11'51"	40.00	N42°48'24"E
C12	40.06	205.00	11°11'51"	40.00	N54°00'15"E
C13	40.06	205.00	11°11'51"	40.00	N65°12'06"E
C14	50.12	205.00	14°00'34"	50.00	N77°48'19"E
C15	20.02	205.00	5°35'45"	20.01	N87°36'28"W
C16	37.90	71.00	30°35'13"	37.45	N74°18'03"W
C17	1.43	71.00	1°09'15"	1.43	N58°25'49"W
C18	51.09	70.97	41°14'54"	50.00	S37°14'21"E
C19	21.09	70.99	17°01'19"	21.01	S8°06'25"E
C20	40.21	25.02	92°05'38"	36.02	S44°04'08"E
C21	39.27	25.00	89°59'38"	35.36	S45°07'56"E
C22	39.27	25.00	90°00'00"	35.36	S45°24'20"W
C23	39.27	25.00	90°00'00"	35.36	N44°35'40"W
C24	39.04	25.00	89°27'48"	35.19	N45°08'15"E
C25	52.18	25.00	119°35'40"	43.21	N29°47'50"W
C26	32.04	205.00	8°57'13"	32.00	N25°31'24"E
C27	41.45	205.00	11°35'08"	41.38	N15°15'13"E
C28	32.40	205.00	9°03'18"	32.36	N4°56'00"E
C29	25.11	155.00	9°16'54"	25.08	N5°02'48"E
C30	162.14	155.00	59°56'05"	154.85	N39°39'17"E
C31	56.22	155.00	20°47'01"	55.92	N80°00'50"E
C32	39.27	25.00	90°00'00"	35.36	S44°35'40"E
C33	39.27	25.00	90°00'00"	35.36	S45°24'20"W
C34	39.27	25.00	90°00'00"	35.36	S44°35'40"E
C35	39.27	25.00	90°00'00"	35.36	S45°24'20"W
C36	39.27	25.00	90°00'00"	35.36	N44°35'40"W
C37	39.27	25.00	90°00'00"	35.36	N45°24'20"E
C38	59.80	306.00	11°11'49"	59.70	S31°36'35"W
C39	59.80	306.00	11°11'51"	59.71	N42°48'24"E
C40	59.80	306.00	11°11'51"	59.71	N54°00'15"E
C41	59.80	306.00	11°11'51"	59.71	N65°12'06"E
C42	75.87	306.00	14°12'23"	75.68	S77°54'13"W
C43	35.00	174.35	11°30'07"	34.94	S83°50'36"E
C44	5.28	575.91	0°31'31"	5.28	N89°43'32"W
C45	59.81	306.00	11°11'53"	59.71	S20°24'44"W
C46	45.11	231.59	11°09'41"	45.04	S20°29'54"W

Line Table		
Line #	Length	Direction
L1	13.20	N00°24'20"E
L2	10.92	N30°00'00"E
L3	30.66	N30°00'00"E
L4	4.00	S89°35'40"E
L5	14.55	N30°00'00"E
L6	12.68	N30°00'00"E
L7	7.74	N00°24'20"E
L8	15.00	N00°24'20"E
L9	20.00	S89°35'40"E
L10	25.00	S00°24'20"W
L11	25.00	S00°24'20"W
L12	25.00	S00°24'20"W
L13	25.00	S00°24'20"W
L14	25.00	S00°24'20"W
L15	25.00	S00°24'20"W
L16	27.25	N52°00'49"E

N.00°19'50"E. 841.64' (F)

S.00°24'20"W. 844.28' (F)

FOUND IRON ROD & CAP (5/8" NO I.D.)  
N: 1769310.3130'  
E: 607946.6210'

FOUND IRON ROD & CAP (5/8" NO I.D.)  
N: 1769312.2750'  
E: 608805.4860'

Project Name: Pine Oaks Preserve

Horizontal Control

Sheet No. C003 of C008

Scale: 1" = 50'

Project: 2023-12

Drawn: BIL

Checked: NWR

File: Conceptual Subdivision Planning

Revisions Per City Comments

10-3-24-BIL

12-12-24-CAG

DATE

BY

REVISIONS PER CITY COMMENTS

**MICHAEL W. RADCLIFFE ENGINEERING, INC.**  
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www.radcliffeengineering.com

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X:\MWR\Projects\2023\Projects\2023-12\Pin Oak Preserve\Design\CAD\Conceptual Subdivision Plan.dwg 10/30/24 1:30 PM



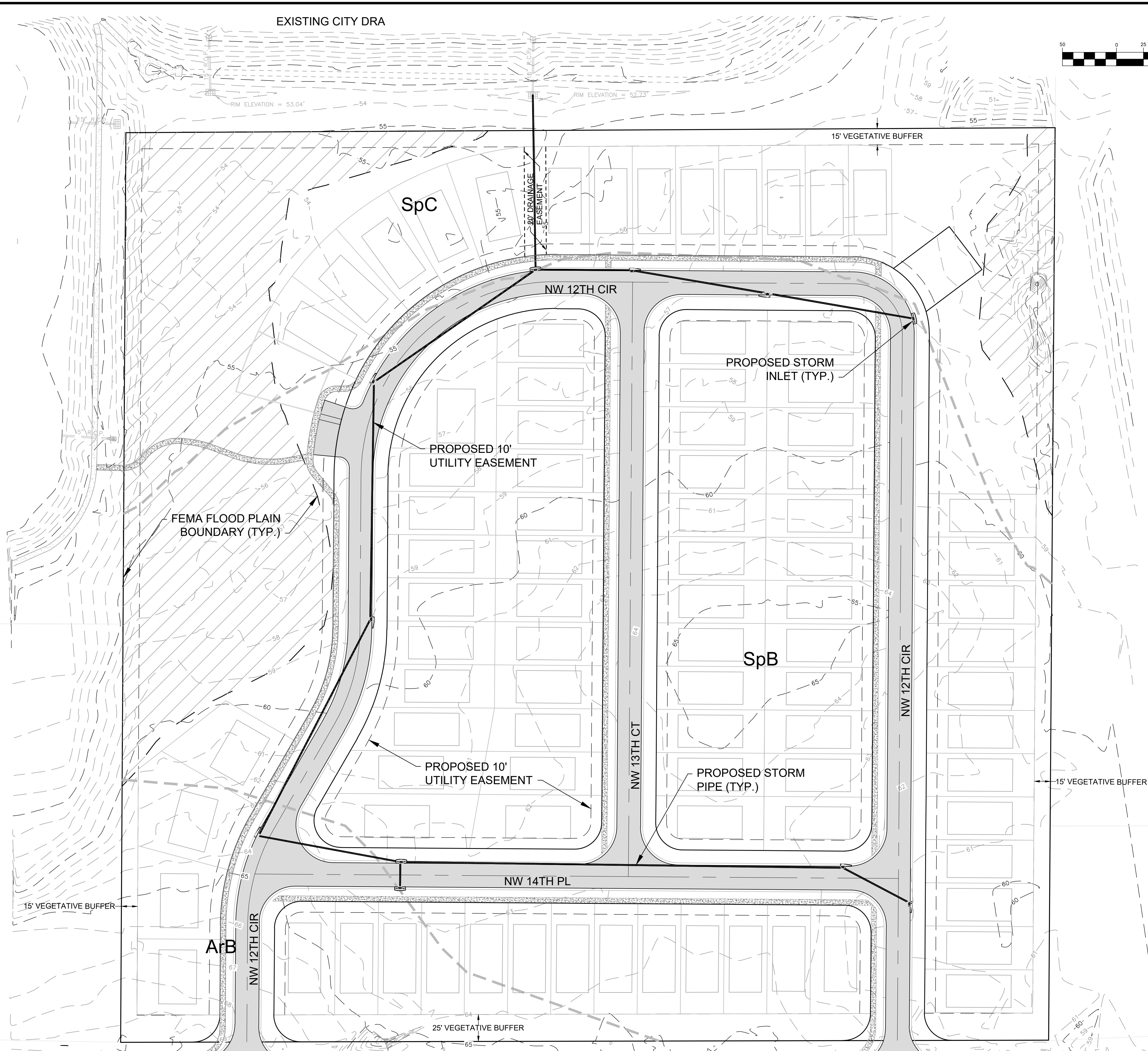
EXISTING CITY DRA

GRAPHIC SCALE



CITY OF OCALA PROJECT  
PROJECT # SUB24-45758

EXISTING CITY DRA



SOIL TYPES	HYDROLOGIC GROUP
ArB = ARREDONDO	A
SpB = SPARR FINE SAND	A
SpC = SPARR-URBAN LAND	A

**Legend:**

	SOIL IDENTIFICATION
	SOIL BOUNDARY LINE
	FEMA FLOOD ZONE (100YR)
	CONTOUR LINE

NOTE: PROJECT SURVEY BY R.M. BARRINEAU AND ASSOCIATES

Revised:	
Date:	10-3-24
By:	BIL
	REVISIONS PER CITY COMMENTS

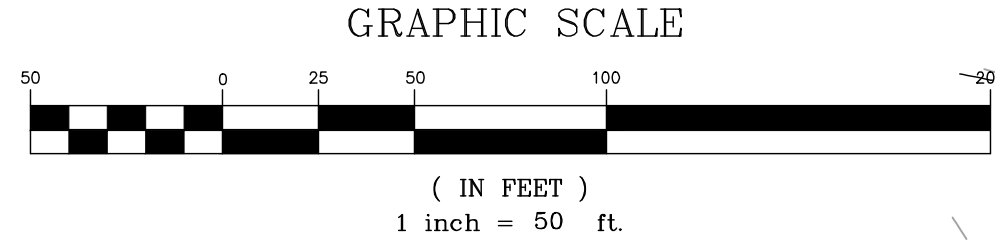
Scale:	1" = 50'
Project:	2023-12
Drawn:	MWR
Checked:	MWR
File:	Conceptual Subdivision Plan.dwg

**MWR**  
**MICHAEL W. RADCLIFFE ENGINEERING, INC.**  
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Project Name: Pine Oaks Preserve  
 Sheet Name:  
**Drainage Plan**

Sheet No.  
 C004  
 of  
 C008



CITY OF OCALA PROJECT  
PROJECT # SUB24-45758

Revised:	
By:	BIL
Date:	10-3-24
REVISIONS PER CITY COMMENTS:	

Scale:	1" = 50'
Project:	2023-12
Drawn:	BIL
Checked:	NWR
Date:	07-19-24
File:	Conceptual Subdivision Planning

**MW** MICHAEL W. RADCLIFFE ENGINEERING, INC.  
 2811 S.E. Lake Weir Avenue Ocala, FL 34471 (352) 629-5500 FAX (352) 629-1010  
 Certificate No. EB-000698 • Michael W. Radcliffe P.E. #5170 • Christopher A. Cain P.E. #4558  
 www.radcliffeengineering.com

Project Name: Pine Oaks Preserve  
 Sheet Name: Utilities Plan

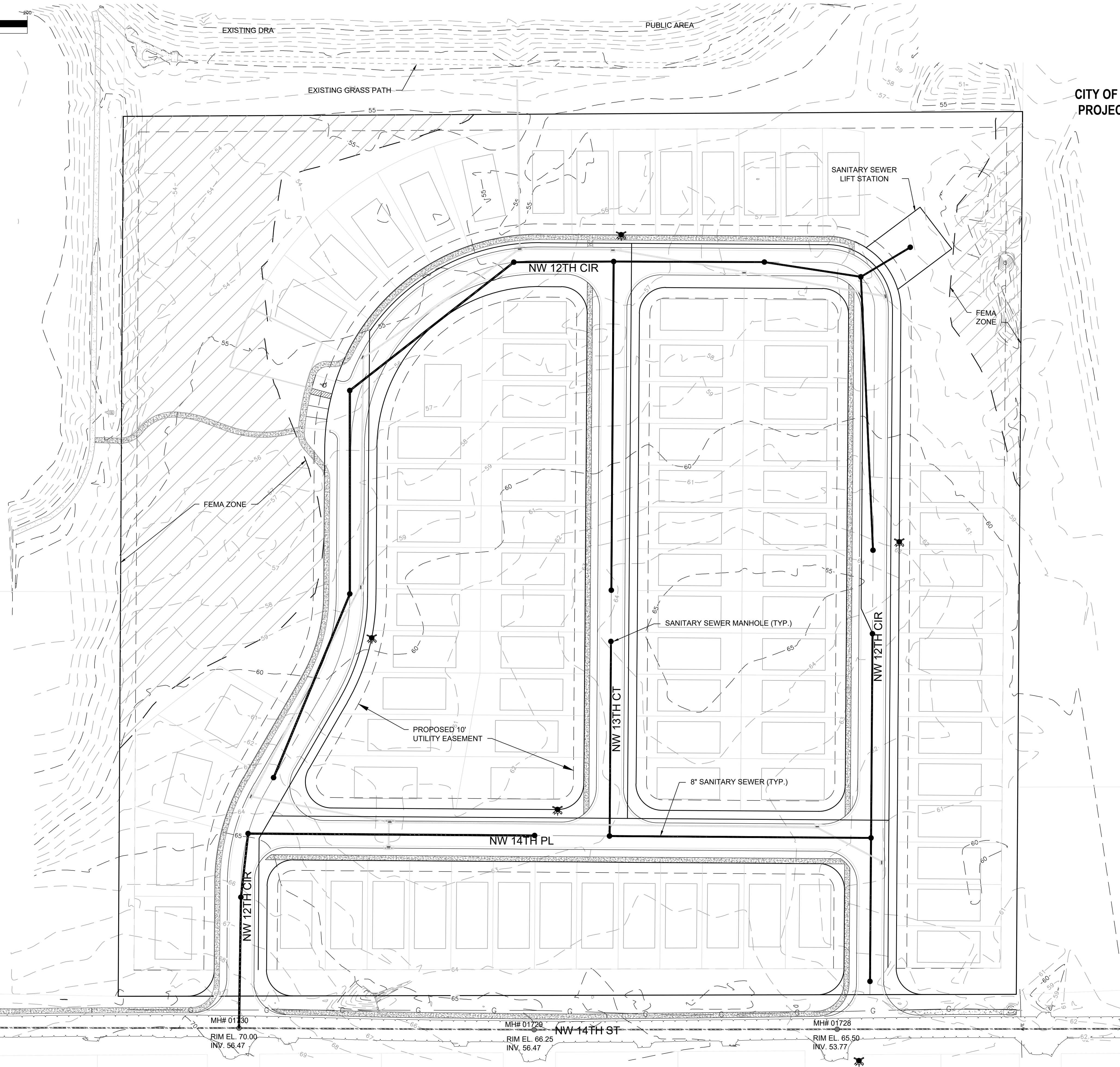
Sheet No.  
 C005  
 of  
 C008

LOCATION OF PUBLIC WATER SYSTEM MAINS IN ACCORDANCE WITH F.A.C. RULE 62-555.314

Other Pipe	Horizontal Separation	Crossings (1)	Joint Spacing @ Crossings (Full Joint Centered)
Storm Sewer, Stormwater Force Main, Reclaimed Water (2)	Water Main 3 ft. minimum	Water Main 12 inches is the minimum, except for storm sewer, then 6 inches is the minimum and 12 inches is preferred	Alternate 3 ft. minimum Water Main
Vacuum Sanitary Sewer	Water Main 10 ft. preferred 3 ft. minimum	Water Main 12 inches preferred 6 inches minimum	Alternate 3 ft. minimum Water Main
Gravity or Pressure Sanitary Sewer, Sanitary Sewer Force Main, Reclaimed Water (4)	Water Main 10 ft. preferred 6 ft. minimum (3)	Water Main 12 inches is the minimum, except for gravity sewer, then 6 inches is the minimum and 12 inches is preferred	Alternate 6 ft. minimum Water Main
On-Site Sewage Treatment & Disposal System	10 ft. minimum	---	---

- (1) Water main should cross above other pipe. When water main must be below other pipe, the minimum separation is 12 inches.
- (2) Reclaimed water regulated under Part III of Chapter 62-610, F.A.C.
- (3) 3 ft. for gravity sanitary sewer where the bottom of the water main is laid at least 6 inches above the top of the gravity sanitary sewer.
- (4) Reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.

Disclaimer - This document is provided for your convenience only. Please refer to F.A.C. Rule 62-555.314 for additional construction requirements.



NW MARTIN LUTHER KING JR AVE

RIM EL. 67.50  
E INV. 61.95  
S INV. 62.00

MH# 01754  
RIM EL. 68.80  
W INV. 60.59  
E INV. 60.55

MH# 01730  
RIM EL. 70.00  
INV. 56.47

MH# 01728  
RIM EL. 66.25  
INV. 56.47

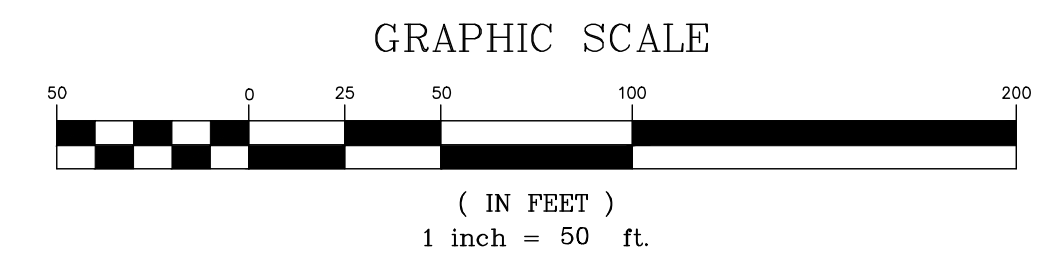
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RIM EL. 65.50  
INV. 53.77

WEST WOOD PARK  
(SINGLE FAMILY RESIDENTIAL)

BETHUNE VILLAGE  
(SINGLE FAMILY RESIDENTIAL)

BROWARDS ADDITION TO OCALA  
(SINGLE FAMILY RESIDENTIAL)



X:\MWE Projects\2023 Projects\2024-12 Pine Oaks Preserve\Design\CAD\Conceptual Subdivision Plan.dwg 10/3/2024 1:21 PM



**CITY OF OCALA PROJECT  
PROJECT # SUB24-45758**

NOTE: LAYOUT IS PRELIMINARY AND  
SUBJECT TO CHANGE AT FINAL DESIGN.

**Legend:**

-  OPEN SPACE AREA  
(SHADED AREAS)
-  AGGREGATE OPEN SPACE  
(CROSSHATCH AREAS)

**Open Space Calculations:**

PER LDC SECTION 122-942(a)(4) FOR SINGLE USE RESIDENTIAL PD PROJECTS THERE SHALL BE A MINIMUM OF 40 PERCENT OPEN SPACE FOR THE TOTAL GROSS ACREAGE WITHIN THE ENTIRETY OF THE PD. AT LEAST 10 PERCENT OF THE TOTAL REQUIRED OPEN SPACE SHALL BE IN USABLE AGGREGATE FORM. AGGREGATE OPEN SPACE IS DEFINED AS COMMON OPEN SPACE THAT IS DESIGNED AND INTENDED FOR USE BY THE OCCUPANTS/RESIDENTS OF THE PD.

TOTAL SITE AREA = 16.63 ac. (724,428 SF)

REQUIRED OPEN SPACE:  
40% OF SITE AREA = 16.63 ac. X 40% = 6.65 ac.

OPEN SPACE PROVIDED: 7.54 ac. (45% = SHADED AREAS)  
7.54 ac. > 6.65 ac.; THEREFORE O.K.

SIDE YARDS NOT COUNTED IN OPEN SPACE PROVIDED

REQUIRED AGGREGATE OPEN SPACE =  
10% OF REQUIRED OPEN SPACE = 6.65 ac. X 10% = 0.67 ac.

AGGREGATE OPEN SPACE PROVIDED: 4.30 ac. (65% = CROSSHATCH AREAS)  
4.30 ac > 0.67 ac.; THEREFORE O.K.

4.30 ac. OF AGGREGATE OPEN SPACE TO BE PROVIDED WHICH MAY CONSIST OF PLAYGROUNDS, SIDEWALKS, NATURE TRAILS, FLOOD PLAINS, FORESTED AREAS, VEGETATIVE BUFFERS AND/OR OTHER APPROPRIATE AGGREGATE OPEN SPACE.

EXISTING CITY OF OCALA  
WILLIAM JAMES WALKING  
TRAIL

EXISTING GRASS WALKING TRAIL

PLAY  
GROUND

NW 12TH CIR

NW 14TH PL

NW 14TH ST

NW 13TH CT

NW 12TH CIR

NW 12TH CIR

Revised:	
Date:	10-3-24
By:	BIL
Rev. Per City Comments:	

Scale:	1" = 50'
Project:	2023-12
Date:	07-19-24
Checked:	MWR
Drawn:	BIL
File:	Conceptual Subdivision Plan.dwg

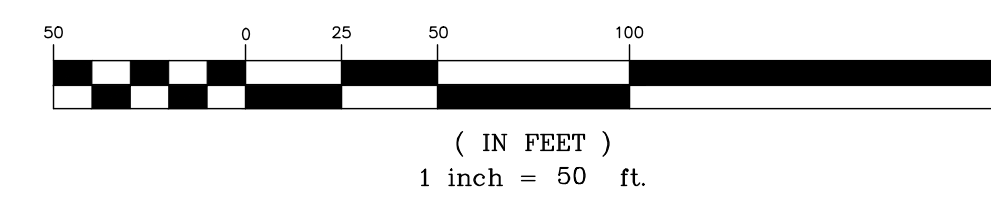
**MWR** MICHAEL W. RADCLIFFE ENGINEERING, INC.  
2811 S.E. Lake Weir Avenue  
Ocala, FL 34471 (352) 629-5500 FAX (352) 629-1010  
Certificate No. EB-0006198 • Michael W. Radcliffe P.E. #3170 • Christopher A. Cain P.E. #46588  
www.radcliffeengineering.com

Project Name: Pine Oaks Preserve  
Sheet Name: Open Space

Sheet No.  
C006  
of  
C008

GOVERNMENT USE

GRAPHIC SCALE



CITY OF OCALA PROJECT  
PROJECT # SUB24-45758

TREES IN PLAYGROUND ARE TO BE EVALUATED FURTHER AT TIME OF PLAYGROUND DESIGN. NO MORE WILL BE TAKEN THAN SHOWN HERE, BUT SOME SHOWN TO BE REMOVED MAY BE LEFT TO PROVIDE SHADE IF FEASIBLE



### Tree Calculations

TOTAL EXISTING VIABLE SHADE TREES = 668  
 ESTIMATED SHADE TREES ALREADY CLEARED (CODE CASE 2022-8008) = 181\*  
 SHADE TREES PROPOSED TO BE REMOVED = 345  
 TOTAL VIABLE SHADE TREES REMAINING = 142

TREE PRESERVATION REQUIREMENTS:  
 DUE TO DENSITY GREATER THAN 8 TREES/ACRE, 4 TREES PER ACRE ARE REQUIRED TO BE PRESERVED

REQUIRED = 4 x 16.63 AC = 66.52 = 67 TREES  
 SHADE TREES PRESERVED = 142

SHADE TREE REQUIREMENTS MET WITH EXISTING PRESERVED TREES, THEREFORE NO PLANTED SHADE TREES ARE REQUIRED

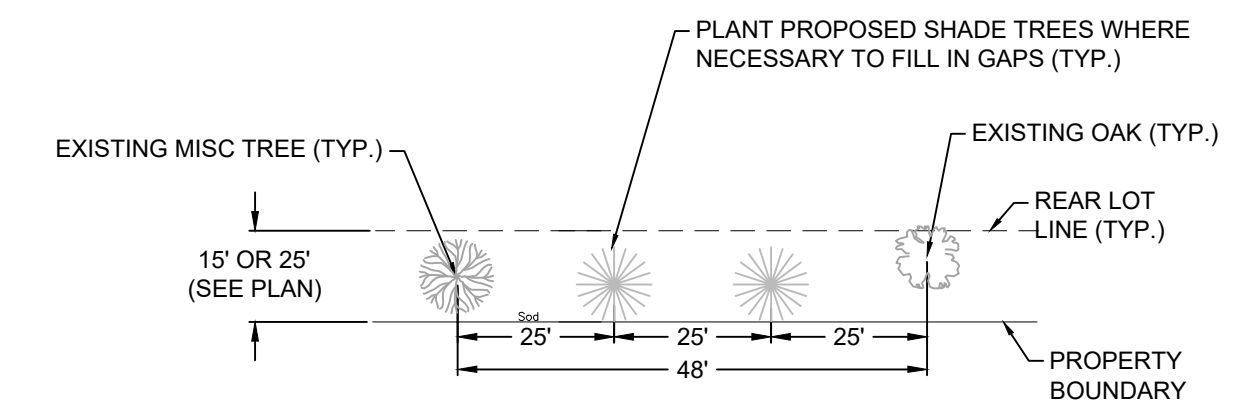
MINIMUM TREE COVERAGE REQUIREMENTS:  
 REQUIRED = 1 TREE PER 5,000 SF  
 REQUIRED = (16.63 AC x 43,560 SF/AC) / 5,000 SF = 144.88 = 142 TREES  
 SHADE TREES PRESERVED = 142

(SEE TREE TABLE ON SHEET 6 FOR SPECIFIC TREE IDENTIFICATION)

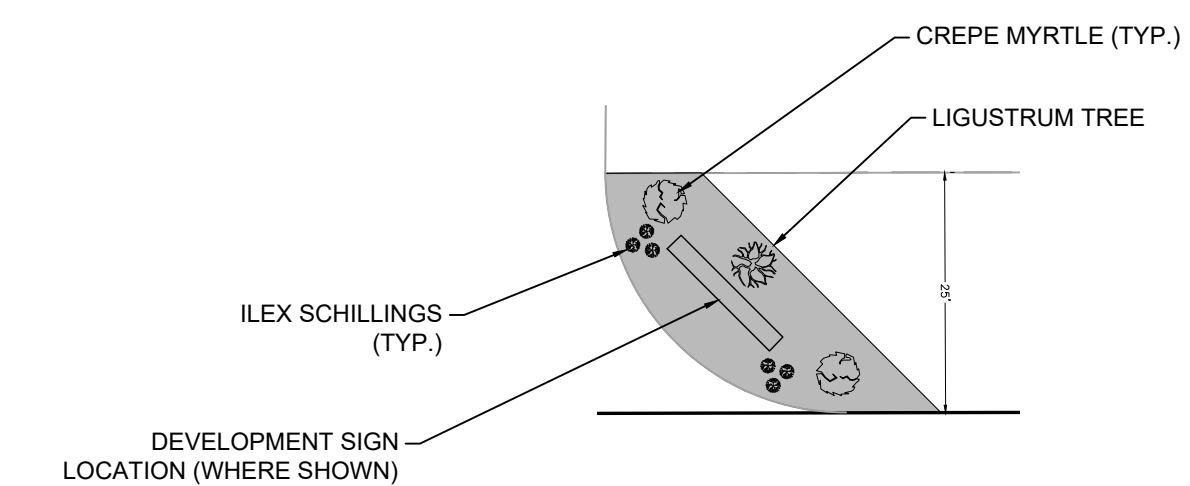
\* DUE TO THE NUMBER OF SHADE TREES PREVIOUSLY CLEARED BEING UNKNOWN, AN ESTIMATED AMOUNT HAS BEEN DETERMINED AS FOLLOWS:  
 SHADE TREES LOCATED X 12.12 AC (AREA NOT CLEARED) = 40.18 SHADE TREES/AC (AVG.)  
 ESTIMATED SHADE TREES CLEARED = 40.18(AVG) X 4.51 AC (CLEARED AREA) = 181 TREES

### Notes:

- 1.) ALL YARDS TO BE SODDED AT THE TIME OF HOME CONSTRUCTION. ALL DISTURBED AREAS OUTSIDE OF THE RIGHT-OF-WAY SHALL BE SEEDED AND MULCHED. RIGHT-OF-WAYS TO BE SODDED.
- 2.) LANDSCAPED ENTRANCE AREAS SHALL BE SODDED.



PLAN VIEW  
PLANTING DETAIL IN  
LANDSCAPE BUFFERS  
N.T.S



TYPICAL LANDSCAPED  
ENTRANCE AREA  
N.T.S

WEST WOOD PARK  
(SINGLE FAMILY RESIDENTIAL)

LANDSCAPED  
ENTRANCE AREA  
(TYP.)

BETHUNE VILLAGE  
(SINGLE FAMILY RESIDENTIAL)

BROWARDS ADDITION TO OCALA  
(SINGLE FAMILY RESIDENTIAL)

Revisions:	
Date:	10-3-24
By:	BIL
Revisions Per City Comments:	

Scale:	1" = 50'
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**MICHAEL W. RADLIFFE ENGINEERING, INC.**  
 2811 S.E. Lake Weir Avenue  
 Ocala, FL 34471 (352) 629-5500 FAX (352) 629-1010  
 Certificate No. EB-000698 • Michael W. Radliffe P.E. #3170 • Christopher A. Gwin P.E. #4558  
 www.radliffeengineering.com

## Landscape and Tree Plan

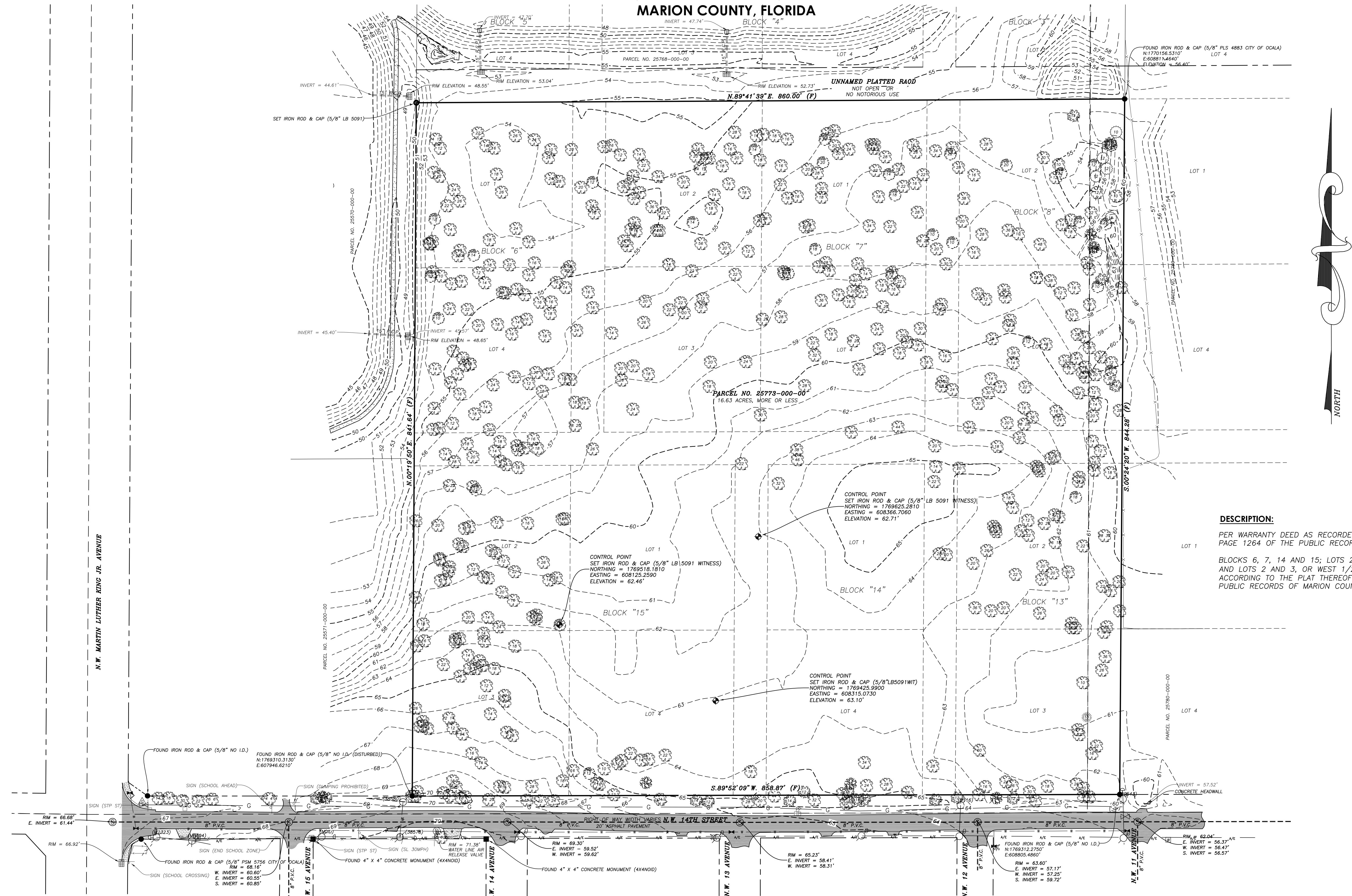
Project Name: Pine Oaks Preserve  
Sheet Name:

Sheet No.  
C007  
of  
C008

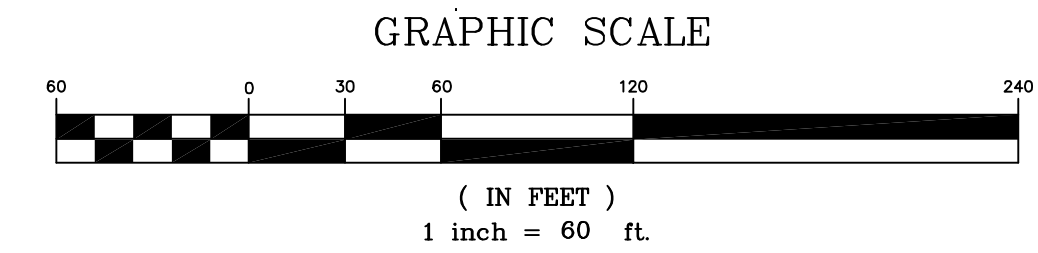




SECTION 7, TOWNSHIP 15 SOUTH, RANGE 22 EAST  
MARION COUNTY, FLORIDA



**DESCRIPTION:**  
PER WARRANTY DEED AS RECORDED IN OFFICIAL RECORDS BOOK 7783, PAGE 1264 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.  
BLOCKS 6, 7, 14 AND 15; LOTS 2 AND 3, OR WEST 1/2 OF BLOCK 8; AND LOTS 2 AND 3, OR WEST 1/2 OF BLOCK 13, MUNDEN'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK A, PAGE 76, PUBLIC RECORDS OF MARION COUNTY, FLORIDA.



- LEGEND** UNLESS OTHERWISE NOTED
- ⊕ = CENTERLINE OF RIGHT OF WAY
  - C.B. = CHORD BEARING
  - O.R. = OFFICIAL RECORDS OF MARION COUNTY
  - ⊙ = FOUND 5/8" IRON ROD & CAP
  - ⊙ = SET 5/8" IRON ROD & CAP - LB 5091
  - ⊙ = FOUND 4" x 4" CONCRETE MONUMENT
  - (P) = FIELD MEASUREMENT
  - (P) = PLAT DIMENSION
  - ⊙ = DRAINAGE MANHOLE
  - ⊙ = STORM DRAINAGE GRATE
  - ⊙ = SANITARY MANHOLE
  - ⊙ = WOOD POWER POLE
  - ⊙ = ELECTRIC BOX
  - ⊙ = GUY ANCHOR
  - ⊙ = TELEPHONE BOX
  - ⊙ = FIRE HYDRANT
  - ⊙ = WATER VALVE
  - ⊙ = WATER METER

- ⊙ = BACKFLOW PREVENTOR
- ⊙ = GAS METER
- ⊙ = GAS VALVE
- ⊙ = GAS LINE MARKER
- ⊙ = MAILBOX
- ⊙ = SIGN
- P.V.C. = POLYVINYL CHLORIDE
- R.C.P. = REINFORCED CONCRETE PIPE
- C.M.P. = CORRUGATED METAL PIPE
- H.D.P.E. = HIGH DENSITY POLYETHYLENE
- A/E = AERIAL ELECTRIC
- X = CHAIN LINK FENCE
- ⊙ = DENOTES CONCRETE
- ⊙ = DENOTES ASPHALT

- TREE LEGEND**  
(SIZE DEVOTED INSIDE SYMBOL)
- ⊙ = CAMPHOR
  - ⊙ = CHERRY
  - ⊙ = HICKORY
  - ⊙ = HOLLY
  - ⊙ = HACK BERRY
  - ⊙ = OAK
  - ⊙ = PALM
  - ⊙ = PINE
  - ⊙ = SWEETGUM

- NOTES:**
1. DATE OF FIELD SURVEY: MARCH 4, 2024
  2. SUBJECT TO RIGHTS OF WAY, RESTRICTIONS, EASEMENTS AND RESERVATIONS OF RECORD.
  3. UNLESS OTHERWISE SHOWN, UNDERGROUND IMPROVEMENTS NOT LOCATED.
  4. PUBLIC RECORDS NOT SEARCHED BY R.M. BARRINEAU & ASSOCIATES, INC.
  5. BEARINGS AND STATE PLANE COORDINATES DEPICTED HEREON ARE GRID, WEST FLORIDA ZONE, NAD-83 (CORS96) EPOCH:2002.0000, BASED ON TRIMBLE VIRTUAL REFERENCE STATION NETWORK AND REFERENCED TO CITY OF OCALA ENGINEERING DEPARTMENT CONTROL POINT 0117 RESET.
  6. VERTICAL DATUM BASED ON CITY OF OCALA ENGINEERING DEPARTMENT CONTROL POINT 0117 RESET WITH AN ELEVATION OF 74.51', NAVD-88.
  7. ORIENTATION FOR THE IMPROVEMENTS SHOWN HEREON SHOULD NOT BE USED TO RECONSTRUCT BOUNDARY LINES.
  8. ADDITIONS OR DELETIONS TO SURVEY MAPS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
  9. THIS SURVEY DEPICTS THE PROPERTY AS IT EXISTED ON THE SURVEY DATE, NOT NECESSARILY THE SIGNATURE DATE.
  10. THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE BENEFIT OF THE PARTY(IES) NAMED HEREON, AND SHALL NOT BE DUPLICATED OR RELIED UPON BY ANY OTHER INDIVIDUAL OR ENTITY WITHOUT AUTHORIZATION FROM R.M. BARRINEAU & ASSOCIATES, INC.
  11. ROAD RIGHT OF WAY AS SHOWN ON THE PLAT OF MUNDEN'S SUBDIVISION RECORDED IN PLAT BLOCK A, PAGE 76 AND LYING WITHIN THE BOUNDS OF THIS PROPERTY WERE ABROGATED PER RESOLUTION 72-10 RECORDED IN OFFICIAL RECORDS BOOK 504, PAGE 784 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA. BASED ON THE AMBIGUITIES OF SAID RESOLUTION THE SURVEYOR CANNOT DETERMINE IF THE ROAD NORTH OF SUBJECT PROPERTY WAS ABROGATED OR WAS LEFT OPEN IN THE RESOLUTION.

**SURVEYOR'S CERTIFICATION:**  
I HEREBY CERTIFY THAT THE SURVEY REPRESENTED HEREON MEETS THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17.050-052, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

SIGNATURE DATE \_\_\_\_\_  
TRAVIS P. BARRINEAU, P.S.M. - LS 6897  
OF R.M. BARRINEAU & ASSOCIATES, INC.

NO.	REVISIONS	BY	DATE

DRAWN:	S.W.M.
REVISED:	
RECHECKED:	
CHECKED:	T.P.B.
APPROVED:	T.P.B.
SCALE:	1" = 60'

**R.M. BARRINEAU & ASSOCIATES**  
PROFESSIONAL SURVEYORS & MAPPERS  
1700 N. W. 15th Street, Suite 100, Ocala, FL 34471  
PHONE: (352) 622-1133 • FAX: (352) 388-3771 • www.rmbarrineau.com  
REGISTRATION NO. 12468 • CERTIFICATE OF AUTHORIZATION NO. 12468

**BOUNDARY & TOPOGRAPHIC SURVEY FOR:**  
**SMART FILL INVESTMENT, LLC**

REFERENCES:	FILE: MUNDEN'S SUB
F.B. : FGS:	
J.O.# 22135	
DWG.# 22135	
SHT 1 OF 1	