



City of Ocala RFP ENG/240952

September 11, 2024

Design-Build Services for Fire Station No. 8

ENVELOPE 1



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ENVELOPE 1



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September 11, 2024

Procurement Department
City of Ocala
110 SE Watula Avenue, 3rd Floor
Ocala, Florida 34471

Re: RFP# ENG/240952
Design-Build Services for Fire Station #8

To Whom It May Concern:

Dinkins Construction hereby proposes to design and build The City of Ocala Fire Station #8. Dinkins Construction has partnered with Rispoli & Associates Architecture, Inc., and Kimley-Horn and Associates, Inc., to respond to RFP# ENG/240952. Chap Dinkins, Manager of Dinkins Construction LLC, hereby submits our qualifications and proposal. Chap Dinkins will be the principal-in-charge, the legal representative, and the primary contact point for the contract negotiations.

Dinkins Construction was established under current corporate form in 2009, and Chap Dinkins individually has over 27 years of experience in commercial building. Dinkins Construction has become known for professional skills in communication and project management, and for the delivery of high-quality construction projects.

Our Design/Build team has experience both individually and as a team with the design and construction of fire stations and public buildings. Dinkins Construction was part of the Design/Build team for Fire Station No. 7 and was actively involved with the Architect during the design development and construction document phases.

Our approach is to understand exactly what our First Responders need in this building and then deliver the highest quality facility possible. Our team understands the importance of this high functioning facility to our community, and we are familiar with the details that make this type of facility unique. We will deliver a complete turnkey design, engineering, and construction for a 6,000 - 7,000 S.F. fire station with a 3-bay apparatus garage, domicile quarters, fuel island, and all requirements published within the RFP.

Our team appreciates the bravery and service our First Responders give to the community and therefore we take this opportunity as a chance to demonstrate our gratitude and provide them with an exceptional building.

The design of this new Fire Station #8 will be similar to the Fire Station #7 we recently completed and is depicted within the drawing documents provided within our submittal package. We have worked diligently on our submittal documents to provide the best design based upon our interpretation and will look forward to partnering with the City of Ocala and collaborating with the Fire Department to provide a very functional, efficient, and aesthetically pleasing new building.

We recognize this building will provide the First Responders with a safe place to rest, recover, and restore themselves between emergency calls. This new fire station will be delivered with the safety and comfort of the First Responders in mind. We will use the best quality of products for final fit and finish so long-term maintenance is minimized and the First Responders have a nice building.

The Dinkins team has delivered two (2) stations for the City of Ocala and one (1) station for Marion County. In addition, we are nearly complete with the Marion County EMS Central Station and are currently in design for the MCFR Station #11. We will make sure all areas of the facility function well for the end user.

Our team has successfully delivered projects for the City of Ocala, we are familiar with the contractual delivery requirements of this RFP, we are certain we have a full and complete job as specified included within our proposal, and for these reasons, the Dinkins Team is the best choice to deliver Fire Station #8 for the City of Ocala.

We acknowledge our receipt of this Solicitation and our understanding that all terms and conditions contained with the RFP may be incorporated into any resulting contract. We acknowledge we have read and understand all procedures and criteria associated with the submittal requirements for this RFP. In submitting this response, we acknowledge we will execute any resulting contract as the authorized representative of our Design-Build Team.

The Dinkins Team has collaborated on multiple projects and there is great continuity, communication and understanding between the firms. We will collaborate with City staff to achieve compliance with the design criteria, and we understand all final design decisions and construction requirements rest solely with the City of Ocala. It is our sincere interest to deliver a quality project for the City of Ocala, and we will protect the City's interests throughout the projection duration.

We believe we are the best Team to deliver this Fire Station with the level of excellence and project schedule expected by the City of Ocala.

Respectfully Submitted,



Chap Dinkins, CGC 151-9358
Dinkins Construction LLC
FEIN#27-0867581
2831 SE 17th Street • Ocala, FL 34471
352-368-2299 office • 352-239-4579 cell
chap@dinkinsconstruction.com

TAB 1: Project Team Composition, Qualifications, Roles, and Availability



WHO IS DINKINS

Our principal has been a general contractor since 1997 and founded our company in Ocala, Marion County, Florida in 2000. We have had our present LLC organization since 2009 and changed our name to Dinkins Construction in 2014 after the retirement of a prior founding member. Since inception, we have completed over a half-billion dollars of commercial construction work. While we started small, we have grown to be one of the industry leaders within Central Florida. We have earned our reputation for quality and client service with the successful completion of each project.

All our projects are delivered with team leadership and we are typically engaged for the entire project, from site due diligence through design and permitting, construction and post construction warranty service. All our clients hire us because we are experts in project development and can provide comprehensive coordination of the design between the Civil Engineering and Architectural disciplines through the approval process.

Dinkins Construction has successfully completed projects for local municipalities since our inception. We have always been a steady and reliable General Contractor in Ocala and Marion County, catering to each client with **integrity** and **respect**. The Dinkins team takes great pride in constructing our projects, and we exceed our clients' expectations.

The infographic consists of nine colored boxes arranged in a grid, each containing a statistic or value:

- 24** Years in Business (Red box)
- Reinvesting in Our Community by Utilizing Local Vendors (Blue box with circular arrow icon)
- Executive Involvement in Every Project (Grey box with star icon)
- We Are YOUR Advocate (Dark blue box with hand holding people icon)
- 200+ Construction Manager at Risk Projects Since 2000 (Light green box)
- \$32 M in Local Government Projects Since 2014 (Light green box)
- 24 Employees (Red box)
- 0 Litigation (Blue box)

Why The Dinkins Team Is the Best Fit for Your Project?

The Dinkins team has deep roots in Ocala, Marion County, and we have done several fire stations. Our experience goes back decades and includes many successful local government projects, including two (2) fire stations for the City of Ocala. We understand the pre-construction requirements of your project and have the specialized experience and the resources necessary to deliver this critical facility.

We understand the importance of culture and community. We are personally vested in the success of your project. Our core values of: Service, Quality, Production, and Safety dovetail with City of Ocala's standards of: Fiscal Responsibility, Customer Focus, Innovation, Efficiency, Quality, Integrity, Teamwork, and Job Knowledge. We believe in these values and live out these values every day.

Our firm principal will be involved in every step of the project and will lead, direct, and manage the Dinkins Team from initial engagement, design development, and construction through to the final walk through.

We have teamed up with **Rispoli & Associates Architecture, Inc.**, and **Kimley-Horn & Associates, Inc.** Both are extremely experienced local firms and are deeply committed to our community. Experience, both jointly and individually, are outlined further in Tab 2 of this submittal.

We know our community. We serve our community. We are building our community one building at a time.



100+

Combined years of experience in the Leadership of Dinkins Construction. Our successful history shows we have a team you can rely on.



We have deep roots in Ocala. Our principal is a 4th generation native of Ocala and has spent several decades building relationships throughout the community.

We know our community. We know our local subcontractors. We know our culture.




Previous success in the City of Ocala. In addition to our team being one of the top-rated General Contractors, we've also delivered several fire stations.

Providing a 3-Year Building Warranty

Our project team is structured with a clear, efficient, and effective management approach with a single point of responsibility. We are acutely aware of the speed and production demands and have purposefully kept our organization streamlined so team communication is prompt and constant. Chap Dinkins will serve as the Project Executive for our team. He will orchestrate our strong team of experienced construction professionals.

ORGANIZATIONAL CHART



Chap Dinkins
General Contractor
Principal-in-Charge



Heidi Dinkins
CFO



Kevin Donahue
Sr. Project Manager




Jake Myer
Project Manager
GC 2nd Qualifier



Phillip Wagoner
Estimator/Project
Engineer



T.J. Speer
CM / APM



Michelle McElreath
PMA




Karan Ten Broeck
Exec. Assistant/
Contracts



Ron Henion
CM / APM



David Turin
Superintendent



George Parent
Superintendent

All Dinkins employees listed will be involved in this project 100%. We have the ability to utilize additional manpower if required.

PROCORE We leverage technology all along the way by using a web-based project management software called Procore. This software suite will provide all stakeholders with access to daily reporting information and daily progress photos. Additionally, it will track the flow of information through the pre-construction phase and disseminate all the documents to all participants.

The success of the Dinkins team on past project deliveries can further guarantee the highest quality standards and the fulfillment of the City’s quality expectations.

Indemnification

By presenting this proposal, we acknowledge we have read and understand the indemnification clause requirement and hereby fully agree to indemnify the City of Ocala.

DBE/MBE Participation

We appreciate and will encourage DBE/MBE firms to work with us during the construction and delivery of this project. At the appropriate time, we will publicly advertise for all subcontract trades to submit competitive proposals. Any DBE/MBE firm that responds with a complete and competitive proposal will be given equal opportunity to perform the work. If needed, we will complete a DBE/MBE utilization form and will partner with the County in encouraging DBE/MBE firms to participate in this project.

Davis/Bacon (CDBG) Projects

Dinkins Construction has participated in several projects funded by CDBG requiring adherence to the Davis-Bacon Act and wage determination standards. Our staff is knowledgeable of the requirements of certified payroll reporting.

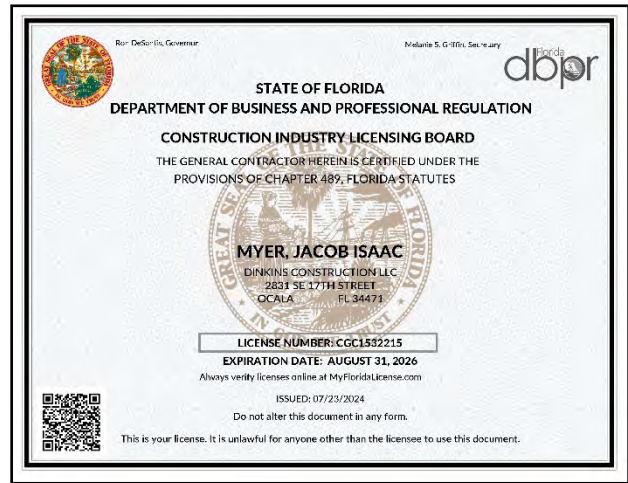
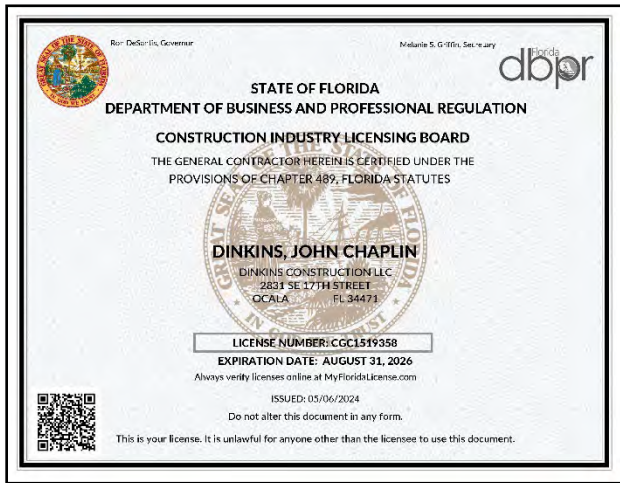
Bonds

Dinkins Construction, LLC will provide a 100% Payment and Performance Public Construction Bond per FL Statute 255.05. Additionally for this project, Dinkins will provide an extended warranty bond for a 3-year period from the date of substantial completion and a manufacturer’s full weathertightness warranty from Nucor.

Litigation

Dinkins has never been removed or relieved from a contract or duties on any project. Dinkins has never defaulted on a contract or had a bond recalled. We have never been assessed liquidated damages or delay damages. Dinkins is proud to say that in our entire corporate history, we have not had any and do not know of any unsettled claims, actions, suits, investigations, or proceedings pending or threatened against or affecting the Company or any members which might result in any material adverse change in the business operations or financial condition of the company or the Company’s ability to perform its obligations under the Agreement proposed within this RFQ.

Dinkins Construction, LLC



2024 FLORIDA LIMITED LIABILITY COMPANY ANNUAL REPORT
DOCUMENT# L09000065709

Entity Name: DINKINS CONSTRUCTION LLC

Current Principal Place of Business:
2831 SE 17TH ST
OCALA, FL 34471

Current Mailing Address:
2831 SE 17TH STREET
OCALA, FL 34471 US

FEI Number: 27-0867581

Name and Address of Current Registered Agent:
DINKINS, JOHN C
2831 SE 17TH ST
OCALA, FL 34471 US

Certificate of Status Desired: No

The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.

SIGNATURE: _____ **Date:** _____
Electronic Signature of Registered Agent

Authorized Person(s) Detail :

Title	MGR	Title	AUTHORIZED MEMBER
Name	DINKINS, JOHN C	Name	DINKINS, HEIDI L
Address	2831 SE 17TH STREET	Address	2831 SE 17TH STREET
City-State-Zip:	OCALA FL 34471	City-State-Zip:	OCALA FL 34471

I hereby declare that the information indicated on this report is representative, correct, true and accurate and that my electronic signature and seal have the same legal effect as if made in person. I will be responsible for the accuracy of the information provided on the report or for any information provided to ensure the report is completed by Chapter 605, Florida Statutes, if that my name appears across, or on an attachment with or without this report.

SIGNATURE: JOHN C. DINKINS **MANAGER** **Date:** 01/08/2024
Electronic Signature of Signing Authorized Person(s) Detail

Rispoli & Associates Architecture, Inc.

Ron DeSantis, Governor Melanie S. Griffin, Secretary
STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
BOARD OF ARCHITECTURE & INTERIOR DESIGN
 THE ARCHITECT HEREIN IS LICENSED UNDER THE PROVISIONS OF CHAPTER 481, FLORIDA STATUTES

RISPOLI, JOSEPH ANTHONY
 RISPOLI & ASSOCIATES ARCHITECTURE, INC.
 2727 SOUTH EAST 23RD AVE.
 OCALA FL 34471
LICENSE NUMBER: AR95439
EXPIRATION DATE: FEBRUARY 28, 2025
 Always verify licenses online at MyFloridaLicense.com

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Ron DeSantis, Governor Melanie S. Griffin, Secretary
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BOARD OF ARCHITECTURE & INTERIOR DESIGN
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GARCIA, ERIK
 4777 SW 95TH LANE
 OCALA FL 34476
LICENSE NUMBER: AR94374
EXPIRATION DATE: FEBRUARY 28, 2025
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 OCALA FL 34476
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FILED
Feb 14, 2024
Secretary of State
138127 1733CC

2024 FLORIDA PROFIT CORPORATION ANNUAL REPORT
 DOCUMENT# F9400013617
Entity Name: RISPOLI & ASSOCIATES ARCHITECTURE, INC.
Current Principal Place of Business:
 114 S. MAGNOLIA AVE.
 OCALA, FL 34471
Current Mailing Address:
 114 S. MAGNOLIA AVE.
 OCALA, FL 34471
FEI Number: 69-3283092 **Certificate of Status Desired:** Yes
Name and Address of Current Registered Agent:
 RISPOLI JOSEPH A
 114 S. MAGNOLIA AVE
 OCALA, FL 34471 US
 The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida
SIGNATURE: _____ Date: _____
 Electronic Signature of Registered Agent
Officer/Director Detail :
 Title: PTDS
 Name: RISPOLI, JOSEPH A
 Address: 2727 EE 23RD AVE
 City/State/Zip: OCALA, FL 34471
 Electronic Signatures of Signing Officer/Director/Detail: _____ Date: 02/14/2024



Kimley-Horn & Associates, Inc.

STATE OF FLORIDA
BOARD OF PROFESSIONAL ENGINEERS
 THE PROFESSIONAL ENGINEER HEREIN IS LICENSED UNDER THE PROVISIONS OF CHAPTER 471, FLORIDA STATUTES

LONDON, JOSEPH CHARLES
 535 SE 15TH AVE
 OCALA FL 34471

LICENSE NUMBER: PE33694
 EXPIRATION DATE: FEBRUARY 28, 2025
 Always verify licenses online at MyFloridaLicense.com

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STATE OF FLORIDA
BOARD OF PROFESSIONAL ENGINEERS
 THE PROFESSIONAL ENGINEER HEREIN IS LICENSED UNDER THE PROVISIONS OF CHAPTER 471, FLORIDA STATUTES

MURAD, MOHAMMED NABIL
 3032 NE 26TH ST
 OCALA FL 34470

LICENSE NUMBER: PE91243
 EXPIRATION DATE: FEBRUARY 28, 2025
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STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
BOARD OF LANDSCAPE ARCHITECTURE
 THE LANDSCAPE ARCHITECT HEREIN HAS REGISTERED UNDER THE PROVISIONS OF CHAPTER 481, FLORIDA STATUTES

MANLEY, CLAIRE ELISABETH
 MANLEY DESIGN, LLC
 3462 NW 13TH AVE
 GAINESVILLE FL 32605

LICENSE NUMBER: LA6663722
 EXPIRATION DATE: NOVEMBER 30, 2025
 Always verify licenses online at MyFloridaLicense.com

ISSUED: 11/14/2023
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2024 FOREIGN PROFIT CORPORATION ANNUAL REPORT
 DOCUMENT# 6213959
Entity Name: KIMLEY-HORN AND ASSOCIATES, INC.
Current Principal Place of Business:
 421 FAYETTEVILLE STREET
 SUITE 600
 RALEIGH, NC 27601

Current Mailing Address:
 421 FAYETTEVILLE STREET
 SUITE 600
 RALEIGH, NC 27601 US

FEI Number: 68-0808815 **Certificate of Status Desired:** No

Name and Address of Current Registered Agent:
 CI CORPORATION SYSTEM
 1200 SOUTH PINE ISLAND ROAD
 PLANTATION, FL 33324 US

The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.

SIGNATURE
 Electronic Signature of Registered Agent _____ Date _____

Officer/Director Detail:

Title	Name	Address	City-State-Zip	Title	Name	Address	City-State-Zip
SENIOR VICE PRESIDENT	NATHAN JARON W	421 FAYETTEVILLE STREET SUITE 600	RALEIGH NC 27601	SENIOR VICE PRESIDENT	SCHANEN, KEVIN M.	421 FAYETTEVILLE STREET SUITE 600	RALEIGH NC 27601
SENIOR VICE PRESIDENT	BLAKELY STEPHEN	421 FAYETTEVILLE STREET SUITE 600	RALEIGH NC 27601	SENIOR VICE PRESIDENT	KALTSAG, JOSEPH D.	421 FAYETTEVILLE STREET SUITE 600	RALEIGH NC 27601
SENIOR VICE PRESIDENT	MUTTI BRENT H.	421 FAYETTEVILLE STREET SUITE 600	RALEIGH NC 27601	SENIOR VICE PRESIDENT	COLVIN, SCOTT W.	421 FAYETTEVILLE STREET SUITE 600	RALEIGH NC 27601
CHAIRMAN	BARBER, BARRY L.	421 FAYETTEVILLE STREET SUITE 600	RALEIGH NC 27601	DIRECTOR	FLANAGAN, TAMMY L.	421 FAYETTEVILLE STREET SUITE 600	RALEIGH NC 27601

Continues on page 2

SIGNATURE: RICHARD N. COOK **SENIOR VICE PRESIDENT, SECRETARY** 04/03/2024
 Electronic Signature of Signing Officer/Director/Detail _____ Date _____

STATE OF FLORIDA
BOARD OF PROFESSIONAL ENGINEERS
 THE PROFESSIONAL ENGINEER HEREIN IS LICENSED UNDER THE PROVISIONS OF CHAPTER 471, FLORIDA STATUTES

GARRI, ALAN JOHN
 1700 SE 17TH STREET
 SUITE 200
 OCALA FL 34471

LICENSE NUMBER: PE70674
 EXPIRATION DATE: FEBRUARY 28, 2025
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CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
07/12/2024

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Brown & Brown Insurance Services, Inc. 1720 SE 16th Avenue, Suite 301 Ocala FL 34471	CONTACT NAME: Robin Simmons PHONE (A/C, No, Ext): (352) 732-5010 FAX (A/C, No): (352) 732-5344 E-MAIL ADDRESS: Robin.Simmons@bbrown.com <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="text-align: center;">INSURER(S) AFFORDING COVERAGE</th> <th style="text-align: center;">NAIC #</th> </tr> <tr> <td>INSURER A: CUMIS Insurance Society, Inc.</td> <td style="text-align: center;">10847</td> </tr> <tr> <td>INSURER B: Milford Casualty Insurance Company</td> <td style="text-align: center;">26662</td> </tr> <tr> <td>INSURER C: Crum & Forster Specialty Insurance Company</td> <td style="text-align: center;">44520</td> </tr> <tr> <td>INSURER D:</td> <td></td> </tr> <tr> <td>INSURER E:</td> <td></td> </tr> <tr> <td>INSURER F:</td> <td></td> </tr> </table>	INSURER(S) AFFORDING COVERAGE	NAIC #	INSURER A: CUMIS Insurance Society, Inc.	10847	INSURER B: Milford Casualty Insurance Company	26662	INSURER C: Crum & Forster Specialty Insurance Company	44520	INSURER D:		INSURER E:		INSURER F:	
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INSURER E:															
INSURER F:															
INSURED Dinkins Construction, LLC 2831 SE 17 St Ocala FL 34471															

COVERAGES **CERTIFICATE NUMBER:** 24-25 **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS														
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B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A	MWC1037071	08/01/2024	08/01/2025	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td><input checked="" type="checkbox"/> PER STATUTE</td> <td><input type="checkbox"/> OTHER</td> <td></td> </tr> <tr><td>E.L. EACH ACCIDENT</td><td></td><td style="text-align: right;">\$ 1,000,000</td></tr> <tr><td>E.L. DISEASE - EA EMPLOYEE</td><td></td><td style="text-align: right;">\$ 1,000,000</td></tr> <tr><td>E.L. DISEASE - POLICY LIMIT</td><td></td><td style="text-align: right;">\$ 1,000,000</td></tr> </table>	<input checked="" type="checkbox"/> PER STATUTE	<input type="checkbox"/> OTHER		E.L. EACH ACCIDENT		\$ 1,000,000	E.L. DISEASE - EA EMPLOYEE		\$ 1,000,000	E.L. DISEASE - POLICY LIMIT		\$ 1,000,000		
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C	Professional Liability (Professional/ Pollution)			PKC114526	08/28/2023	08/28/2024	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr><td>General Aggregate Limit</td><td style="text-align: right;">1,000,000</td></tr> <tr><td>Contractor's Pollution</td><td style="text-align: right;">1,000,000</td></tr> <tr><td>Errors & Omissions</td><td style="text-align: right;">1,000,000</td></tr> </table>	General Aggregate Limit	1,000,000	Contractor's Pollution	1,000,000	Errors & Omissions	1,000,000								
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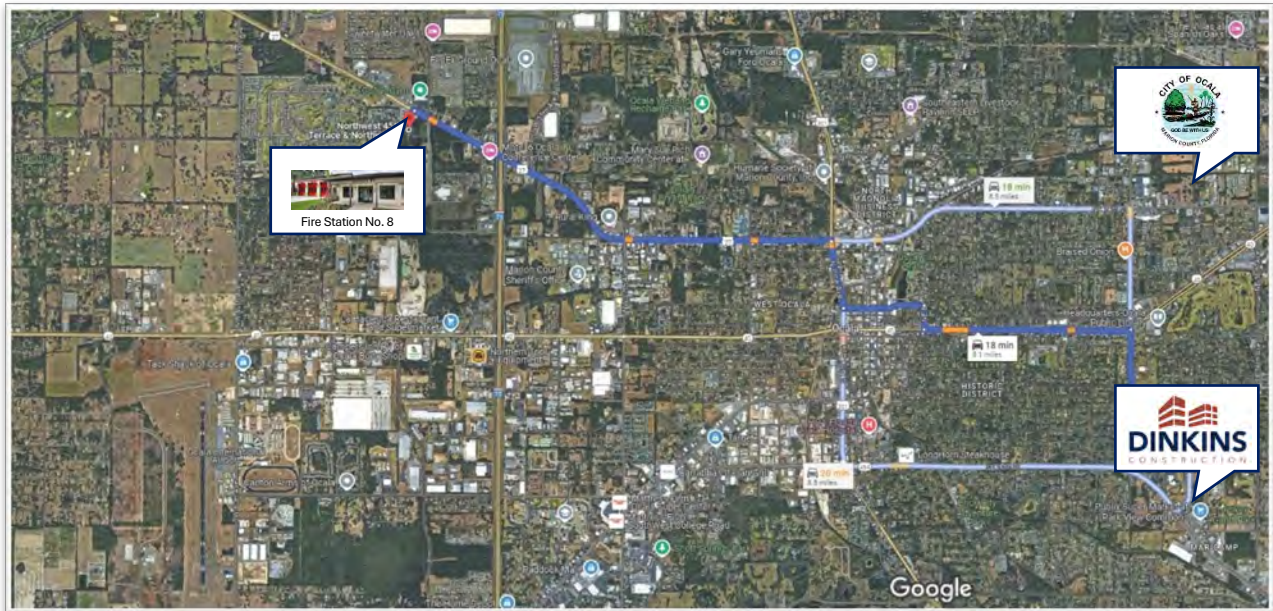
DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
 Certificate holder is listed as additional insured with regards to the general liability and auto when required by written contract/agreement. A waiver of subrogation is applicable in favor of stated additional insured with regards to the work comp when required by written contract/agreement.

CERTIFICATE HOLDER City of Ocala 110 SE Watula Ave Ocala FL 34471	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE
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ACORD 25 (2016/03)

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Distance to Jobsite

Dinkins Construction is located at 2831 SE 17th Street, Ocala, right in the heart of Marion County. Our offices are located just 3.5 miles from the City of Ocala Engineering offices, and just 8.5 miles from the proposed project site. The Dinkins Team is perfectly positioned for the City of Ocala Fire Station No. 8.

Our project superintendent will be located on your jobsite full-time.

“I want to shout out loudly to you that I never noticed one issue that had negative impact on our community during the building of the Fire Station. You and your company are to be commended for your efforts that you took to build on a confined space and to not impact our community in a way that caused us any concerns or discomfort. Our way of life went on as usual. EXCELLENT job by all with your firm.”

- Rolling Greens Resident
Marion County Rolling Greens Fire Station No. 28

“Ron Henion is very knowledgeable and competent. Chap Dinkins expressed on numerous occasions his desire to do a good job for the City. He succeeded”

- Larry Miller, City of Ocala Project Manager
Ocala Fire Station No. 7/First Responders Campus

TAB 2: Experience of the Design-Build Team / References





Chap Dinkins

Manager/General Contractor - 100% Project Involvement

Chap got started in the construction industry by working his way through college as a draftsman for an Architect and a Civil Engineer. Chap is an expert communicator and planner. He spent the first 5 years of his professional career as a General Contractor for chain restaurants and retail stores around the country. He successfully delivered over 75 locations in challenging markets.

Since returning to Ocala in 2000, he has successfully developed commercial properties as a professional Construction Manager and General Contractor. All of the projects have been negotiated and Chap has coordinated all the design, engineering, and permitting efforts; including land use changes, environmental mitigations, public hearings, zoning changes, and all department reviews from the governing agencies: including FDOT, DEP, WMD, etc. He uses the vision of the client to phase each project and can fast track projects through design team meetings and reviews. He has extensive estimating, project management and subcontractor coordinating experience. He is no stranger to the job site, as he is a hands-on general contractor, personally visiting each project for quality control checks.

Chap believes in giving back and has, in the past, served on the Boards of Directors for Kimberly's Center and Interfaith Emergency Services. As an Eagle Scout, he was involved with Scouting as an adult leader long enough to rebuild Troop 440 and see 8 Eagle Scouts emerge from his tenure as Scoutmaster. He has coached youth baseball, football, and lacrosse and led each team to earn age group titles. Chap volunteers on the Leadership Team for Church at the Springs and led the Iron Men Group of 125 men. He regularly travels abroad to serve the Living Hope Haiti Mission in the Village of St. Michele.

DUTIES:

Chap is the team leader and sets an example of excellence for his employees. He is responsible for overseeing budgets, schedules, jobsite safety programs, quality control, and ensuring projects are brought in on time and the client is fully satisfied with the product. Chap is hands on and makes frequent visits to each jobsite to ensure his team is adhering to the Dinkins Standard of Excellence.

PROJECT EXPERIENCE (Partial):

City of Ocala Fire Station No. 7
 City of Ocala Fire Station No. 3 (p/k/a FS No. 1)/Police Substation No. 2
 Marion County Fire Station No. 11 - *In design*
 Marion County EMS Central Station
 Marion County 21 Fire Stations Plymovent Design & Installation
 Marion County Fire Station No. 1 HVAC Renovations
 Marion County Fire Station No. 28 Rolling Greens

EDUCATION:

University of Central Florida
 Organizational Communications

TRAINING/CERTIFICATIONS:

CGC License
 CPR Certification
 OSHA 30 Hour Course

YEARS WITH DINKINS:

24 years - *Founder*

TOTAL EXPERIENCE:

27 years



Kevin Donahue

Senior Project Manager - 100% Project Involvement

Kevin began his career as a hands-on laborer, and eventually accepted a position as warehouse and purchasing manager for a large general contractor in Indianapolis. His passion, however, was to manage construction projects from start to finish, so at age 38 Kevin returned to school to study Construction Management Technology through Purdue University. In 2003, Kevin moved his family to Ocala so his two beautiful daughters could grow up close to their last remaining grandparent. He joined the Dinkins Team in 2004.

EDUCATION:

Construction Management
Purdue University

TRAINING/CERTIFICATIONS:

CPR Certification
10 hours OSHA Training

YEARS WITH DINKINS:

20 Years

TOTAL EXPERIENCE:

48 Years

DUTIES:

Kevin manages our projects and project personnel to insure timely completion of projects. He sets the budget for new jobs and awards final subcontracts within approved budgets. He issues purchase orders and tracks long lead items. He reviews and approves job schedules, and participates in job meetings.

He expedites the receipt and distribution and approval of all shop drawings, samples, submittals, RFIs, etc.

Kevin has managed projects for Dinkins Construction totaling over \$100 million.

PROJECT EXPERIENCE (Partial):

City of Ocala Fire Station No. 7
 City of Ocala Fire Station No. 3 (p/k/a FS No. 1)
 City of Ocala Police Substation No. 2
 Marion County Fire Station No. 11 - *In design*
 Marion County EMS Central Station
 Marion County Fire Station No. 28 Rolling Greens
 Marion County 21 Fire Stations Plymovent Design & Installation
 Marion County Fire Station No. 1 HVAC Renovations
 Fortiline Waterworks
 First Baptist Church of Wildwood
 Williston Middle/High School
 Canaan Ranch
 Marion County Veteran's Center Phase II
 Marion County Dunnellon Airport T-Hangars
 Marion County Martel Shooting Range and Targets
 Canaan Ranch Building 2
 Jing Tang
 Eye care Center of Ocala
 Chi Gate
 Marion County Tax Collector HVAC Upgrade
 Marion County Citizens Convenience Center
 Chi Equine Facility – Mezzanine and Site Lighting



Jake Myer

Project Manager/General Contractor - Project Involvement as Needed
(*Secondary Qualifier*)

Jake worked his way through college as a certified welder and fabricator and eventually a foreman with a structural steel subcontractor. Jake moved to Atlanta, GA after graduating college where he managed high density, mixed-use developments in the metro area. Jake has delivered successful projects in Atlanta, Nashville, and numerous cities throughout Florida. Jake relocated to Ocala in 2009 when he and his wife were having their first of three children. Jake joined Dinkins in 2021.

EDUCATION:

Clemson University
Mechanical Engineering
University of Florida
Architectural Design

TRAINING/CERTIFICATIONS:

CGC License 2009
Real Estate License 2006
30 hours OSHA Training

YEARS WITH DINKINS:

3 Years
Secondary Qualifier

TOTAL EXPERIENCE:

20 Years

DUTIES:

Jake manages our projects and project personnel to insure timely completion of projects. He sets the budget for new jobs and awards final subcontracts within approved budgets. He issues purchase orders and tracks long lead items. He reviews and approves project schedules and participates in job meetings from concept to completion.

He expedites the receipt and distribution and approval of all shop drawings, samples, submittals, RFIs, etc. Jake values the Owner-General Contractor relationship and strives to always set and maintain expectations.

Jake has managed projects for Dinkins Construction totaling over \$20 million.

PROJECT EXPERIENCE (Partial):

Marion County Fire Station No. 11 - In design
Marion County EMS Central Station
Atrium Industrial
VIP Dentistry
SMA Healthcare
Marion County Jail Repairs
Marion County Jail Ware Wash Renovations
Marion County Jail Pipe Lining
MCFR - Medical Examiner's Office Renovations
Great Lakes Carpet & Tile Warehouse
Sentry Self Storage Phase Two
Trinity Baptist Church Children's Building
Amazing Grace Lutheran Church Early Learning Center Addition
Red Fern Pet Lodge
Crystal River RV Resort and Clubhouse
Florida Center for the Blind - Modular Classroom Building
Woodland Place Apartments
Tack Shack of Ocala



Ron Henion

Superintendent - 100% Project Involvement

Ron joined Dinkins in 2014 and brought with him 10 years of experience. He strives for excellence in customer service and quality construction. Ron takes personal ownership in every project and is a particularly good communicator. He believes satisfied clients will enjoy their buildings for decades to come and he takes great pleasure in hearing compliments about a Dinkins Construction project.

DUTIES:

Ron provides onsite planning and coordination and directs and manages subcontractors; material and equipment deliveries; and ensures plans and specifications are being strictly followed and work is proceeding on schedule and within budget. Ron is responsible for project schedules, inspections, project quality control, and job site safety.

Ron will hold weekly subcontractor meetings designed to coordinate the work. He will document as-builts during the project, ensure the highest quality standards are maintained, and all required inspections are scheduled and passed with all governing agencies. He will enforce job site quality control programs to ensure quality completion of construction.

Ron has completed projects totaling over \$30 million with Dinkins Construction.

PROJECT EXPERIENCE (Partial):

- City of Ocala Fire Station No. 7
- City of Ocala Fire Station No. 3 (p/k/a FS No. 1)
- City of Ocala Police Substation No. 2
- Marion County Fire Station No. 11 - *In design*
- Marion County EMS Central Station
- Marion County 21 Fire Stations Plymovent Design & Installation
- Marion County Fire Station No. 1 HVAC Renovations
- Marion County Fire Station No. 28 Rolling Greens
- Frank DeLuca YMCA Renovation
- Heart of Florida Clinic
- Department of Children and Family Services
- Live Oaks Church Phases 1 and 2
- Marion County Silver Springs Shores Waste Water Treatment Facility
- Marion County Landfill Transfer Station
- Marion County Jail Emergency Repairs
- Great Lakes Warehouse
- Amazing Grace Early Learning Center Addition
- MC Jail Shower Remodel
- Marion County Health Department Restroom Remodel

EDUCATION:

West Milford High School, 2007

TRAINING/CERTIFICATIONS:

Universal Technical Institute, 2008
 ASE Master Tech Certified
 Ford Factory Certified
 OSHA 10 Safety Training
 Aerial Lift Certification
 Telehandler Certification
 CPR Certified
 HR Team Management
 FWCCA Steel Framing

YEARS WITH DINKINS:

10 Years

TOTAL EXPERIENCE:

20 Years

KEY PERSONNEL RESUME

JOSEPH A. RISPOLI, AIA, President, Architect



Mr. Rispoli founded **Rispoli & Associates Architecture** in 1994 and has been involved in design services in Ocala and the surrounding areas for over 36 years. Joe's leadership skills have greatly benefited the projects he is involved with. He provides a single source of responsibility, coordinating the team's efforts into an integrated force, to promote and foster a team approach through coordination, regularly scheduled meetings, Owner participation, quality control and post occupancy evaluations. His 36 years of experience and expertise in thousands of projects is what is most remembered by the clients he serves.

EDUCATION

Master of Architecture, New School of Architecture & Design, San Diego, CA; 2009
Bachelor of Design, College of Architecture, University of Florida; 1981

REGISTRATION

Registered Architect, State of Florida, License No. AR95439
Registered Architect, State of California, License No. C-30326; 2005
National Council of Architectural Registration Boards (NCARB) Certificate No. 69032; 2010
Structural Masonry Inspector, Certificate No. SMI-1568; 1998

EXPERIENCE

Citra Fire Station no. 2 New
(currently under construction) - 8,200 sq. ft.



MARION COUNTY FIRE RESCUE
STATION 2
CITRA, FLORIDA



Fire Station 17 Remodel - Silver Spring Shores

Fire Station 19 Remodel - Sparr

Fire Station 27 Remodel - Weirsdale

Fire Station 22 Remodel - Rainbow Springs - bidding phase

Marion County Fire Rescue Needs Assessment Study for 28 Fire Stations **Completion Date 2003 / 2004**

Our firm was retained to survey existing conditions of all current operating Fire Stations. A complete review of building (HVAC), Electrical, Mechanical and Plumbing were surveyed with recommendations for remedial action and associated costs were furnished to the owner for review and budgeting analysis. The county retained our firm to provide renovation designs for multiple fire stations and to provide Full A/E Services for the construction of new Fire Stations.

KEY PERSONNEL RESUME

Marion County Golden Ocala Fire Station No. 20



Provided full A/E for this renovation to an existing fire station consisting of complete remodeling of 3,527 sq. ft. of existing day and bunk rooms, existing 2,680 sq. ft. apparatus bay to be upgraded, proposed addition of 4,166 sq. ft. and proposed covered porch of 220 sq. ft. for a total proposed station of 10,593 sq. ft. This Fire Station was based on a previously designed prototype fire station designed for Rolling Greens fire station No. 28 (below).

Marion County Rolling Greens Fire & Rescue Station No. 28



Provided full A/E for this new 7,700 sq. ft. facility for Marion County. This Fire Station was constructed using a pre-engineered metal building structure for the 3-bay apparatus building and an attached concrete block structure for the living quarters and office areas. The building houses dormitories for three (3) shifts of Fire and Emergency Service personnel as well as training room, office, fitness room and supporting living spaces. The challenge this facility created was to fit the needs of the fire facilities and incorporate the whole program on a limited sized site.



Marion County Shady Road Fire and Rescue Station No. 16

This fire station had been in operation serving Marion County for some time, first as a volunteer fire station and then as a professional one. The \$1.112 million dollar renovation and addition was in response to updating and upgrading the facility that supports an expanding community. One of the main problems with the existing station was that the vehicles had to back into the station and block the traffic on a busy road and of course not enough space for the personnel. Our solution was to remodel 4,830 square feet of the existing station into living and sleeping quarters and add a new apparatus bay (approximately 3,589 square feet). The addition was designed to meet the needs of a drive-through bay to house 6 vehicles. The new construction consisted of a metal building with CMU and metal stud infill and completely new mechanical split systems and new electrical and plumbing services.

KEY PERSONNEL RESUME

Marion County East Marion Fire and Rescue Station No. 4

This project consisted in the remodeling of an existing fire station, turning the entire facility into living quarters and adding on a complete apparatus bay wing to accept new fire trucks as well as create a new traffic pattern to not impede on the congested road it serves.



FIRE STATION # 11
FIRE COLLEGE
MARION COUNTY, FL

**Fire College Fire Station no. 11 w/classrooms
Marion County's largest Fire Station -14,000 sq. ft.
Completed design, awaiting final funding approval**

Sumter County Webster Fire Station No 12

Provided full A/E for this new 7,700 sq. ft. facility for Sumter County, which is located in the town of Webster, FL. This Fire Station was constructed using a pre-engineered metal building structure or the 3-bay apparatus building and an attached concrete block structure for the living quarters and office areas. The building houses dormitories for three (3) shifts of Fire and Emergency Service personnel as well as training room, office, fitness room and supporting living spaces. A new library and a joint use parking lot was also included in the contract providing a joined county facility campus / complex.

Sumter County Lake Panasoffkee Fire Station No 21

This was a remodel and expansion to the existing Sumter County Fire Station of 2,900 sq. ft. The expansion included a new three (3) bay pre-engineered metal apparatus building connected to the existing facility, which increased the total area of the Fire Station to 7,400 sq. ft. The existing apparatus bays and living quarters were completely remodeled to accommodate the county's expanding and restructuring of the Fire and Emergency Services into one facility. This Fire Station now contains dormitories for three (3) shifts of Fire and Emergency Service personnel as well as supporting living spaces and fitness room. The adjacent existing library was also remodeled and expanded. Site design services included the design of a joint use parking lot in between the two facilities integrating them as one campus / complex.

Sumter County Center Hill Fire and Rescue Station No. 14

Our firm was retained for provide Full A/E Services that included the design, bidding, construction administration and the coordination of other professionals to remodel an existing 2,100 sq. ft. facility, with roof removed and height added to apparatus bays, plus 1,700 sq. ft. addition to accommodate full time professional Fire and Emergency Service personnel.

Other Fire Stations

Firm provided A/E Services for the fire stations that included: New Design, As Built documents, evaluation of existing MEP systems and subsequent renovations and additions to accommodate a certain number of fire services personnel. These projects include:

City of Ocala Fire Station No. 2

City of Ocala Fire Station No. 4

City of Ocala Fire Station No. 5

Lake County Astor Park Fire Station No. 11

Lake County Summer Bay Fire Station No. 94

Lake County Bay Lake Volunteer Fire & Rescue

Lake County Fruitland Park Fire Station No. 81

Lake County Fire Station No. 63 – Leesburg

Marion County Marion Oaks Fire Station

Marion County Weirsdale Fire and Rescue Station No. 2

KEY PERSONNEL RESUME

ERIK GARCIA, Architect, Interior Designer, LEED AP



Mr. Garcia has over 15 years of experience in the fields of architecture, design, planning and construction. He has considerable experience in both the public and private sectors in a wide range of building types. Erik's responsibilities as the Project Architect, is to manage the design, construction documents, and construction administration phases of various projects. Said responsibilities shall also include meeting or exceeding the requirements of National, State, and Local Codes/Guidelines.

EDUCATION

Bachelor of Architecture, Florida Atlantic University; 2003
Associates in Arts with a Major in Architecture, Broward Community College; 2002

REGISTRATION

Licensed Architect, State of Florida, License No. AR94374
Licensed Interior Designer, State of Florida, License No. ID5577
LEED® Accredited Professional BD+C, ID: 10183876-AP-BD+C

EXPERIENCE

Erik has been involved with numerous municipal projects, specializing in fire stations, as a part of the **RAA** team including but not limited to the following:

Marion County Shady Road Fire and Rescue Station No. 16

This fire station had been in operation serving Marion County for some time, first as a volunteer fire station and then as a professional one. The \$1.112 million dollar renovation and addition was in response to updating and upgrading the facility that supports an expanding community. One of the main problems with the existing station was that the vehicles had to back into the station and block the traffic on a busy road and of course not enough space for the personnel. Our solution was to remodel 4,830 square feet of the existing station into living and sleeping quarters and add a new apparatus bay (approximately 3,589 square feet). The addition was designed to meet the needs of a drive-through bay to house 6 vehicles. The new construction consisted of a metal building with CMU and metal stud infill and completely new mechanical split systems and new electrical and plumbing services.

Sumter County Center Hill Fire and Rescue Station No. 14

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Sumter County Lake Panasoffkee Fire Station No 21

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Other Fire Stations:

Town of Davie Fire Station #86 & Community Center
City of West Palm Beach Fire Station #4

City of Fort Lauderdale Fire Station #8
Proposed Design - City of Tamarac Fire Station #78 (AIA Honor Award winner)



Joseph London, PE Quality Assurance/Quality Control

Joseph (Joe) London is a professional engineer with more than 44 years of civil engineering experience. His expertise is in construction management, contract management, and value engineering. Joe has completed five Marion County fire station projects within the last three years. His in-depth knowledge and familiarity with local governing and permitting agencies make him well-suited for this contract. His extensive experience in municipal facilities projects in central Florida, including the following:

Professional Credentials

- Bachelor of Science, Civil Engineering, University of Florida, 1978
- Florida Professional Engineer License #33694, Earned 1983

Special Qualifications

- Has 44 years of civil engineering experience
- Extensive experience in municipal facilities
- Expertise in construction management, contract management, and value engineering

Relevant Experience

Martel Training Course & Asphalt Millings Pad Design, Ocala, FL — Project Manager. Provided professional civil engineering services for the design and permitting of the Martel Paved Training Course and Asphalt Millings Pad, based on the Conceptual Master Plan we previously prepared in 2020. Services included surveying, geotechnical services, environmental services, conceptual site planning, site development plans, landscape and irrigation plans, electrical engineering plans and documents, architectural services, traffic engineering regulatory agency permitting assistance and construction phase services.

Martin Luther King (MLK) First Responders' Campus, Ocala, FL — Senior Project Engineer. Provided professional civil engineering and surveying services for this first responders' campus consisting of a 4-bay fire station with integrated fire department headquarters, 1 police district facility building, and a community building that includes a fire department museum. The campus also provides a full-sized basketball court for community use, and a fuel island with above ground tanks for City of Ocala vehicles' use. Specific tasks included site plan surveying services, conceptual plan revisions, a City site plan, an environmental resource permit (ERP) modification through the St. Johns River Water Management District (SJRWMD), a landscape plan, and construction phase services.

Marion County Sheriff's 911 Communication Building Bunk House, Ocala, FL — Project Manager. Provided professional civil engineering and surveying services for the construction of a 2,500-square-foot bunk house addition to the Marion County Sheriff's 911 Communication Building. Specific tasks included a topographic and location survey; preparation of a minor site plan and a landscape plan for the City of Ocala; an Environmental Resource Permit (ERP) modification through the St. Johns River Water Management District (SJRWMD); site visits during construction; and coordination with contractors.

Marion County Golden Ocala Fire Station #20 Expansion, Ocala, FL — Project Manager. Provided professional engineering services to support the expansion of the Golden Ocala Fire Station #20 in Ocala, Florida. Individual services included development of a conceptual site plan, surveying services, civil site design and permitting, landscape architecture services, and limited construction phase services such as site visits, meetings, review of shop drawings and samples, substantial completion site visit and notice of acceptability of the work.



Mohammed Murad, PE Project Manager

Mohammed is an emerging project manager with ten years of experience involving a variety in civil engineering services in the Central Florida area. He is an experienced task and project manager specializing in residential, commercial, and industrial developments. He has managed tasks and leads projects from concepts through design, permitting, and construction. Mohammed has also provided quality control, cost estimates, project bidding, and field inspections. His software experience includes CADD, Synchro, and Highway Capacity Software (HCS).

Relevant Experience

Bus Stop Design Services, Ocala, FL — Project manager. Kimley-Horn was selected by the City of Ocala to help improve bus stop infrastructure and passenger amenities throughout the community. The project included the SunTran fixed-route bus network, which contains over 300 bus stops, throughout Ocala and surrounding areas. Kimley-Horn presented improvements for selected 25 bus stops including the construction of ADA compliant boarding, accessible paths, alighting areas, and installing passenger amenities. These passenger amenities involved the installation of benches, trash cans, shelters, lighting, and bike racks. Provided services included bus stop prioritization, surveying services, bus stop construction plans, and agency permitting.

University of Florida Parking Garage XIV, Gainesville, FL — Project analyst. Kimley-Horn provided full civil engineering services to evaluate a planned 750 space parking garage within the University of Florida campus. Kimley-Horn assisted in the evaluation of three separate sites, including detailed transportation modeling scenarios in the heart of UF campus. The final selected site includes additional transportation evaluation, pedestrian safety studies, full civil engineering services, and landscape architecture. The project also included significant interaction with Gainesville RTS transit service to evaluate alternatives for impacts and improvements to an existing bus drop off facility.

City of Wildwood Public Works Municipal Building Expansion, Wildwood, FL - Project Manager. The City of Wildwood procured Kimley-Horn to provide site civil design and specifications for site improvements for the expansion of their Public Works Facility on Warfield Avenue in Wildwood. We coordinated with the City of Wildwood to obtain all project-specific design specifications and operational requirements for the site, and with the City's architect to obtain building footprints and design information. We prepared civil construction plans to meet specifications of the City of Wildwood and the Southwest Florida Water Management District (SWFWMD). Following design completion, Kimley-Horn was contracted to provide construction phase services throughout the duration of the project.

Martin Luther King (MLK) First Responders' Campus, Ocala, FL — Task Manager. This first responders' campus consists of a 4-bay fire station with integrated fire department headquarters, 1 police district facility building, and a community building that includes a fire department museum. The campus also provides a full-sized basketball court for community use, and a fuel island with above ground tanks for City of Ocala vehicles' use. Specific tasks included site plan surveying services, conceptual plan revisions, a City site plan, an environmental resource permit (ERP) modification through the St. Johns River Water Management District (SJRWMD), a landscape plan, and construction phase services.

Professional Credentials

- Bachelor of Science, Civil Engineering, University of Florida, 2013
- Florida Professional Engineer License #91243, Earned 2021

Special Qualifications

- Has 10 years of civil engineering experience
- Extensive experience in municipal facilities
- Expertise in construction management, contract management, and value engineering



C. Elisabeth Manley, PLA Landscape Architect

Elisabeth Manley offers 23 years of experience designing public and private site improvement projects throughout Florida. She has provided project management, public facilitation, and the full spectrum of landscape architectural services, including master planning and hardscape, landscape and irrigation design and construction documentation.

Relevant Experience

[Grace Church Redevelopment Options, Ocala, FL — Project Landscape Architect.](#) Kimley-Horn professionals in partnership with Church leadership led a planning process with Church leadership, staff, and members to identify opportunities for redevelopment of Grace's campus to better meet mission needs, both financial and spatial, while minimizing life-cycle costs. Several campus design options were produced per input from Church workshops and follow up discussions with City of Ocala Planning and Engineering staff. Concepts explored public/private partnerships and vetted site development requirements.

[Santa Fe College \(SFC\) Blount Center, Gainesville, FL — Project Landscape Architect.](#) Provided site planning and wall, paving, plaza, landscape, and irrigation design, coordination with local agencies, and construction administration for the \$28M expansion of the SFC downtown campus.

[Bo Diddley Plaza, Gainesville, FL — Project Landscape Architect.](#) Provided hardscape and landscape design for a complete renovation of the downtown plaza including new seat walls, decorative paving, gathering spaces, landscape, and irrigation.

[RTS Fleet Maintenance and Operations Facility, Gainesville, FL — Landscape Architect.](#) Designed landscape and irrigation for this new facility, including perimeter plantings and entry landscape with hardscape features and public art.

[UF Southwest Roadways, Gainesville, FL — Project Landscape Architect.](#) Provided design, construction documentation, and construction administration for a new vehicular gateway and landscape and irrigation design for the project's roadway corridors.

[UF Hub Bus Shelter and Site Improvements, Gainesville, FL — Project Landscape Architect.](#) Led a multi-disciplinary team from design through construction for a complete renovation to this existing plaza, including new paving, bus shelter, and landscaping to optimize circulation and expand UF Dining opportunities.

[SR 35 Landscape Improvements, Marion County, FL - Landscape Architect.](#) Provided landscape design for existing medians and stormwater ponds within over a five-mile corridor of this existing roadway. Coordinated with Marion County and FDOT District 5, produced construction documents, and provided construction administration services.

Professional Credentials

- Bachelor of Science, Biology, University of Florida
- Master of Landscape Architecture, University of Florida
- Florida Professional Landscape Architect License #6666722-FL

Special Qualifications

- More than 20 years of experience designing public and private site improvement projects throughout Florida
- Member, American Society of Landscape Architects (ASLA)
- Member, Builders Association of North Central Florida (BANCF)
- Recent Member of City of Gainesville Tree Advisory Board



Alan Garri, PE Utilities Project Manager

Alan Garri is a senior project manager with 23 years of experience involving water, wastewater, drainage, and roadway design. He has extensive water resources expertise including water quality, stormwater management, drainage design, septic to sewer, sewer design and hydrology. He has provided project management, site plans, feasibility studies, contract management, environmental permitting, grading design, erosion control, and construction management services to private and public sector clients throughout Central Florida. He is a member of the Florida Engineering Society Conservation and Environmental Quality Committee and a member of the Utility Advisory Board of the City of Ocala.

Professional Credentials

- Bachelor of Science, Mechanical Engineering, University of Florida, 2002
- Florida Professional Engineer License #70674, Earned 2010

Special Qualifications

- Has 23 years of civil engineering experience
- Florida Engineering Society
- Florida Institute of Consulting Engineers
- National Society of Professional Engineers
- American Water Resources Association
- Member of the Utility Advisory Board for the City of Ocala

Relevant Experience

[Ocala Water Treatment Facility Feasibility Study/Blending Analysis, Ocala, FL — Project Manager](#). Project Engineer. Project engineer. Kimley-Horn prepared a water treatment facility analysis for the recently constructed lower Floridan aquifer well and potential future well supplies. The purpose of the analysis was to plan the treatment necessary to treat the water supply to potable water quality, integration of the existing and new water treatment facilities, blending of the two water supplies, and identification of the optimal water treatment ratios of the existing and future treated water supplies. The project's scope of services included the specific tasks to gather information, develop treatment needs, perform necessary analyses, develop costs, and document the project results. The feasibility analysis focused on available treatment alternatives, anticipated water qualities and capital cost for each, integration techniques within the City, existing infrastructure and new blending facilities, and establishing the recommended road map for the City of Ocala's future treatment needs.

[Ocala Emergency Response Plan, Ocala, FL — Project Manager](#). Kimley-Horn prepared an Emergency Response Plan (ERP) for the City of Ocala's water system which serves a population of 60,000. The ERP was prepared in compliance with the American's Water Infrastructure Act of 2018 (AWIA) utilizing the results from the Risk and Resilience Assessment (RRA). The ERP included strategies and resources to improve system resilience, plans and procedures, and equipment to lessen the impact on public health, actions, procedures, and equipment utilized during a response, strategies to detect malevolent acts or natural hazards that threaten the security or resilience of the system, coordination with Local Emergency Planning Committee. The plan was prepared in accordance with the AWWA G440-17 standard for Emergency Preparedness Practices.

[Ocala Water Resources Master Plan, Volume I and III Specification Revisions, Ocala, FL — Project Manager](#). Project manager for the revision associated with this project that consisted of a review of the existing specifications within Volumes I and III, reformatting of the specifications to the SpecText format, and addition of requested sections to the specifications. Specifically, the City of Ocala has stated that Volume III did not adequately address paving, earthwork, rock removal, backfill, concrete work, and sink hole remediation that would typically be associated with utility construction projects, so Kimley-Horn included specifications for these sections in the SpecText format.



Dinkins Construction Role
Construction Manager

Owner's Representative
Sean Lanier, PE, CFM, Director
Engineering Department
City of Ocala
1805 NE 30th Ave, Bldg. 600
Ocala, FL 34470
slanier@ocalafl.org
(352) 351-6772

Project Size
9,800 S.F.

Project Budget: \$2,002,090
Project Cost: \$1,800,000

Initial Start Date: October 2017
Completion Date: November 2018

Team Members Involved
Chap Dinkins, GC
Kevin Donahue, Project Manager
Ron Henion, Superintendent

City of Ocala - Fire Station No. 7 *Ocala, Florida*

The station was constructed to help improve response times in the southeast and south-central portions of the city and will give the special operations unit a permanent home. The implementation of large yellow hoses and exhaust systems in the closets help remove and filter fumes, just like in the truck bays.





Dinkins Construction Role
Construction Manager

Owner's Representative
Sean Lanier, PE, CFM, Director
City of Ocala - Engineering Department
1805 NE 30th Ave, Bldg. 600
Ocala, FL 34470
slanier@ocalafl.org
(352) 351-6772

Project Size
9,800 SF - Fire Station No. 3
(Previously Known as Fire Station 1)
3,862 SF - Ocala Police Department
Substation No. 2

Project Budget: \$3,102,090
Project Cost: \$2,900,000

Initial Start Date: October 2017
Completion Date: November 2018

Team Members Involved
Chap Dinkins, GC
Kevin Donahue, Project Manager
Ron Henion, Superintendent

Ocala First Responders Campus Fire Station No. 3/OPD Substation No. 2

Ocala, Florida

The First Responders Campus houses Fire Station No. 3, and Police Substation No. 2. Fire Station No. 3 is 9,800 SF with 3 apparatus bays and was previously the headquarters for the Ocala Fire Department. Ocala Police Department Substation No. 2 is 3,862 SF. This was a Design-Build CM at Risk project delivery.





Dinkins Construction Role
Construction Manager

Owner's Representative
Nicole Sherman
Marion County Facilities Department
2602 SE 8th Street
Ocala, FL 34471
nicole.sherman@marionfl.org
(352) 671-8750

Project Size
19,422 SF

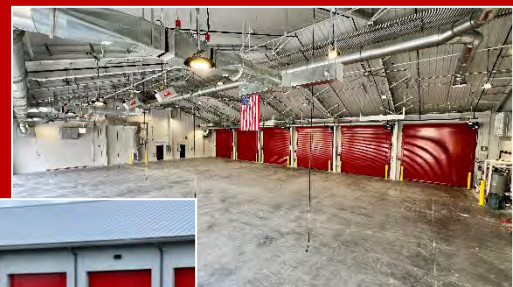
Project Budget: \$8,040,341
Project Cost: \$8,040,341

Initial Start Date: August 2023
Completion Date: September 2024

Team Members Involved
Chap Dinkins, GC
Kevin Donahue, Project Manager
Ron Henion, Superintendent

Marion County EMS Central Station *Ocala, Florida*

New construction of a 19,422 S.F. Emergency Management Station. This project includes 9,844 S.F. of conditioned living space and 9,598 S.F. of unconditioned space with twelve (12) apparatus bays. Station includes the following: emergency generator which provides 100% coverage; full BDA system; a baby box; extreme duty hurricane-rated roll-up doors; and a mass exhaust system. The project was a Construction Manager at Risk project delivery.





Dinkins Construction Role
Construction Manager

Owner's Representative
Mike Bates
Marion County Facilities Department
2602 SE 8th Street
Ocala, FL 34471
mike.bates@marioncountyfl.org
(352) 671-8750

Project Size
8,045 SF

Project Budget: \$2,397,015
Project Cost: \$2,408,260
(Owner added scope, saved \$100k in contingency)

Initial Start Date: October 2018
Completion Date: October 2019

Team Members Involved
Chap Dinkins, GC
Kevin Donahue, Project Manager
Ron Henion, Superintendent
Joe Rispoli, Architect

Marion County Rolling Greens Fire Station No. 28

Ocala, Florida

New construction of a 8,045 S.F. Fire Station. This project included 3,280 SF of conditioned space and 4,765 SF of unconditioned space with three apparatus bays. The project was a design-build and included Construction Manager at Risk project delivery.





Dinkins Construction Role
Construction Manager

Owner's Representative
Jason Chesser
Marion County Facilities Department
2602 SE 8th Street
Ocala, FL 34471
jason.chesser@marionfl.org
(352) 671-8750

Project Size
4,125 SF

Project Budget: \$2,883,832
Project Cost: \$2,796,656

Initial Start Date: November 2021
Completion Date: December 2022

Team Members Involved
Chap Dinkins, GC
Kevin Donahue, Project Manager

Marion County Martel Gun Range and Target System

Ocala, Florida

The construction of the Marion County Sheriff's Office Gun Range and Target System included a covered shooting area and ADA compliant restrooms, viewing rooms, and storage areas. The project included the implementation of an automatic targeting system and landscaping.





Dinkins Construction Role
Construction Manager

Owner's Representative
Alejandro Rad
Marion County Utilities
11800 SE U.S. Highway 441
Bellevue, FL 34420
alejandro.rad@marioncountyfl.org
(352) 671-8750

Project Size
9,600 SF

Project Budget: \$1,597,115
Project Cost: \$1,564,384

Initial Start Date: October 2018
Completion Date: October 2019


Team Members Involved
Chap Dinkins, GC
Kevin Donahue, Project Manager

Marion County Silver Springs Shores Wastewater Treatment Facility

Ocala, Florida

As the Construction Manager at Risk, Dinkins Construction delivered the administration offices and fleet maintenance facility for Marion County Utilities Department. The PEMB building used CMU walls for the offices and improved function and utilization of over 5 acres of the site.



	Project Start Date	Scheduled End Date	Actual End Date	Project Budget	Final Cost
Marion County Fire Stations Plymovent (21 stations)	August 2019	Feb. 2020	April 2020	\$1,156,858	\$1,385,964 <i>(Owner added scope, 4 additional Fire Stations)</i>
Marion County Rolling Greens Fire Station No. 28	Oct. 2018	Oct. 2019	Oct. 2019	\$2,397,015	\$2,408,260 <i>(Owner added scope, saved \$100k in contingency)</i>
Marion County EMS Central Station	August 2023	Nov. 2024	Sept. 2024	\$8,040,341	\$8,040,341
City of Ocala - First Responders Campus Fire Station No. 1/ OPD Substation	Oct. 2017	Nov. 2018	Nov. 2018	\$3,102,090	\$2,900,000
City of Ocala - Fire Station No. 7	Oct. 2017	July 2018	Nov. 2018	\$2,002,090	\$1,800,000
Marion County Fire Station 1 HVAC Renovations	Nov. 2020	Jan. 2021	Dec. 2020	\$209,392	\$174,757

Recent Building Projects



Jing Tang Herbal Office & Warehouse



Fire Station No. 7
City of Ocala



SS Shores W.W.T.F.
Maintenance Building



Gator Horse Trailers



Canaan Ranch



Martel Shooting
Range - MCBOCC



Rolling Greens FS #28
Marion County BOCC



EMS Central Station
Marion County BOCC



Fortiline Waterworks



Fire Station No. 3
City of Ocala



Eye Care Center of
Ocala



First Baptist Church of
Wildwood



Parking Garage
City of Ocala



Manning Building
Supply



Gale Insulation



Ocala Police
Substation No. 2



Great Lakes Carpet
and Tile



Dunnellon Airport
T-Hangars - MCBOCC



Church of the Springs



PEMB Private Residence



August 23, 2024

City of Ocala
110 SE Watula Avenue, Third Floor
Ocala, Florida 34471

Re: Dinkins Construction, LLC. – Design-Build Services for Fire Station #8 RFP#ENG/240952

To Whom It May Concern,

We are proud to have handled the surety bond program for Dinkins Construction, LLC. since 2015. Their surety is Philadelphia Indemnity Insurance Company which has an A.M. Best's Key rating of "A++, XV" (Superior) and is approved on the United States Department of the Treasury's Listing of Certified Surety Companies for single bonds up to \$382,917,000.

Prudent surety underwriting requires our satisfaction of financial ability, experience, personnel, and equipment. Dinkins Construction has our complete confidence in all these areas.

At this time, we are comfortable in providing them with single bonds up to \$30,000,000 with an aggregate bond program of \$60,000,000. Should your project require a higher bond level for individual projects or aggregate programs in excess of these limits we will favorably consider those opportunities.

This letter is not an assumption of liability, nor is it a bid bond or performance bond. It is issued only as a bonding reference from us as requested by our client. At this time, we anticipate no issues in providing Dinkins Construction with a Public Construction Bond and Three-Year Warranty for the project referenced above. However, arrangement for surety credit is a matter between Dinkins Construction and the surety and subject to their underwriting requirements at the time any request is made.

Dinkins Construction has an outstanding reputation for quality workmanship, prompt payment of bills, and for completing projects on or before completion dates. I give them my highest recommendation.

If you have further questions or require additional information, please call me at (407) 843-1120.

Best regards,
Johnson and Company

Brett A. Ragland
Sr. Vice President

P.O. Drawer 672 • Orlando, FL 32802-0672 • 801 N. Orange Avenue, Suite 510 • Orlando, FL 32801-5202 • (407) 843-1120
(800) 331-3379 • FAX (407) 843-5772

Bonding/Banking References

Brett A. Ragland, Sr. Vice President
Johnson & Company
801 N. Orange Avenue, Suite 510
Orlando, Florida 32801-5202
(407) 843-1120
bragland@johnsonandcompany.net

Jason Pittman
Citizens First Bank
406 E Silver Springs Blvd
Ocala, FL 34470
(352) 259-3264
jason.pittman@mycitizensfirst.com

Karen Hatch, VP, Commercial Lender
SouthState Bank
1632 East Silver Springs Boulevard
Ocala, FL 34470
(352) 843-0955
khatch@southstatebank.com

Client References

Rev. Kerry Tygrett, Executive Pastor
Trinity Baptist Church
1600 SE 58th Avenue
Ocala, FL 34480
(352) 694-2163
ktygrett@tbcocala.com

James Armstrong, Executive Pastor
Live Oaks Community Church
12070 Country Road 103
Oxford, FL 34484
(352) 446-3975
james@liveoakchurch.org

Dr. Stephen Shaw
Eye Care Center of Ocala
5330 SW College Road
Ocala, FL 34474
(352) 512-0560
drstevenshaw@gmail.com

Subcontractor References

Brandon Ciraco, Vice President
Ciraco Electric, Inc.
306 SW 33rd Avenue
Ocala, FL 34474
(352) 629-5976
brandon@ciracoelectric.com

Jeff Warren, Vice President
Hilliard's A/C and Heating, Inc.
1010 SW 33rd Avenue
Ocala, FL 34474
(352) 622-9390
jwarren@hilliardsac.com

Cori Todd, President
Alex-Cor, Inc.
1300 Lucas Street
Leesburg, FL 34748
(352) 326-9566
cori@a-lexcor.com

Phil Bailey, Project Manager
Capitol Steel
6260 S. Tex Point
Homosassa, FL 34448
(352) 628-1700
capitalsteelinc@yahoo.com



Marion County Board of County Commissioners

Fire Rescue - Headquarters

2631 SE Third St.
Ocala, FL 34471
Phone: 352-291-8000



December 12, 2023

Dinkins Construction
Attn: Chap Dinkins
2831 SE 17th Street
Ocala, FL 34471

Dear Mr. Dinkins:

I trust this letter finds you well. I am writing to express my support for Dinkins Construction as they pursue the RFQ for the Marion County Fleet project. Having collaborated with them on multiple projects, including Fire Station (FS) #28 - Rolling Greens, I am confident in recommending them for your consideration.

In our collaboration on FS #28 - Rolling Greens, Dinkins Construction exhibited exceptional professionalism, dedication, and competence throughout the project timeline. I am pleased to provide the following insights based on your specific questions.

Was the project completed on time?

Yes, the project was completed within the agreed-upon timeframe. The permit was obtained on 10/10/2018, and the certificate of occupancy was secured on 10/09/2019, which demonstrated their commitment to meeting project deadlines.

Was the project completed in accordance with the scope of work?

Dinkins Construction diligently adhered to the defined scope of work, ensuring that all project requirements and specifications were met. The completed project reflects their attention to detail and commitment to delivering high-quality results.

Was the project completed within the contracted budget?

The project was not only completed within the contracted budget but also showcased financial prudence. Despite encountering additional items that necessitated a modest increase in costs, Dinkins Construction credited back \$107,164 in unused contingency funds, resulting in an overall savings of nearly \$100,000 for Marion County.

Was the project completed in a professional manner?

Dinkins Construction conducted themselves with the utmost professionalism throughout the project. Their communication, collaboration, and problem-solving skills were commendable, contributing to a positive and efficient working relationship.

In addition to FS #28 - Rolling Greens, Dinkins Construction has also successfully undertaken other projects, including the repair and renovation of FS #17, installation of insulation and HVAC improvements in FS #1, and the implementation of exhaust extraction systems for air quality improvements in various stations. They are currently engaged in the ongoing EMS Central Station project.

Empowering Marion for Success

www.marioncountyfl.org

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I believe that Dinkins Construction's proven track record of delivering successful projects, coupled with their commitment to excellence, makes them an ideal choice for the Marion County Fleet Project. I am confident that their expertise and dedication will contribute to the successful realization of your project goals.

If you require any additional information or have further inquiries, please do not hesitate to contact me.

Thank you for considering Dinkins Construction for the Marion County Fleet Project. I am confident that they will exceed your expectations and deliver outstanding results.

Sincerely,



James Banta
Fire Chief

Empowering Marion for Success

www.marioncountyfl.org



**Marion County
Board of County Commissioners**

Utilities

11800 SE U.S. Highway 441
 Belleview, FL 34420
 Phone: 352-307-6000
 Fax: 352-307-6001

December 11, 2023.

Re: Reference Letter for Dinkins Construction, LLC

To Whom It May Concern:

On September 18, 2018, Dinkins Construction, LLC received the BCC approval for the **SSS WWTF Utilities Maintenance Building** project. The contract budget amount was \$1,597,115.91 and the final contract amount was \$1,564,384.03, with Marion County saving \$32,731.88. During the project, like every other project, there were issues that were diligently resolved by the contractor, showing their professionalism and ability to overcome unforeseen circumstances, always in the best interest of Marion County. Contractor was able to obtain the certificate of occupancy on 10/25/2019.

In overall, the contractor performed an excellent job under budget and on time. All permitting and inspection processes were handled by the contractor successfully. The contractor was very responsive and easy to deal with, during the lifetime of the project.

- Was the project completed on time? **Yes.**
- Was the project completed in accordance with the scope of work? **Yes.**
- Was the project completed within the contracted budget? **Yes.**
- Was the project completed in a professional manner? **Yes.**

Marion County Utilities, in this case, the end user of this new building, would highly recommend Dinkins Construction, LLC to any other agency, entity or even Marion County department, for similar work assignments.

If I can provide any further information, please feel free to contact me at your earliest convenience at (352) 307-6012.

Sincerely,

Alejandro Rad
 Construction Manager
 Marion County Utilities Department

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www.marioncountyfl.org



**Marion County
Board of County Commissioners**

Facilities Management

2602 SE Eighth St.
Ocala, FL 34471
Phone: 352-671-8750
Fax: 352-671-8751

December 14, 2023

To whom it may concern,

I want to take the opportunity to recommend Dinkins Construction, whom we've had the pleasure of working with on multiple projects. The Dinkins team has provided excellent service and consistent quality. They continuously work to go above and beyond through ingenuity in problem-solving and superb communication. Throughout our professional relationship, all stages of construction were completed promptly and to our expectations. Their communication and collaboration kept us informed and allowed client input and involvement opportunities when necessary.

Over the past decade, we have partnered with Dinkins Construction on fifty projects, ranging from \$5,000 to over \$8,000,000. Their team dedicates the same level of commitment to small and large projects, always looking out for the best interest of Marion County. For example, during COVID-19, the county was awarded \$63M in Cares Act funding. Dinkins Construction partnered with Marion County to expedite a technology upgrade to the Judicial Center, proposed in the future year for \$5M. Dinkins Construction was able to complete the project in less than 90 days. They completed the project early and with a cost savings of over **\$141,000**.

If there are any additional questions I can answer, please get in touch with me via email or phone.

Sincerely,

Jared Goodspeed
Facilities Management Director
Marion County BOCC
jared.goodspeed@marionfl.org | 352.671.8740

Empowering Marion for Success

marionfl.org



Reach Up
Reach In
Reach Out

12/14/2023

To Whom It May Concern:

Get Dinkins Construction as your builder now! Don't wait!

We were faced with the wonderful but complex problem of expansion. We needed a facility to not only handle our expanding growth, but we needed expansion options for future growth within one facility. One of our primary buildings was divided into 4 sections: offices, a family center, classrooms, and a 6,500 sq. foot children's wing. The children's wing was no longer adequate for the number of kids and young families we served. We also needed better parking, connection from septic to sewer and a new roof.

We partnered with Dinkins Construction outlining our needs, whereby, they provided an excellent design staying within our budget limitations. The plan included the demolition of the old children's wing and constructing a nearly 14,000 sq. foot structure that tied into our existing building. What's more, they would be able to accomplish this mammoth project without critical service interruption to our office or to our members and guests.

Dinkins Construction developed a detailed and methodic plan that kept us informed every step of the way. Their communication with clients is unmatched. These regular meetings kept me informed of progress, answered all my questions, and allowed us to give input in every phase of the process. After nearly 18 years in this community, I have never met a more professional and friendly staff than I have at Dinkins.

The results of our great partnership included a new facility that met our needs, exceeded our expectations, and provided us with extreme confidence in the quality and workmanship of the entire project. We initially chose Dinkins Construction because of their reputation for quality workmanship. Today, I join countless others who can attest to the extreme validity of that reputation. I give my highest endorsement to Dinkins Construction including all of their staff who brought our vision into a reality that will serve us extremely well in the years to come.

Sincerely,



Rev. Kerry Tygrett, Executive Pastor

1600 SE 58th Avenue
Ocala, FL 34480
Phone: 352.694.2163
Fax: 352.694.4972
www.tbcoala.church



Date: December 15, 2023
To: Whom it may concern
From: Adam Kessinger
Re: Authorized Nucor Builder – Dinkins Construction

Dinkins Construction has been an Authorized Nucor Builder since January of 2012 and has successfully built dozens of Nucor buildings since becoming a builder. While Nucor Building Systems does not certify builders or erection, we can confirm that we have observed over the last 11 years that Dinkins Construction operates with the highest standards and integrity and follows the NBS details and recommendations in the installation of our buildings and roof systems.

Sincerely,

Adam C. Kessinger

Digitally signed by Adam C. Kessinger
DN: C=US,
E=akessinger@nbssc.com, O=Nucor
Building Systems, OU=Sales Service
Manager, CN=Adam C. Kessinger
Date: 2023.12.15 08:41:35-05'00'

Adam Kessinger, P.E.
Sales Service Manager
Nucor Building Systems - SC

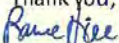


2200 N.E. 25th Ave. • OCALA, FLORIDA 34470
www.mbs-corp.com
PHONE (352) 622-8175 FAX (352) 622-2640

December 18, 2023

RE: Reference Letter for Dinkins Construction

Please accept our recommendation for Dinkins Construction. Having participated in the planning, development, and then total and complete construction of our facility on 23 acres in NE Ocala, the phased process was efficient, productive, and timely in completion. Dinkins Construction overcame the challenges of the day with the first phase, our Truss facility, being started (January 2006) and completed (November 2006) in the height of the construction boom and all the other additional work occurring at that time. The next and main phase consisting of the lumberyard, train rail spur, doorshop production area, window facility, showroom, and offices, all were begun in January 2008 and completed in October 2009 in the midst of the construction recession with all the difficulties that were present during that time. Despite the challenges, Chap Dinkins and Dinkins Construction persevered to deliver what is now considered the "flagship" of all the Manning Building Supplies seven locations. We have since expanded our facility, adding an extra bathroom location for our warehouse and doorshop production areas as well as a full fuel depot. With these additions, there was not any consideration other than to work with Dinkins Construction with their background and familiarity with our buildings and grounds. With that, please accept our highest recommendation for Dinkins Construction for their services in any desired capacity.

Thank you,

Lance Hill

Sales Manager
Manning Building Supplies,
A Division of U.S.LBM
2200 NE 25th Avenue
Ocala, FL 34470
(352) 266-2389 cell
(352) 622-8175 office
Lhill@mbs-corp.com

OCALA • JACKSONVILLE • ST. AUGUSTINE • FT. PIERCE
LAKELAND • RIVIERA BEACH • ORLANDO • VERO BEACH



Vendor Evaluation Form

(Must be completed within 30 days of contract end)
 Submit completed form to vendors@ocalafl.org

Contract Information		
Contract Number OFR/16017	Contract Name Fire Stations and First Responder	Evaluation Period From: 11/13/17 To: 12/14/18
Vendor Name: Dinkins Construction LLC.		
Service/ Product Description: <small>Design/Build - Total site development at 2 locations: 1 site on SE 31st St for Fire Station 7 and 1 site on NE 8th Ave for First Responder campus which includes Fire Station 1 and East District Office for Ocala Police Dept.</small>		
Recommend For Future Use		
Recommended for Future Contracts: If other than Yes, provide detailed explanation as attachment.	<input checked="" type="radio"/> Yes <input type="radio"/> No <input type="radio"/> Conditionally	
City Contact Information		
City Project Manager: Larry Miller	Email: lmiller@ocalafl.org	
Signature: Larry Miller	<small>Digitally signed by Larry Miller DN: cn=Larry Miller, ou=2016 Reorg, ou=Departments, ou=Engineering, ou=IT&IS, cn=Larry Miller, email=LMiller@ocalafl.org Date: 2019.01.17 13:14:51 -0500</small>	Date: 1/17/19
Evaluation Criteria		
This evaluation provides an indication of the vendor's ability to provide a complete, and cost-conscious project. For each item, please provide a numerical score from 1 to 5. Select N/A if the criteria does not apply to this evaluation. Reviewer comments must be entered. Minimum passing score is 2.60 . 5-Exceptional Performance: Project had no time or cost impacts related to vendor's performance; 4-Superior Performance: Project had minimal issues which the vendor aggressively pursued to resolve; 3-Satisfactory Performance: Project had some issues which the vendor pursued to resolve and resulted in acceptable performance; 2-Substandard Performance: Project had several issues which the vendor provided limited assistance to resolve and resulted in significant time and cost impacts; 1-Unsatisfactory Performance: Project had multiple, significant issues which the vendor provided no assistance to resolve and which resulted in substantial time and cost impacts, or a defaulted contract.		
Quality and Contract Fulfillment		
1=Unsatisfactory 2=Substandard 3=Satisfactory 4=Superior 5=Exceptional		
Evaluation Question		
1. How close did the vendor conform with contractual requirements?	3	
2. How complete and timely did the vendor deliver product, and submit warranties, manuals, etc.?	3	
3. How accurate was the estimated time needed to complete the project/service to the actual time needed?	3	
Comments: Vendor complied with approved plans and was accommodating with some minor changes requested by Fire/Police on all the buildings. Time allotted for construction appeared to be adequate. There was a minor delay in receipt of close out warranty documents for Fire Station 7. At final completion date of Fire Station 7 there were a handful of outstanding punch list items that needed to be completed. As of this evaluation date, there are a few outstanding items for First Responder Campus.		

Customer Service	
1=Unsatisfactory 2=Substandard 3=Satisfactory 4=Superior 5=Exceptional	
Evaluation Question	
1. How proactive was the vendor in addressing problems or concerns regarding the service/product?	4
2. How accurate was invoicing in relation to bid price/contract?	3
3. How prompt were City communications responded to?	3
Comments: Vendor was responsive in addressing City requests/needs. Monthly invoicing was submitted in a timely fashion after review by City project manager and Vendor. The City direct purchased some materials in order to cut costs. This was challenging and time consuming for vendor and City personnel. Both administrative staffs stepped up. Daily communications between the vendor and City were professional and productive. Dinkin's project superintendent, Ron Henon, is very knowledgeable and competent. Chap Dinkins expressed on numerous occasions his desire to do a good job for the City. He succeeded.	

Procurement Use Only

Overall Rating:

<input type="radio"/> 5-Exceptional (4.50-5.00)	<input type="radio"/> 4-Superior (3.20-4.49)	<input checked="" type="radio"/> 3-Satisfactory (2.60-3.19)
<input type="radio"/> 2-Substandard (1.81-2.59)	<input type="radio"/> 1-Unsatisfactory (1.00-1.80)/Defaulted Vendor	

Date Evaluation Prepared: 1-15-19 Evaluation Average: 3.17

Vendor Relations Manager Susan Martin

Date sent to Vendor 2-11-19

Date response must be returned (if desired) _____

Vendor Use

Vendor Acknowledged and they: Agree Disagree (Response Attached)

Vendor's signature confirms the evaluation has been reviewed and a copy has been provided. It further confirms the Vendor has had the opportunity to respond if desired.

Vendor Signature _____

Marion County Board of County Commissioners
Marion County, Florida
Performance Evaluation Form
Final Construction Evaluations

CONTACT INFORMATION			
Bid/RFP/RFQ Number	Title	Evaluation Period	
20Q-161-TO-03	Martel Phase 1 - Gun Range	From	To
		Oct 8, 2021	Feb 24, 2023
Vendor Name		Contract Period	
Dinkins Construction LLC.		From	To
		Oct 8, 2021	Feb 24, 2023
Service Description			
Construction Manager for the Martel Gun Range project.			
Award Amount	Change Orders & Amendments	No. of	Revised Contract Amount
\$2,674,036.05	\$85,812.86	25	\$2,588,223.19
RECOMMENDED FOR FUTURE USE			
Recommended for Future Contracts:		<input checked="" type="radio"/> Yes	
Yes		<input type="radio"/> No	
State Condition Recommendation:		<input type="radio"/> Conditional	
None			
Overall Rating:		<input type="radio"/> 5-Excellent (4.50 - 5.00)	
4.03 - Good.		<input checked="" type="radio"/> 4-Good (3.20 - 4.49)	
		<input type="radio"/> 3-Fair (2.60 - 3.19)	
		<input type="radio"/> 2-Poor (1.81 - 2.59)	
		<input type="radio"/> 1-Unsatisfactory (1.0 - 1.8)	
COUNTY CONTACT INFORMATION			
Project Manager:	Using Director/Supervisor:	Procurement Representative:	
Jason Chesser	Jared Goodspeed	Tina Black	
EVALUATION CRITERIA			
<p>This evaluation provides an indication of the vendor's ability to implement a practical, accurate, complete and cost conscious project. For each item, please provide a numerical score from 1 to 5, in accordance to the performance rating scale. Select N/A if the criteria does not apply to this evaluation. Reviewer comments must be entered for a rating of 1, 2 or 5. Minimum passing score is 2.50. The following scale is used to rank the level of contributions made by the vendor to the project.</p> <p>5 - Excellent Performance: Project had no time or cost impacts related to vendor's performance;</p> <p>4 - Good Performance: Project had some minor issues which the vendor aggressively pursued to resolve and there were minor time or cost impacts related to the contractor's performance;</p> <p>3 - Fair Performance: Project had some issues which the vendor pursued to resolve and that resulted in acceptable time and/or cost impacts;</p> <p>2 - Poor Performance: Project had several issues which the vendor provided limited assistance to resolve and that resulted in significant time and cost impacts;</p> <p>1 - Unsatisfactory Performance: Project had multiple, significant issues which the vendor provided no assistance to resolve and that resulted in substantial time and cost impacts.</p>			
A) Project Management			Section Score:
Evaluation Questions	Unsatisfactory	Excellent	
1. How well did the vendor cooperate with the Contract Administrator, other County personnel and the consultant?	<input type="radio"/> 1 <input type="radio"/> 2 <input type="radio"/> 3 <input checked="" type="radio"/> 4 <input type="radio"/> 5 <input type="radio"/> NA		

2. How closely did vendor conform with specifications, drawings and other requirement?	<input type="radio"/> 1	<input type="radio"/> 2	<input type="radio"/> 3	<input checked="" type="radio"/> 4	<input type="radio"/> 5	<input type="radio"/> NA
3. How appropriate was the staff assigned to do the work to ensure a quality product on a timely basis?	<input type="radio"/> 1	<input type="radio"/> 2	<input checked="" type="radio"/> 3	<input type="radio"/> 4	<input type="radio"/> 5	<input type="radio"/> NA
4. How actively did the vendor communicate with sub-vendors and others involved in project?	<input type="radio"/> 1	<input type="radio"/> 2	<input type="radio"/> 3	<input checked="" type="radio"/> 4	<input type="radio"/> 5	<input type="radio"/> NA
5. How adequate and effective was the vendor's coordination and control of sub-vendors' work and documentation?	<input type="radio"/> 1	<input type="radio"/> 2	<input type="radio"/> 3	<input checked="" type="radio"/> 4	<input type="radio"/> 5	<input type="radio"/> NA
6. How pro-actively did the vendor participate in the resolution of disputes?	<input type="radio"/> 1	<input type="radio"/> 2	<input type="radio"/> 3	<input checked="" type="radio"/> 4	<input type="radio"/> 5	<input type="radio"/> NA
7. How timely were the notices of inspection requests?	<input type="radio"/> 1	<input type="radio"/> 2	<input type="radio"/> 3	<input checked="" type="radio"/> 4	<input type="radio"/> 5	<input type="radio"/> NA
8. How well did the vendor control the project by providing recommendations, addressing issues, participating in decision making, and working with government officials and the County?	<input type="radio"/> 1	<input type="radio"/> 2	<input type="radio"/> 3	<input type="radio"/> 4	<input checked="" type="radio"/> 5	<input type="radio"/> NA
9. How clean did the vendor keep the work site on a continuous basis?	<input type="radio"/> 1	<input type="radio"/> 2	<input type="radio"/> 3	<input checked="" type="radio"/> 4	<input type="radio"/> 5	<input type="radio"/> NA

B) Business Practices Section Score:

Evaluation Questions	Unsatisfactory		Excellent			
1. How was the vendor's compliance with the United States Occupational Safety and Health Administration (OSHA) and Marion County's Risk Management Division, Safety and Occupational Health Section requirements? Consider the vendor's established safety program, compliance with standards, safety practices, accident prevention, etc.	<input type="radio"/> 1	<input type="radio"/> 2	<input type="radio"/> 3	<input checked="" type="radio"/> 4	<input type="radio"/> 5	<input type="radio"/> NA
2. How well did the vendor manage business relationships with sub-vendors by ensuring that sub-vendors were fully paid for work that had been completed to specifications? (This information can be verified through sub-vendor complaints or liens for non-payment)	<input type="radio"/> 1	<input type="radio"/> 2	<input type="radio"/> 3	<input checked="" type="radio"/> 4	<input type="radio"/> 5	<input type="radio"/> NA
3. How well did the vendor manage business relationships with sub-vendors by ensuring that sub-vendors were promptly paid?	<input type="radio"/> 1	<input type="radio"/> 2	<input type="radio"/> 3	<input checked="" type="radio"/> 4	<input type="radio"/> 5	<input type="radio"/> NA
4. How well did the vendor follow Marion County procedure in reporting changes of sub vendors?	<input type="radio"/> 1	<input type="radio"/> 2	<input type="radio"/> 3	<input type="radio"/> 4	<input type="radio"/> 5	<input checked="" type="radio"/> NA

Comments:

Vendor is excellent at providing recommendations at early stages to limit and/or prevent issues later in the construction process.

C) Cost Control Section Score:

Evaluation Questions	Unsatisfactory		Excellent			
1. How actively did the vendor pursue/take aggressive action in obtaining documents such as building permits, Certificate of Occupancy and other required documents on a time basis?	<input type="radio"/> 1	<input type="radio"/> 2	<input type="radio"/> 3	<input type="radio"/> 4	<input checked="" type="radio"/> 5	<input type="radio"/> NA
2. How actively did the vendor participate in overcoming problems with other vendors, building officials and/or regulatory agencies?	<input type="radio"/> 1	<input type="radio"/> 2	<input type="radio"/> 3	<input checked="" type="radio"/> 4	<input type="radio"/> 5	<input type="radio"/> NA

Comments:

Vendor took aggressive action at the end of the project to resolve site issues that were preventing C/O at minimal cost to the County.

D) Timeliness Section Score:

Evaluation Questions	Unsatisfactory		Excellent			
1. How well did the vendor manage delivery of necessary equipment and material for the project?	<input type="radio"/> 1	<input type="radio"/> 2	<input type="radio"/> 3	<input checked="" type="radio"/> 4	<input type="radio"/> 5	<input type="radio"/> NA
2. How timely and accurate were payment requests when submitted?	<input type="radio"/> 1	<input type="radio"/> 2	<input type="radio"/> 3	<input checked="" type="radio"/> 4	<input type="radio"/> 5	<input type="radio"/> NA
3. How well did the vendor meet the schedule of deliverable's established at the beginning of the project?	<input type="radio"/> 1	<input type="radio"/> 2	<input type="radio"/> 3	<input checked="" type="radio"/> 4	<input type="radio"/> 5	<input type="radio"/> NA
4. How well did the vendor conform to schedule of work progress in order to meet the planned completion dates for Phase Completion?	<input type="radio"/> 1	<input type="radio"/> 2	<input type="radio"/> 3	<input checked="" type="radio"/> 4	<input type="radio"/> 5	<input type="radio"/> NA

- 5. How well did the vendor conform to schedule of work progress in order to meet the planned completion dates for Substantial Completion? 1 2 3 4 5 NA
- 6. How well did the vendor conform to schedule of work progress in order to meet planned completion dates for Final Completion? 1 2 3 4 5 NA
- 7. How effectively did the vendor communicate with the Contract Administrator and other County personnel as well as the consultant? 1 2 3 4 5 NA

Comments:

Vendor did a good job at controlling the schedule and preventing delays to the project.

E) Change Order Management Section Score:

Evaluation Questions	Unsatisfactory	Excellent
1. Did the vendor provide independent estimates of the value of changes?	<input type="radio"/> 1 <input type="radio"/> 2 <input checked="" type="radio"/> 3 <input type="radio"/> 4 <input type="radio"/> 5 <input type="radio"/> NA	
2. How accurate and timely were the preliminary estimates of the value of change orders/amendments provided by the vendor?	<input type="radio"/> 1 <input type="radio"/> 2 <input type="radio"/> 3 <input checked="" type="radio"/> 4 <input type="radio"/> 5 <input type="radio"/> NA	
3. How accurate and timely were change orders/amendments processed with proper documentation?	<input type="radio"/> 1 <input type="radio"/> 2 <input type="radio"/> 3 <input checked="" type="radio"/> 4 <input type="radio"/> 5 <input type="radio"/> NA	
4. How fair and timely did the vendor prepare, negotiate and make recommendations to the County regarding change orders/amendments?	<input type="radio"/> 1 <input type="radio"/> 2 <input type="radio"/> 3 <input type="radio"/> 4 <input checked="" type="radio"/> 5 <input type="radio"/> NA	
5. How appropriate were the vendor's recommendations for time extensions based on the actual circumstances and reviewed against the contract requirements?	<input type="radio"/> 1 <input type="radio"/> 2 <input type="radio"/> 3 <input checked="" type="radio"/> 4 <input type="radio"/> 5 <input type="radio"/> NA	

Comments:

Vendors change orders were always fair and equitable for all parties involved.

F) Quality of Work Section Score:

Evaluation Questions	Unsatisfactory	Excellent
1. How accessible was the work for inspection?	<input type="radio"/> 1 <input type="radio"/> 2 <input type="radio"/> 3 <input checked="" type="radio"/> 4 <input type="radio"/> 5 <input type="radio"/> NA	
2. How close were the equipment and materials to the specifications?	<input type="radio"/> 1 <input type="radio"/> 2 <input type="radio"/> 3 <input type="radio"/> 4 <input checked="" type="radio"/> 5 <input type="radio"/> NA	
3. How responsive and competent were superintendents, supervisors and workers?	<input type="radio"/> 1 <input type="radio"/> 2 <input checked="" type="radio"/> 3 <input type="radio"/> 4 <input type="radio"/> 5 <input type="radio"/> NA	

Comments:

Project was built as designed. Superintendent was new but did a good job based on his experience level.

G) Project Closeout Section Score:

Evaluation Questions	Unsatisfactory	Excellent
1. How well did the project meet specified standards when inspected?	<input type="radio"/> 1 <input type="radio"/> 2 <input type="radio"/> 3 <input checked="" type="radio"/> 4 <input type="radio"/> 5 <input type="radio"/> NA	
2. How complete and accurate was the documentation provided at the completion of the project, including punch list, warranties, operation, appropriate manuals and Certificate of Occupancy from the appropriate jurisdiction?	<input type="radio"/> 1 <input type="radio"/> 2 <input type="radio"/> 3 <input checked="" type="radio"/> 4 <input type="radio"/> 5 <input type="radio"/> NA	
3. How clean did the vendor leave the work-site by completely disposing of debris in a legal manner?	<input type="radio"/> 1 <input type="radio"/> 2 <input type="radio"/> 3 <input checked="" type="radio"/> 4 <input type="radio"/> 5 <input type="radio"/> NA	
4. How accurate and timely were the vendor's final project accounting documents sent to Marion County Board of County Commissioners?	<input type="radio"/> 1 <input type="radio"/> 2 <input type="radio"/> 3 <input checked="" type="radio"/> 4 <input type="radio"/> 5 <input type="radio"/> NA	

Comments:

Closeout documents were missing some information, but vendor rectified that without delay.



**Marion County
Board of County Commissioners**

Facilities Management

2602 SE Eighth St.
Ocala, FL 34471
Phone: 352-671-8750
Fax: 352-671-8751

Friday, April 7, 2017

To Whom It May Concern:

Dinkins Construction has performed many projects as one of Marion County's Construction Managers. The most notably was the renovation of the old AMF Bowling Alley into a one-stop shop for our Veterans Resource Center, a one of a kind facility in the state of Florida.

Chap and his staff have always been dedicated individuals and perform well above expectations on all projects, not just the Veterans Resource Center. All staff are courteous and willing to do whatever it takes to get the job done to the owner's satisfaction.

Sincerely,



Andy Race
Facilities Management Director

"Meeting Needs by Exceeding Expectations"

www.marioncountyfl.org



City of Ocala RFP ENG/240952

September 11, 2024

Design-Build Services for Fire Station No. 8

ENVELOPE 2



TABLE OF CONTENTS



ENVELOPE 2



3

Design and Construction Approach and Process / Schedule



4

Price Proposal / Bid Bond



TAB 3: Design and Construction Approach and Process/Schedule



Project Approach and Understanding

Proactive Leadership

It is not enough to simply manage a project; for a project to truly succeed, the design/build GC must **lead**. We believe in proactive leadership, taking the reins from inception and leading the team through the entire life of the project.

This means:

- Creating a delivery plan with a milestone schedule from preconstruction through closeout.
- Anticipating challenges and working to overcome issues before they happen.
- Being the Owner advocate with all stakeholders and setting professional expectations.
- Being responsible, honest, and accountable always and in all circumstances.
- Being a good steward of the City of Ocala's resources.
- Answering questions, you did not know or think to ask.

In order to deliver the best possible facility for the end user, we must ensure that every person that steps foot on your sites, lives and breathes these values. Accountability cannot be understated, and extreme ownership lives at the heart of our philosophy.

Preconstruction Starts Now

We have already begun the preconstruction process for your project. It started with a deep dive into your proposed project site. We have researched GIS maps, using this information to check for any issues with flooding, soil conditions, elevation, and logistical challenges. We visited the project site. We are also investigating utility connections, surrounding sites, and any wildlife that may pose challenges for site preparation and construction.

We are prepared to lead this project.

We used the conceptual plan that was published with the RFP to establish a preliminary Site plan, Building plan, and PEMB model for the Apparatus Bay through our partnership with NUCOR. Since we

have the software in house, we can run multiple models and find the best structural scenario for possible economies with frame line spacing, intermediate support, bracing, etc. This eliminates conflicts in design and construction.

We are prepared to lead this project.

We have already built a comprehensive 3-D Revit model to digitally overlay the conceptual plans with our preliminary PEMB models to identify conflicts. We have also used the Revit model to create a comprehensive material quantity list and applied historical unit costs. This very early conceptual budget establishes an initial baseline for discussing the project budget and identifying the SWOT to the project funding.

Specialized Facility

We know these facilities! Our goal on every project has always been to build a facility that works. Every square foot will be constructed with long term sustainability and maintenance in mind. This new facility is a collection of several different uses within the same footprint. We have built similar Fire Stations multiple times. We have built other large PEMB structures, fuel filling stations, industrial facilities, office buildings, etc. We can build this one with our combined experience.

Quality Control and Assurance

Quality control starts now. Quality control can be described as a process of checks and balances, and it starts with a clear understanding of the expectations of the end user. While we have reviewed a conceptual design as part of this proposal, we may not be aware of all the end users' expectations. So, first, we would start by participating in a design meeting with the primary stakeholders and end users. Second, we will listen to the needs assessment and be clear about the specific functionality and expectations for this new building. Third, we will tour existing facilities to see what does and does not work. Then, after we have listened thoroughly to what the Owner's expectations are, we will work

with the design team and make sure the building and site designs meet the needs.

Quality of the design documents can be assured by periodic design review meetings. We will thoroughly and openly discuss all items during constructability reviews while in the design process. We will import the CAD files from the design team into our Revit system to overlay our PEMB models to identify conflicts during design to avoid costly delays on site. We will prove we are team-players and are sincerely interested in the best for the overall project.

The quality of materials can be assured by a submittal process. We feel we add the most value through our verification of material selections and setting the quality expectations of the installation with our subcontract trades and pre-installation meetings. We are experts in pre-engineered metal building construction. Because of our knowledge of the PEMB materials and installation, we will be able to maintain the quality of the structure.

The quality of workmanship on the job can be assured through the pre-installation meetings and daily supervision of Dinkins' superintendents. Dinkins Construction has built a reputation for quality construction. The team will conduct weekly jobsite meetings that will include site inspections and subcontractor reviews. Substandard work will not be tolerated, and we will set the standard for expectations, so nothing hits the punch list.

The Owner will have the assurance of our process and attention to detail to meet the highest standards of quality. For this project specifically, Dinkins Construction will provide a 3-year warranty period and a manufacturer full weathertightness warranty from NUCOR as required by the RFP.

Cost Control Has Already Started

Our project approach to cost control begins with defining and analyzing the project budget. The best opportunity to capture cost savings on any project is during conceptual design. As designs take shape, the opportunity to affect large-scale savings diminishes. Therefore, our team expends great efforts to solicit, pursue, review, analyze and submit as many cost-

and time-saving options as possible early in the design process.

Cost information will be provided at every level of the design process to determine best value alternatives. We will work closely with our architect and furnish this information at the earliest phases. Our ability to price the PEMB and concrete at the very early stages of conceptual design gives us the advantage to assist the design team with budget information from the start.

These detailed progress estimates will be produced to inform the team what the project's anticipated costs are and what value engineering options may be considered to reduce the overall cost without sacrificing the quality of the finished product. Our estimates are produced by utilizing our past experience, our database of costs, input of our subcontractors, and the input of suppliers and manufacturer's representatives. This method assures the costs received at the time of bids will be at budget.

Our Guaranteed Maximum Price (GMP) is established, our team works as the project's primary fiduciary to control project costs and to protect the GMP. We respect that a GMP is just that – our guarantee that the project will come in on budget.

Project Buyout - Dinkins' project managers work together to confirm bids and scopes are compliant with the contract requirements and schedule. Whenever possible, the subcontract is reviewed directly with the owner or principal of the subcontracting firm. Subcontract scopes are reviewed by Dinkins' project managers and project superintendent to confirm there is no scope overlap, no scope gap, and the work is awarded to the most appropriate trade when there is an option to award a portion of the work among differing trades.

Change Order Request Evaluations - Change orders may be a part of any project; however, Dinkins works to avoid them. We work in preconstruction to prevent gaps that lead to change orders. When a change order request is presented from a subcontractor, Dinkins will research the conditions giving rise to the claim, will verify the quantities of

labor and materials involved in the change, and will verify the price of materials involved. Only after our team is satisfied with the circumstances and pricing of the claim will it be presented to the entire project team for evaluation. Further, Dinkins limits the time a subcontractor has to make a claim, thereby avoiding job-end “surprises” for additional work performed by the subcontractor.

Contingency - The Dinkins team only uses contingency funds if approved with a change order. We will maintain a running account of all adjustments to the contingency. The cost is updated monthly on the pay applications and provides the team with an accurate current status of the contingency funds. This allows the team to make informed decisions when determining what changes may need to be made on the project.

Cost Estimating vs. Subcontractor Bids

In preparation of the Guaranteed Maximum Price proposal, our team will include a full internal take off for all required scopes of work. Allowances will only be included when the material or extent of work for a particular scope is not clearly defined in the contract plans and specifications. An example of this is when a scope is listed “TBD” on the plans such as final flooring specifications. These allowance scope items are quantified by the estimator according to our best assumptions and reasonable unit costs based upon the contract documents. We then price our in-house quantities with competitive unit rates from our historical data. Those quantities and unit rates are used to qualify the subcontractor bids for the Guaranteed Maximum Price.

Constructability Review

Throughout the preconstruction process, our team completes constructability reviews of the documents to evaluate the documents for ease of construction, potential problems in details, and cost efficiency as it relates to the means and methods which will be required to build the project. We call it a “scrub” and provide comprehensive review comments. We look for holes, gaps, errors and omissions and will submit RFIs for clarifications.

Value Engineering

Value engineering is a common term for cutting costs which can lead to compromised specifications and inferior work. We believe value begins with design. We will perform a comprehensive review of the design, building systems and construction methods to ensure maximum value without sacrificing quality. Our value design suggestions are produced through a combination of using our past experience on similar projects, the input of our subcontractors, and the input of suppliers and manufacturer’s representatives. Our Nucor software allows us to run options of preliminary designs for best value.

Project Schedule

All project scheduling is accomplished using MS Projects, the same program we used for Fire Station No. 7, which was finished in 175 days.

Our schedules are developed with a level of detail to indicate all significant items of work to be completed, phasing of the project, responsibility of each work item, area the work is to take place, and includes logic to determine how all activities interact with each other. The activities reflected on the master schedule will indicate the critical milestones, key dates and the flow of work.

A master schedule is prepared during the Preconstruction phase to monitor the overall progress of design and pre-construction activities and milestones. The schedule incorporates decisions made through interactive input from all team members and expands as subcontractor input is added.

As we move toward the start of construction, our subcontractor bid documents will also indicate the scheduling requirements for bidders. Subcontractors bidding the work will be bidding time as well as money. Following the selection of low bidders for each category of work, work plans and detailed schedule information will be submitted for inclusion in the project schedule.

The project schedule will identify the early start dates for each trade's activities. Delivery lead times and approval durations for all shop drawings will be determined by the date materials are needed on the project and included on the schedule. Our practice is to secure all shop drawings and submittals as soon as contracts are awarded, but the schedule will serve to indicate when submittal cycles will begin to negatively impact the schedule.

Once work begins, the One Month Look Ahead schedule is reviewed and updated at each week's regularly scheduled construction meeting. This schedule is the basis for subcontractors to coordinate their work forces - this is where the detailed planning and problem solving occurs. At the end of the month, an updated schedule is sent to each subcontractor. This keeps them apprised of modifications made to the schedule which will affect their work start, sequencing, and completion.

The project schedule is as important to a project as the plans and specifications. It assembles an otherwise unordered list of events into an orderly, sequential list of activities which can be monitored and adjusted as events mandate. Without proper scheduling and schedule maintenance, success on a project is not possible. Through the scheduling control practices we have implemented, our team has achieved a consistent track record of early project delivery.

Rising Construction Costs

Perhaps the biggest change (and challenge) over the past 3-4 years in getting new facilities built is rising construction costs. In addition to higher-than-normal inflation, there are a number of reasons why construction costs and costs for new projects as a whole have risen.

Soaring Costs/Supply Chain & Workforce Shortages

- The biggest culprits for the volatility have been business closures, higher-than-expected material demands, and reduction of the available workforce in the industries that produce and distribute these materials. Some materials that are traditionally readily available off-the-shelf are taking months of lead time for delivery.

Our team works hard to mitigate these costs in the following ways:

- Accurate and detailed early estimates - Providing accurate and detailed estimates at the early phases of design allows the team to identify where the costs are located and what we need to focus on. We utilize our experience with the team with real time costing information that can be used to identify our exposure to material and cost increases.
- Leverage experience to recommend equal or superior material products that are less expensive or are readily available - Our team has a wealth of information on products, materials, systems, etc., that may be presented for consideration that could mitigate the long lead times and costs of certain products.
- Material Cost Escalation Allowances - Our team has successfully utilized material escalation allowances with subcontractors to limit volatility. Identifying and limiting exposure to material volatility allows for subcontractors to provide more competitive pricing at the time of GMP.
- Focus on construction type and systems - Our focus will be to maximize the Owner's funds by working with the architect to design a building type that is durable and meets the needs of the owner but is also more readily available than some systems. Buildings such as this PEMB CMU are easier to procure locally.
- Cost Averages - We have used historical cost averages for this proposal.

Material Availability & Scheduling

Supply chain and workforce shortages - Reduction of the available construction workforce paired with a robust construction market makes subcontractor scheduling a challenge.

Our team works hard to mitigate these costs in the following ways:

- Early procurement of materials - Dinkins will identify materials that are subject to price fluctuations or are long lead items. These materials can be purchased before design is complete to lock down the delivery dates and costs.

- **Early engagement of subcontractors** - Dinkins will identify major subcontractors as part of our preconstruction process and engage them to place our project on their overall schedules. Letting them know early on that this project is coming allows them to place our project into their manpower look ahead to ensure adherence to our overall schedule.

Project Management Information System

Because of our team's forward-looking expertise and commitment to bringing in new technologies and processes, our team uses Procore Construction Management software to create, track and report the various construction documents and tracking logs used throughout the course of your project.

The project team utilizes Procore to manage the following:

- Schedules
- RFI Reports
- Submittal Logs
- Quality Control Lists

Subcontracts and Purchase Orders

This is the beginning for any project vendor or contact. All of the party's information is entered into the database, the subcontract scope is defined and the contract sum is indicated. A current contact list is maintained, and a subcontract tracking log is automatically created to monitor the return of project documents.

Information Requests and Responses

The RFI feature allows us to create and issue RFIs and RFI responses while automatically updating the associated log and status reports. The reports show the response time for RFIs and the number of days these responses were received late. RFI responses are issued to affected vendors individually, and the response is uploaded to Procore for access by all team members.

Submittal Tracking - Submittals are a "last look" at the components which make up the project before being released for delivery. At the beginning of the project, Procore allows us to create a master submittal log derived from the project specifications. Dinkins generates notifications to vendors of initial

submittal requirements, when submittals and resubmittals are due, and notifications to architects of submittals pending their review.

Proposal Requests and Change Orders - Proposals and changes are created and tracked in Procore. Once pricing is received from subcontractors, a contingency adjustment proposal (or proposed change order) log is automatically updated. Procore tracks open requests to vendors, allowing notifications to automatically be generated listing open vendor items.

Pay Applications

We include monthly pay applications that are generated and maintained in Procore. Because change issues are also managed in Procore, revisions to vendor contracts and job costs are aligned with monthly billing submittals. Current costs to date are synchronized with projected costs to maintain accurate cost status reporting.

Correspondence

Letters, memorandums, and transmittals are created using Procore. Actions and responses requested in these documents are recorded and due dates are assigned. From this information, a report is generated listing information yet to be received, the date the information was required, and any responses that are overdue.

Meeting Minutes

Meeting minutes for the various meetings which take place throughout the course of the project are created and tracked in Procore. Issues are created and described, responsibilities are assigned, and due dates are listed. Items which remain open from each meeting are automatically listed to develop the agenda for the next meeting.

Punch Lists

Punch list items are described in detail, locations are provided, and responsibility is assigned. Once this information is entered, reports are generated which notify the appropriate parties of their punch list responsibilities and due dates.

Project Status Reporting

Our team provides Weekly and Monthly Progress Reports to the architect and the Owner reflecting progress to date on the job. We have designed these reports in a “Project at a Glance” format whereby the most pertinent project information is presented. Reports include:

- Work Summary of Previous Month’s Activities
- Previous Period Application for Payment
- Updated Construction Schedule/1 Month Look Ahead
- Minutes from that month’s Meetings
- Submittal Status Reports
- Progress Photographs
- Requests For Information Status Reports

Quality Control

A quality product can easily be achieved when all members of the design and construction team work together. This ensures there is a clear understanding of the design and the workmanship expected.

Quality control procedures are initiated during the design phase to ensure expectations are set and obtainable.

During the construction phase, quality control starts with a pre-installation meeting to communicate a clear understanding of the requirements, as well as an experienced, organized, jobsite management team.

Preconstruction document review by the Project Manager and Superintendent - During this review our team will be specifically looking for areas where it will be difficult to achieve a quality installation and will suggest alternate solutions that will provide a better finished product. Of critical importance are waterproofing, roofing and flashing details.

Detailed bid scopes at GMP - Detailed work scopes are developed as part of the subcontractor bid documents to assign responsibility for each component of the work to specific subcontractors. This allows us to assign scopes of work to the best-suited trades people for any particular item. Additional language is written into our standard subcontract agreement to address the finest of details.

Review of approved submittals by Superintendent -

After submittals have been reviewed and approved by the architect, the Superintendent completes a review for proper sequencing and coordination of the work in the field. Questions or concerns are raised for discussion and resolution by the construction team, preventing quality problems or delays in the field once the work starts. All materials received at the jobsite will be checked for conformity to the approved submittal data.

Pre-installation meetings with subcontractors - As the time for specific work scopes nears, we conduct pre-installation meetings with the subcontractor, the manufacturer’s representative, the architect, the client’s representative, and any other subcontractors closely associated with the work. At these meetings, the installation process and sequencing are reviewed, quality expectations are re-emphasized, and manufacturer’s recommendations are reviewed and discussed.

Inspections - In-process inspections will be made by our jobsite management team, who are also our designated quality control team. Their role will be to continuously monitor the acceptability of the workmanship, as well as control the cover-up inspections.

Cleanliness - Jobsite cleanliness leads to a quality-built product. We require all trade subcontractors to remove their debris from the site at the end of each working day and at the completion of their work.

Compile Work to Complete - Punch lists are avoided by completing work to complete lists during every phase of the project, ensuring when the next trade begins their work, the substrate which they are working is properly prepared and ready to accept the new work. This targeted method of preparing each facet of the work eliminates the compounding problems by addressing them as they arise.

Quality control is proven by working to avoid punch lists. This team has, and always will, maintain, and achieve a quality product.

Quality Assurance

Dinkins Construction is committed to the continual improvement of the quality of our work. We work closely with our customers, subcontractors, suppliers, and design professionals to achieve this goal. Our team takes pride in our ability to build exceptional facilities by leading the industry in quality assurance management.

Safety

Dinkins Construction has a robust safety program and uses a “Zero Tolerance” approach to unsafe work. All Dinkins’ superintendents are OSHA 30 and CPR certified. All subcontractors go through a job site safety awareness meeting and sign our safety rules to receive their hard hat sticker demonstrating and accepting their understanding of our safety policy.

Daily job hazard analysis and weekly safety inspections are performed by site superintendents. Weekly safety training occurs with all site superintendents, and quarterly mock OSHA inspections occur by our 3rd party safety consultant. The results of each inspection are then reviewed by all superintendents for ongoing training and improvements to our safety best practices.

The Dinkins’ S.A.F.E. Leadership Way

Safety: We prioritize the well-being of our employees and subcontractor team through proactive measures and a commitment to creating a secure work environment. Nobody gets hurt.

Accountability: We demand a sense of responsibility and extreme ownership amongst all team members to ensure the highest standards of Quality and Performance are met.

Faith: We lead with faith in our collective abilities, integrity in our decisions, and confidence trusting the strengths of our team to overcome challenges and achieve shared goals.

Excellence: We expect excellence in quality construction and customer service and set an example for all subcontractor partners to follow.

Job site safety will always be one of our most important areas of focus and the Leadership within Dinkins Construction is committed to our safety motto, **“Nobody Gets Hurt!”**

Dinkins Construction has earned a safety modification rate of 0.91 and has had no reportable injuries or incidents for several years.



TAB 4: Price Proposal / Bid Bond



Anticipated Key Subcontractors List

Chad's Water Works Plumbing LLC
4606 NE Jacksonville Rd
Ocala FL 34479

MEC Enterprises of Ocala, LLC
9 Oak Drive
Ocala, FL 34472

Ciraco Electric, LLC
306 SW 33rd Avenue
Ocala, FL 34474

Site Pros, Inc.
PO Box 282
Oxford, FL 34484

Dunnrite Roofing, Inc.
PO Box 99
Silver Springs, FL 34489

Sun Glass & Mirror Co.
2538 NW 6th Street
Ocala, FL 34475

Elite Fire Protection, Inc.
4145 County Road 561
Tavares, FL 32778

TriMak Building Systems, Inc.
2502 Frontage Park Place
Plant City, FL 33563

Florida Door Solutions, Inc.
777 South Park Avenue
Apopka, FL 32703

WaveCrest Masonry, Inc.
4474-C S Florida Avenue
Inverness, FL 34450

Hilliard's Air Conditioning & Heating, Inc
1010 SW 33rd Avenue
Ocala, FL 34474

Bid Bond

AIA® Document A310™ – 2010

Bid Bond

CONTRACTOR:
(Name, legal status and address)
 Dinkins Construction, LLC.
 2831 SE 17th St., Ocala, FL 34471

SURETY:
(Name, legal status and principal place of business)

Philadelphia Indemnity Insurance Company
 One Bala Plaza East, Suite 100
 Bala Cynwyd, PA 19004

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

Any singular reference to Contractor, Surety, Owner or other party shall be considered plural where applicable.

OWNER:
(Name, legal status and address)

City of Ocala
 110 SE Watula Avenue, Third Floor Ocala, Florida 34471

BOND AMOUNT: -----Five Percent of the Amount Bid----- (5%)

PROJECT:
(Name, location or address, and Project number, if any) !

Design-Build Services for Fire Station #8 - parcel 21512-000-00 in Ocala, Florida Project Number, if any: ENG/240952

The Contractor and Surety are bound to the Owner in the amount set forth above, for the payment of which the Contractor and Surety bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally, as provided herein. The conditions of this Bond are such that if the Owner accepts the bid of the Contractor within the time specified in the bid documents, or within such time period as may be agreed to by the Owner and Contractor, and the Contractor either (1) enters into a contract with the Owner in accordance with the terms of such bid, and gives such bond or bonds as may be specified in the bidding or Contract Documents, with a surety admitted in the jurisdiction of the Project and otherwise acceptable to the Owner, for the faithful performance of such Contract and for the prompt payment of labor and material furnished in the prosecution thereof; or (2) pays to the Owner the difference, not to exceed the amount of this Bond, between the amount specified in said bid and such larger amount for which the Owner may in good faith contract with another party to perform the work covered by said bid, then this obligation shall be null and void, otherwise to remain in full force and effect. The Surety hereby waives any notice of an agreement between the Owner and Contractor to extend the time in which the Owner may accept the bid. Waiver of notice by the Surety shall not apply to any extension exceeding sixty (60) days in the aggregate beyond the time for acceptance of bids specified in the bid documents, and the Owner and Contractor shall obtain the Surety's consent for an extension beyond sixty (60) days.

If this Bond is issued in connection with a subcontractor's bid to a Contractor, the term Contractor in this Bond shall be deemed to be Subcontractor and the term Owner shall be deemed to be Contractor.

When this Bond has been furnished to comply with a statutory or other legal requirement in the location of the Project, any provision in this Bond conflicting with said statutory or legal requirement shall be deemed deleted herefrom and provisions conforming to such statutory or other legal requirement shall be deemed incorporated herein. When so furnished, the intent is that this Bond shall be construed as a statutory bond and not as a common law bond.

Signed and sealed this 11th day of September 2024

Karano Kerdoreck
(Witness)

Dinkins Construction, LLC.
(Principal) *(Seal)*
J.C. Dinkins, Manager
(Title)

Karano Cordus
(Witness)

Philadelphia Indemnity Insurance Company
(Surety) *(Seal)*
Brett A. Ragland
(Title)

Brett A. Ragland, Attorney-in-Fact &
 Florida Licensed Resident Agent
 407-843-1120



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Bid Bond

PHILADELPHIA INDEMNITY INSURANCE COMPANY
One Bala Plaza, Suite 100
Bala Cynwyd, PA 19004-0950

Power of Attorney

KNOW ALL PERSONS BY THESE PRESENTS: That PHILADELPHIA INDEMNITY INSURANCE COMPANY (the Company), a corporation organized and existing under the laws of the Commonwealth of Pennsylvania, does hereby constitute and appoint Brett A. Ragland and Tyler Ragland of Joseph D. Johnson & Company its true and lawful Attorney-in-fact with full authority to execute on its behalf bonds, undertakings, recognizances and other contracts of indemnity and writings obligatory in the nature thereof, issued in the course of its business and to bind the Company thereby, in an amount not to exceed \$50,000,000

This Power of Attorney is granted and is signed and sealed by facsimile under and by the authority of the following Resolution adopted by the Board of Directors of PHILADELPHIA INDEMNITY INSURANCE COMPANY on the 14th of November, 2016.

RESOLVED: That the Board of Directors hereby authorizes the President or any Vice President of the Company: (1) Appoint Attorney(s) in Fact and authorize the Attorney(s) in Fact to execute on behalf of the Company bonds and undertakings, contracts of indemnity and other writings obligatory in the nature thereof and to attach the seal of the Company thereto; and (2) to remove, at any time, any such Attorney-in-Fact and revoke the authority given. And, be it

FURTHER RESOLVED: That the signatures of such officers and the seal of the Company may be affixed to any such Power of Attorney or certificate relating thereto by facsimile, and any such Power of Attorney so executed and certified by facsimile signatures and facsimile seal shall be valid and binding upon the Company in the future with respect to any bond or undertaking to which it is attached.

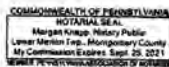
IN TESTIMONY WHEREOF, PHILADELPHIA INDEMNITY INSURANCE COMPANY HAS CAUSED THIS INSTRUMENT TO BE SIGNED AND ITS CORPORATE SEAL TO BE AFFIXED BY ITS AUTHORIZED OFFICE THIS 27th DAY OF OCTOBER, 2017



(Seal)

Robert D. O'Leary Jr., President & CEO
Philadelphia Indemnity Insurance Company

On this 27th day of October, 2017, before me came the individual who executed the preceding instrument, to me personally known, and being by me duly sworn said that he is the therein described and authorized officer of the PHILADELPHIA INDEMNITY INSURANCE COMPANY, that the seal affixed to said instrument is the Corporate seal of said Company; that the said Corporate Seal and his signature were duly affixed.



(Notary Seal)

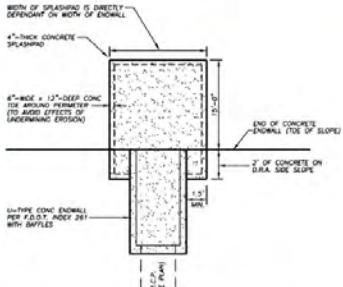
Notary Public: Morgan Krapp
residing at: Bala Cynwyd, PA
My commission expires: September 25, 2021

I, Edward Sayago, Corporate Secretary of PHILADELPHIA INDEMNITY INSURANCE COMPANY, do hereby certify that the foregoing resolution of the Board of Directors and the Power of Attorney issued pursuant thereto on the 27th day of October, 2017 are true and correct and are still in full force and effect. I do further certify that Robert D. O'Leary Jr., who executed the Power of Attorney as President, was on the date of execution of the attached Power of Attorney the duly elected President of PHILADELPHIA INDEMNITY INSURANCE COMPANY.

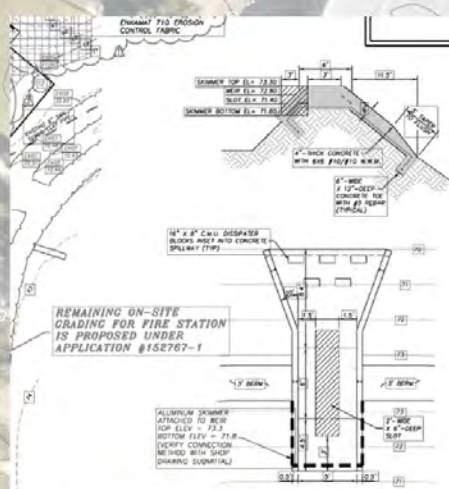
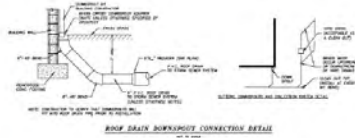
In Testimony Whereof I have subscribed my name and affixed the facsimile seal of each Company this 11th day of September, 20 24



Edward Sayago, Corporate Secretary
PHILADELPHIA INDEMNITY INSURANCE COMPANY

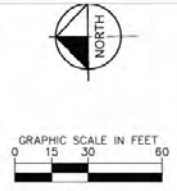
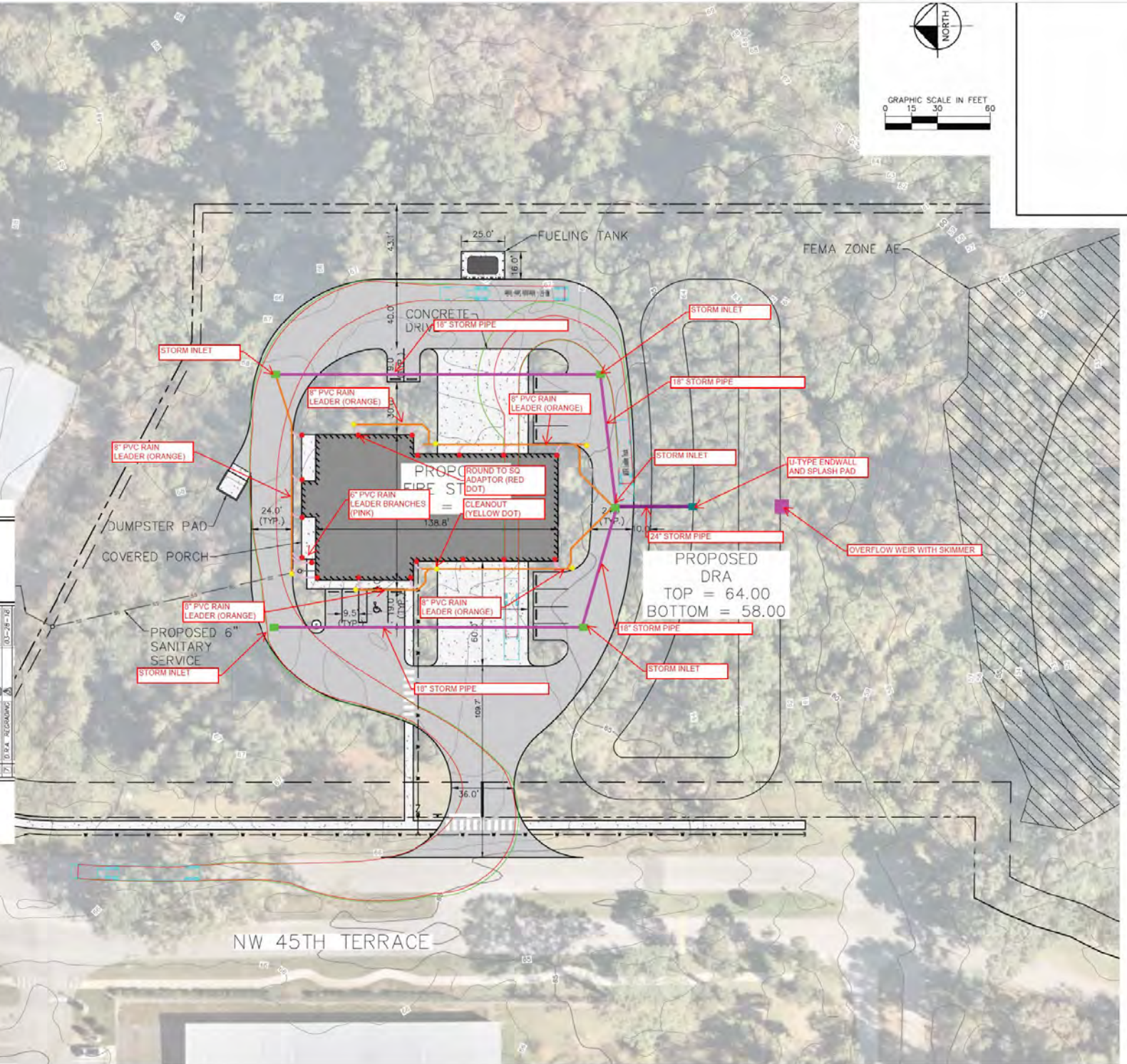


U-TYPE ENDWALL & SPLASHPAD DETAIL



SITE QUANTITY TABLE	
TOTAL BUILDING AREA	±9,900 SF
TOTAL CONCRETE AREA	±10,400 SF
TOTAL ASPHALT AREA	±30,000 SF

- NOTES:**
- 1) THE EXISTING 8" WATER MAIN ON NW 45TH TERRACE WILL BE EXTENDED BEYOND THE PROPOSED DRIVEWAY AND WILL HAVE A LATERAL WHICH WILL SERVE THE STATION.
 - 2) SANITARY DEMANDS WILL BE SERVED BY EXISTING STUB-OUT ON WEST SIDE OF SITE.
 - 3) FINAL LOCATIONS OF UTILITIES TO BE DETERMINED DURING DESIGN.



No.	REVISIONS	DATE

NOT FOR CONSTRUCTION

Kimley»Horn

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 100 NE 17TH STREET, SUITE 300, OCALA, FLORIDA, 34741
 PHONE: 352-354-3000
 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

LICENSED PROFESSIONAL

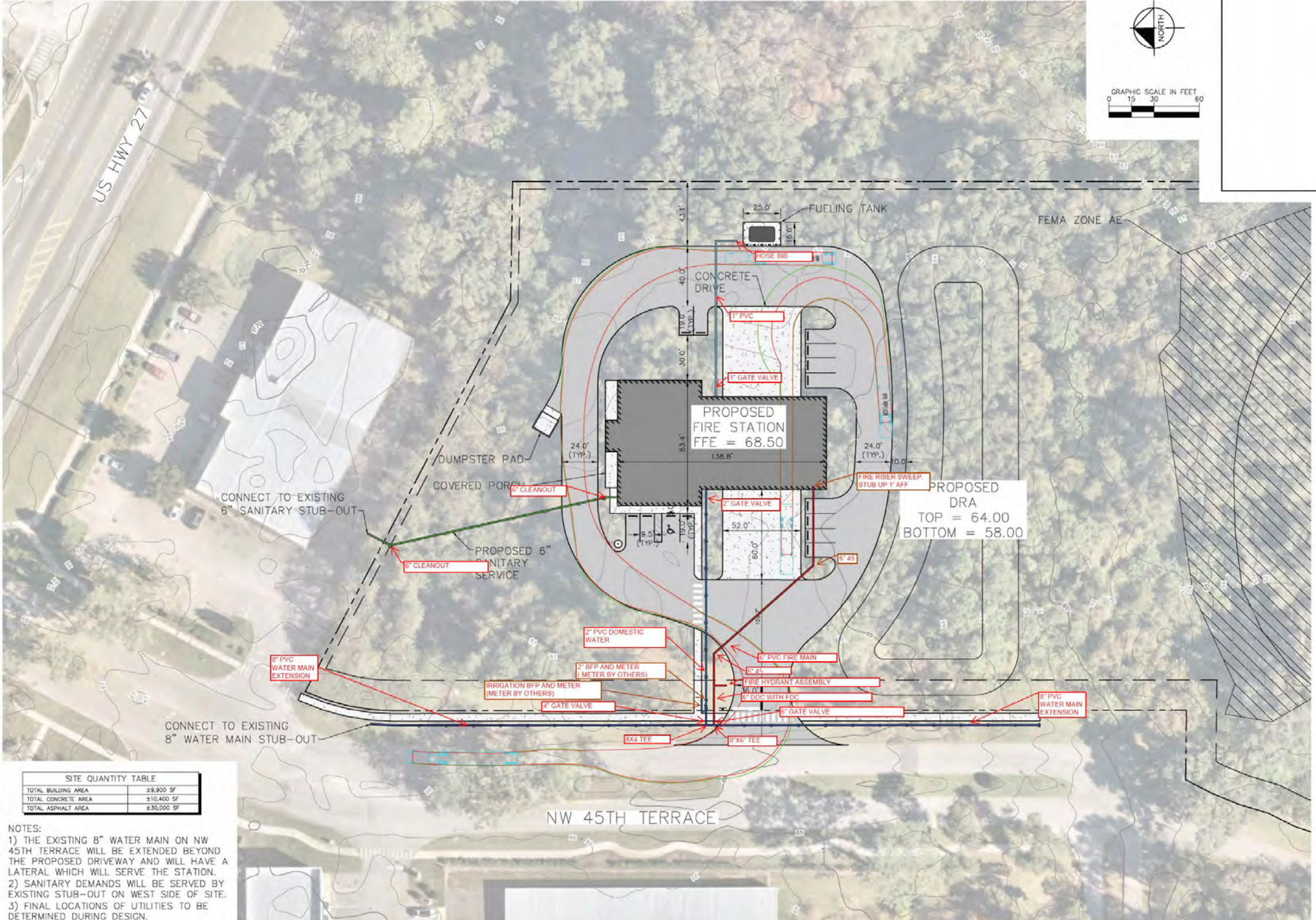
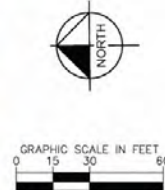
MUHAMMAD N. MURRO, P.E.

FLORIDA LICENSE NUMBER: 91243

DESIGNED BY: KHA
 DRAWN BY: CLC
 CHECKED BY: MMN
 DATE:

CONCEPTUAL PLAN

FIRE STATION 8
 PREPARED FOR
CITY OF OCALA
 FLORIDA



SITE QUANTITY TABLE	
TOTAL BUILDING AREA	±9,900 SF
TOTAL CONCRETE AREA	±10,400 SF
TOTAL ASPHALT AREA	±30,000 SF

- NOTES:
- 1) THE EXISTING 8" WATER MAIN ON NW 45TH TERRACE WILL BE EXTENDED BEYOND THE PROPOSED DRIVEWAY AND WILL HAVE A LATERAL WHICH WILL SERVE THE STATION.
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 - 3) FINAL LOCATIONS OF UTILITIES TO BE DETERMINED DURING DESIGN.

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 1728 SE 17TH STREET, SUITE 200, OCALA, FLORIDA 34747
 PHONE: 352-438-3000
 WWW.KIMLEY-HORN.COM REGISTRY NO. 31106

LICENSED PROFESSIONAL
MOHAMMED N. MUJAD, P.E.
 SEPTEMBER 2004
 SCALE AS SHOWN
 DESIGNED BY KHA
 DRAWN BY CJC
 CHECKED BY MAM
 DATE

CONCEPTUAL PLAN

FIRE STATION 8
 PREPARED FOR
CITY OF OCALA
 FLORIDA

NO.	DATE	BY

SQ. FT. DATA	
LIVING	4,248 SQ. FT.
EXTERIOR COVERED AREA'S	538 SQ. FT.
APPARATUS AREA	5,070 SQ. FT.
TOTAL	9,856 SQ. FT.

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REVISIONS

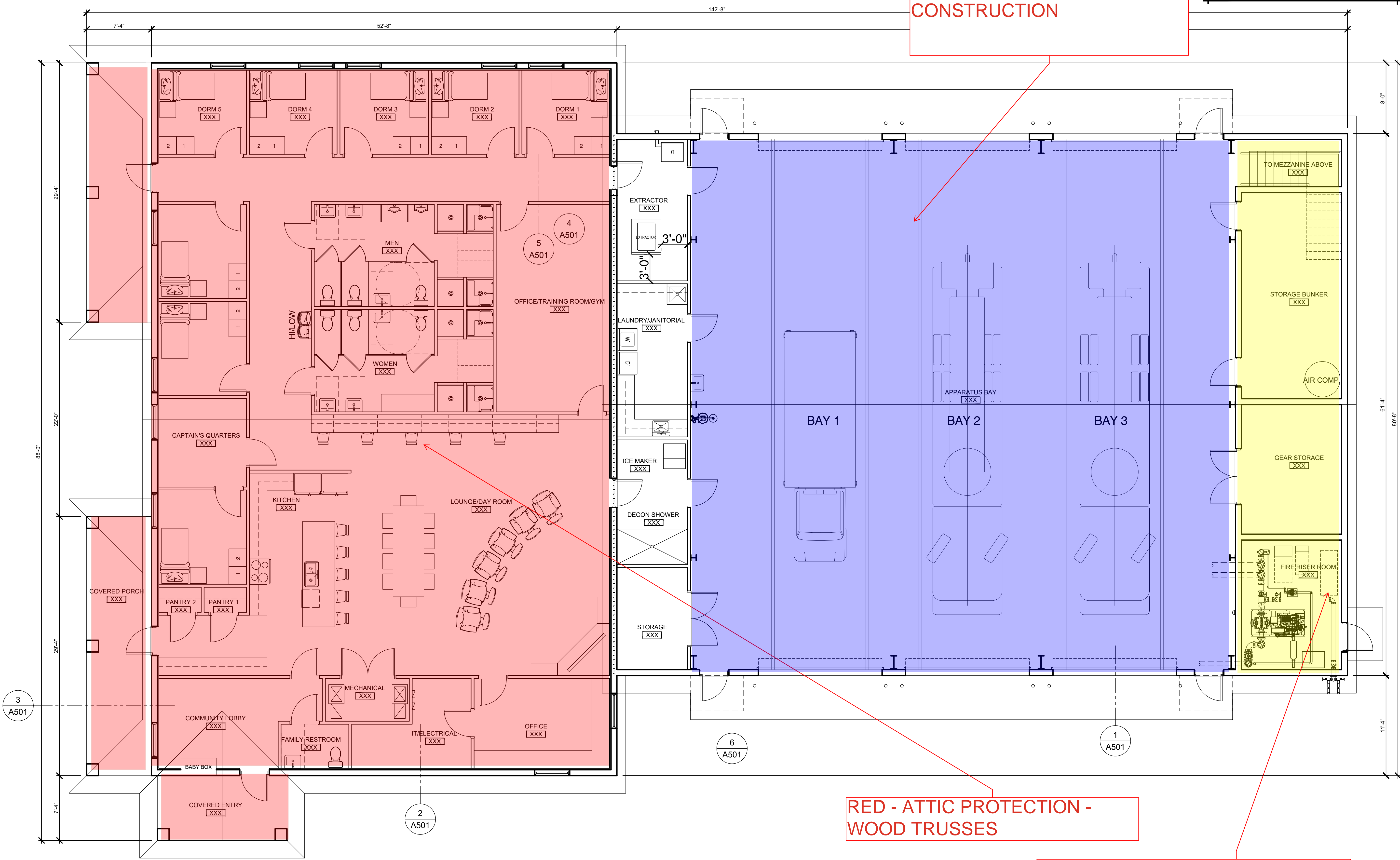
DIGITAL SIGNATURE
 JOSEPH A. RISPOLI, AIA
 ARCHITECT, FL. LICENSE: AR95439

RISPOLI & ASSOCIATES
ARCHITECTURE, INC.
 114 SOUTH MAGNOLIA AVENUE, OCALA, FLORIDA 34471
 (352) 620-0909 WWW.RISPOLIARCHITECT.COM
 JOE@RISPOLIARCHITECT.COM

A NEW BUILDING FOR FOR:
CITY OF OCALA FIRE STATION #8
 PARCEL NUMBER 2.1512-000-00
OCALA, FLORIDA
 REQUEST FOR QUALIFICATIONS DOCUMENTS

DRAWN RAA	PROJECT NO. 0000
CHECKED RAA	DATE 08-19-24

A200
 SHEET NO.

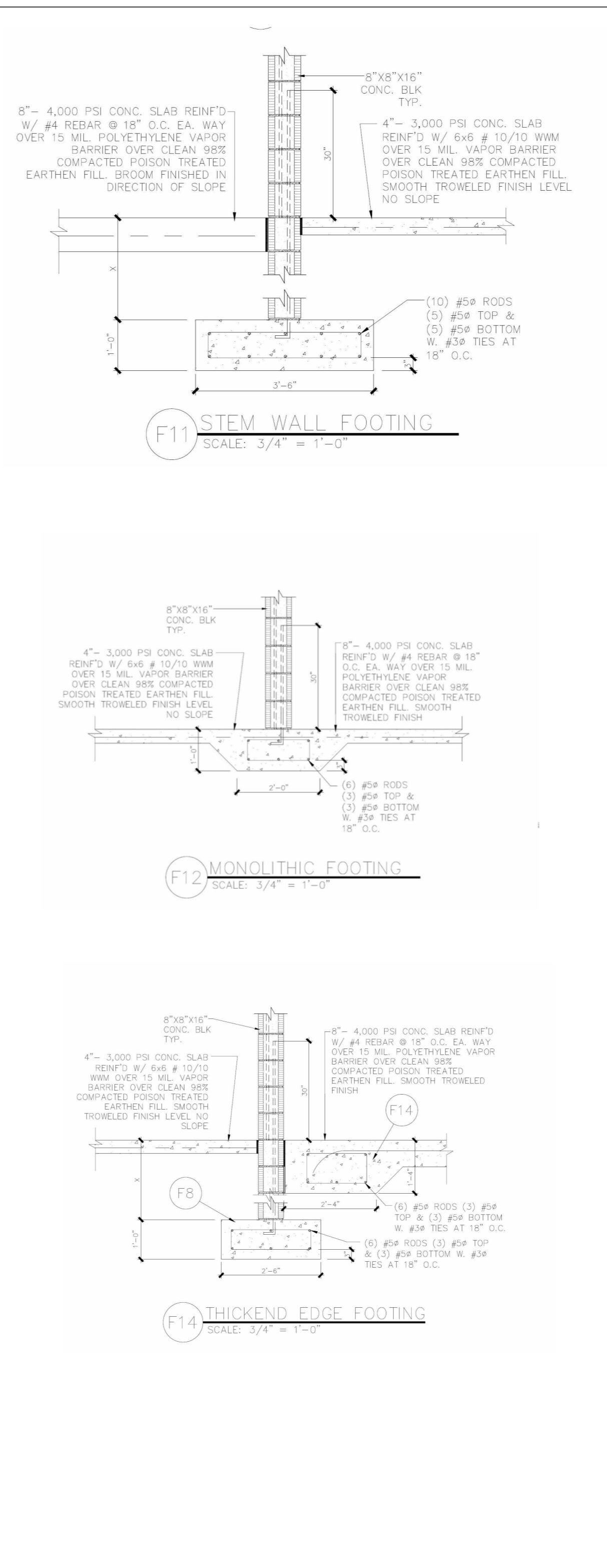
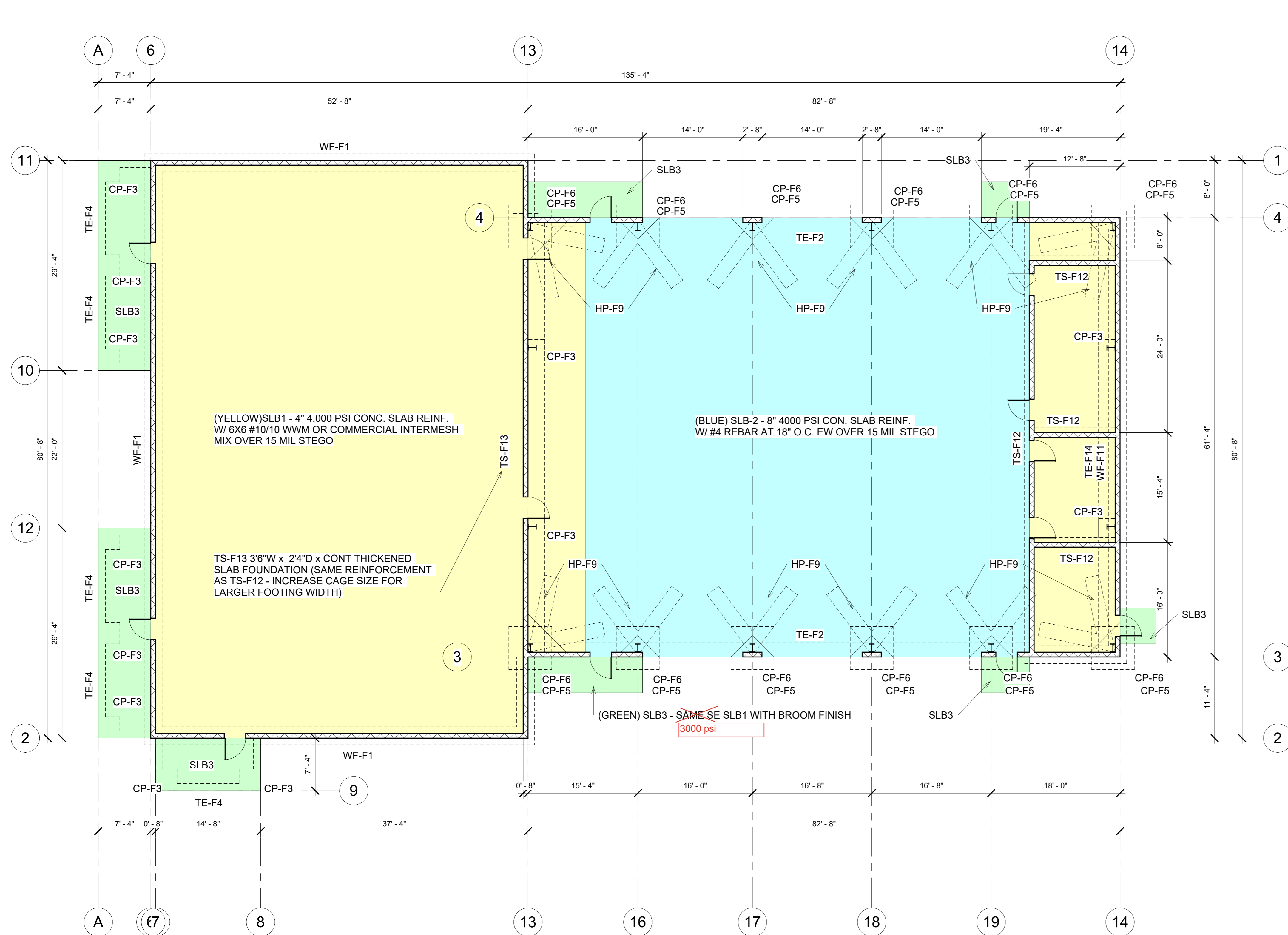


BLUE - EXPOSED STRUCTURE
 CEILING - PEMB
 CONSTRUCTION

RED - ATTIC PROTECTION -
 WOOD TRUSSES

YELLOW - MEZZANINE ABOVE
 STORAGE ROOMS

SCALE: 3/16" = 1'-0" (PRINTED @ 24X36)
 SCALE: NTS (PRINTED @ 11X17)



- ### GENERAL NOTES
- CONTRACTOR MUST FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. DEMOLITION CONTRACTOR MUST COORDINATE WITH PLUMBING CONTRACTOR PRIOR TO CONSTRUCTION AS TO VERIFY EXACT PIPING ROUTING. ALSO REVIEW PLUMBING ENGINEERS DRAWINGS.
 - PROVIDE 3,000 PSI CONC. MIN. W/ 6# 10'10" WWF (OR APPROVED EQUAL) UNLESS NOTED OTHERWISE.
 - TOP OF STEM WALL AND COLUMN PAD FOOTINGS SHALL BE SET 12" BELOW THE FINISH GRADE MINIMUM.
 - PROVIDE STEEL REINFORCING W/ 3" MIN. CONCRETE COVER AT ALL FOOTINGS AND ANY REINFORCED CONCRETE BELOW THE FINISH GRADE.
 - FOOTING SHALL BE CENTERED ON CONC. BLOCK STEM WALL.
 - PAD FOOTING SHALL BE CENTERED ON COLUMN.
 - FOOTING DESIGN IS BASED ON SANDY LOAM SOIL CONDITIONS AND A SOIL BEARING CAPACITY OF 2,000 PSF. IF OTHER CONDITIONS SHOULD OCCUR THE OWNER SHALL RETAIN THE SERVICES OF A SOIL ENGINEER TO EVALUATE, TEST AND RECOMMEND FOOTING DESIGNS SUITABLE FOR CONDITIONS FOUND. ARCHITECT SHALL BE NOTIFIED OF SUCH CONDITIONS AND SHALL BE PROVIDED W/ COPIES OF ALL RELATED TECHNICAL REPORTS INCLUDING SOIL TESTING AND PROPOSED FOOTING DESIGN.
 - ALL EXTERIOR SLABS TO RECEIVE A BROOM FINISH W/ RIDGES IN DIRECTION OF SLOPE.
 - VERIFY ALL FINISH FLOOR MATERIALS AND LOCATIONS WITH THE OWNER TO ESTABLISH CONDITIONS THAT WILL REQUIRE THE SLAB TO BE DEPRESSED TO PROVIDE A FLUSH TRANSITION BETWEEN FINISH FLOOR MATERIALS IF THIS CONDITION EXISTS, CONTACT ARCHITECT FOR SLAB REDESIGN.
 - SAW-CUT CONTROL JOINTS AND EXPANSION JOINTS SHALL BE LOCATED AS SHOWN. THE GENERAL CONTRACTOR CAN INSTALL ADDITIONAL JOINTS IF REQUIRED. TO CONTROL CRACKING OF SLAB AND TO ENSURE PROPER SLAB CONSTRUCTION, FLATNESS, LEVELNESS AND DIFFERENTIAL SETTLEMENT.
 - FOUNDATIONS SHALL BE VERIFIED AND ADJUSTED AS PER SELECTED TRUSS MANUFACTURER'S DESIGN LOAD UPLIFTS PRIOR TO COMMENCEMENT OF WORK.
 - VERIFY LOADING POINTS FROM THE TRUSS MANUFACTURER AND FROM THE FINAL TRUSS LAYOUT, PRIOR TO CONSTRUCTION.
 - PROVIDE ADDITIONAL BEARING WALLS, COLUMNS AND MONOLITHIC OR STRIP TYPE FOOTINGS AND/OR COLUMN PADS AS REQUIRED TO MEET LOADING CONDITIONS AND APPLICABLE BUILDING CODES.
 - PROVIDE A/C PIPE CHASES AS REQUIRED FOR EACH A/C CONDITIONING UNIT. VERIFY LOCATION WITH A/C CONTRACTOR.
 - PROVIDE SLEEVES IN FOOTINGS AND FOR FOUNDATION FOR LANDSCAPE SPRINGBARS, PLUMBING, ELECTRICAL LINES, AND COMMUNICATION LINES, (UNDER SLAB).
 - PROVIDE SLAB SLOPE TO FLOOR DRAIN (IF APPLICABLE) TO EXTERIOR OF BUILDINGS AND/OR AWAY FROM BUILDING IF EXTERIOR SLAB.
 - CONTRACTOR TO SECURE SOIL TESTING PRIOR TO COMMENCEMENT OF WORK AND TO PROVIDE ARCHITECT A COPY OF REPORT FOR REVIEW AND COMMENTATION.
 - CONTRACTOR TO VERIFY ALL CURRENT SITE CONDITIONS WITH CIVIL ENGINEER AND SURVEY DOCUMENTS BY OTHERS AS WELL AS FINISHED FLOOR REQUIREMENTS AND CUT AND FILL OF SITE AS TO PROVIDE A STABLE AND SECURE HIGH AND DRY BUILDING.

DINKINS CONSTRUCTION

DINKINSCONSTRUCTION.COM

Consultant Address Address Phone

Consultant Address Address Phone

Consultant Address Address Phone

Consultant Address Address Phone

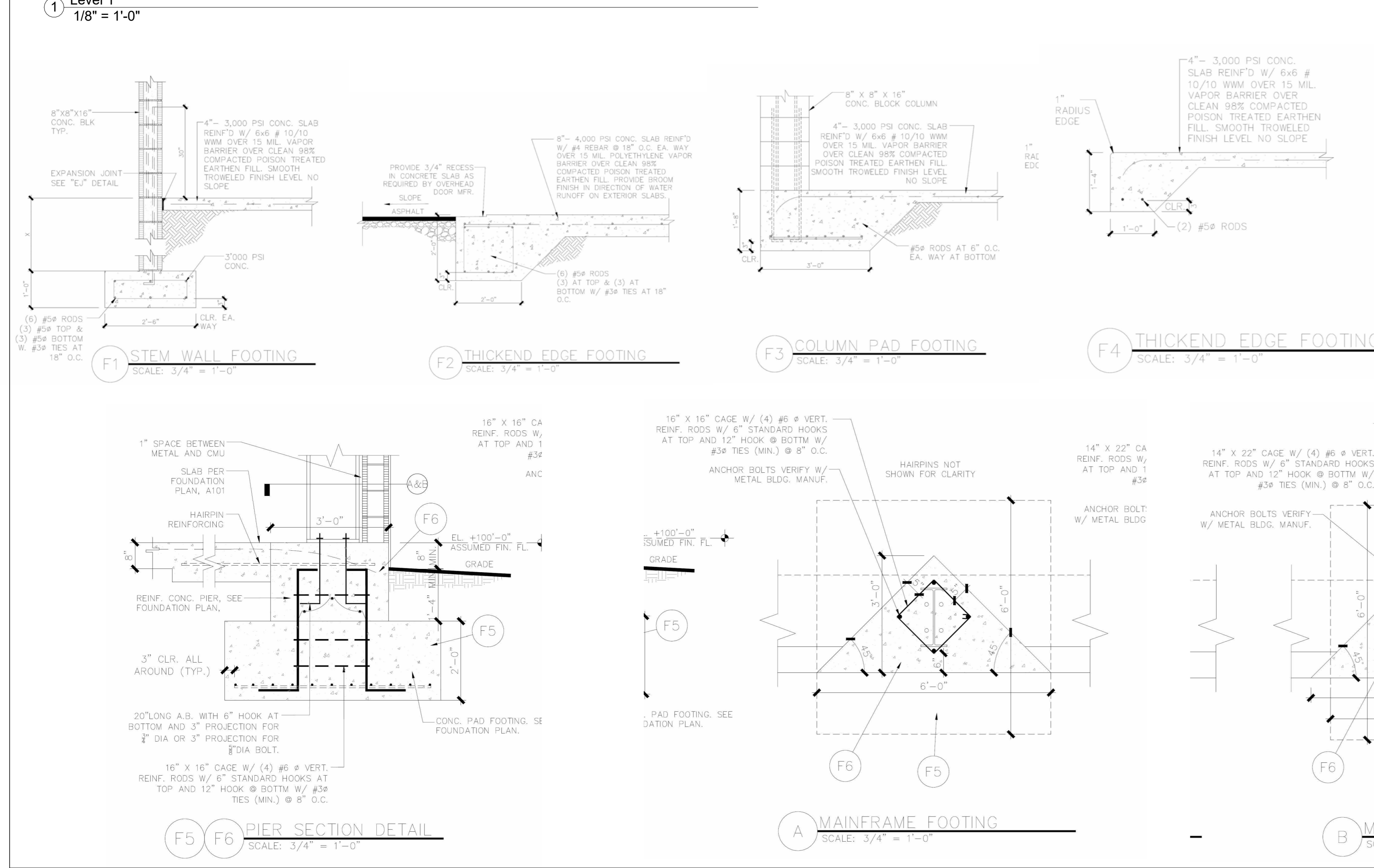
Consultant Address Address Phone

MINIMUM REQUIRED LAP SLICES FOR REINFORCING RODS (GRADE 60 STEEL)

ROD DIA.	LAP / SPLICE	ROD DIA.	LAP / SPLICE	ROD DIA.	LAP / SPLICE
No.3	18"	No.6	36"	No.9	80"
No.4	24"	No.7	42"	No.10	88"
No.5	30"	No.8	60"	No.11	96"

FOOTING SCHEDULE

MARK	WxD	TYPE	REINFORCING	NOTES	MARK	WxD	TYPE	REINFORCING	NOTES
F1	2'-6" W x 1'-0" D	STEM WALL FOOTING	(6) CONT #5 STL RODS (3) @ TOP & (3) @ BOTTOM W/ #3 TIES @ 18" O.C.		F8	2'-0" W x 2'-0" D	STEM WALL FOOTING	(6) CONT #5 STL RODS (3) @ TOP & (3) @ BOTTOM W/ #3 TIES @ 18" O.C.	
F2	2'-0" W x 2'-0" D	STEM WALL FOOTING	(6) CONT #5 STL RODS (3) @ TOP & (3) @ BOTTOM W/ #3 TIES @ 18" O.C.		F9	2'-0" W x 1'-0" D	HAIR PIN FOOTING	(6) CONT #5 STL RODS (3) @ TOP & (3) @ BOTTOM W/ #3 TIES @ 18" O.C.	
F3	3'-0" SQ. x 1'-8" D	COLUMN PAD FOOTING	#5 STL RODS @ 6" O.C. EA. WAY @ BOTTOM		F10	NOT USED			
F4	1'-0" W. x 1'-4" D	THICKENED EDGE SLAB	(2) #5 CONT. STL RODS @ BOTTOM		F11	3'-6" W x 1'-0" D	STEM WALL FOOTING	(10) #5 RODS (5) TOP & (5) BOTTOM W/ #3 TIES @ 18" O.C.	
F5	6'-0" SQ. x 2'-0" D	THICKENED EDGE SLAB	(2) #5 CONT. STL RODS @ BOTTOM	#5 @ 8" OC EW BOTTOM	F12	2'-0" W x 1'-0" D	BELL FOOTING	(6) #5 CONT. STL RODS (2) TOP & (3) BOTTOM W/ #3 TIES @ 18" O.C.	
F6	SEE DETAIL	PIER FOUNDATION	SEE SECTIONS DETAILS A102		F13	1'-0" W x 1'-6" D	THICKENED EDGE FOOTING WITH STEM WALL BELOW	(6) #5 CONT. STL RODS (2) TOP & (3) BOTTOM W/ #3 TIES @ 18" O.C.	
F7	4'-0" D x 1'-6" DIA.	BOLLARD FOOTING	SEE SECTIONS DETAILS A102		F14	2'-4" D x 1'-4" D	THICKENED EDGE FOOTING	(6) #5 CONT. STL RODS (2) TOP & (3) BOTTOM W/ #3 TIES @ 18" O.C.	



CITY OF OCALA

FIRE STATION #8

CONCEPT FOUND. PLAN

Project Number _____ Project Number _____

Date _____ Issue Date _____

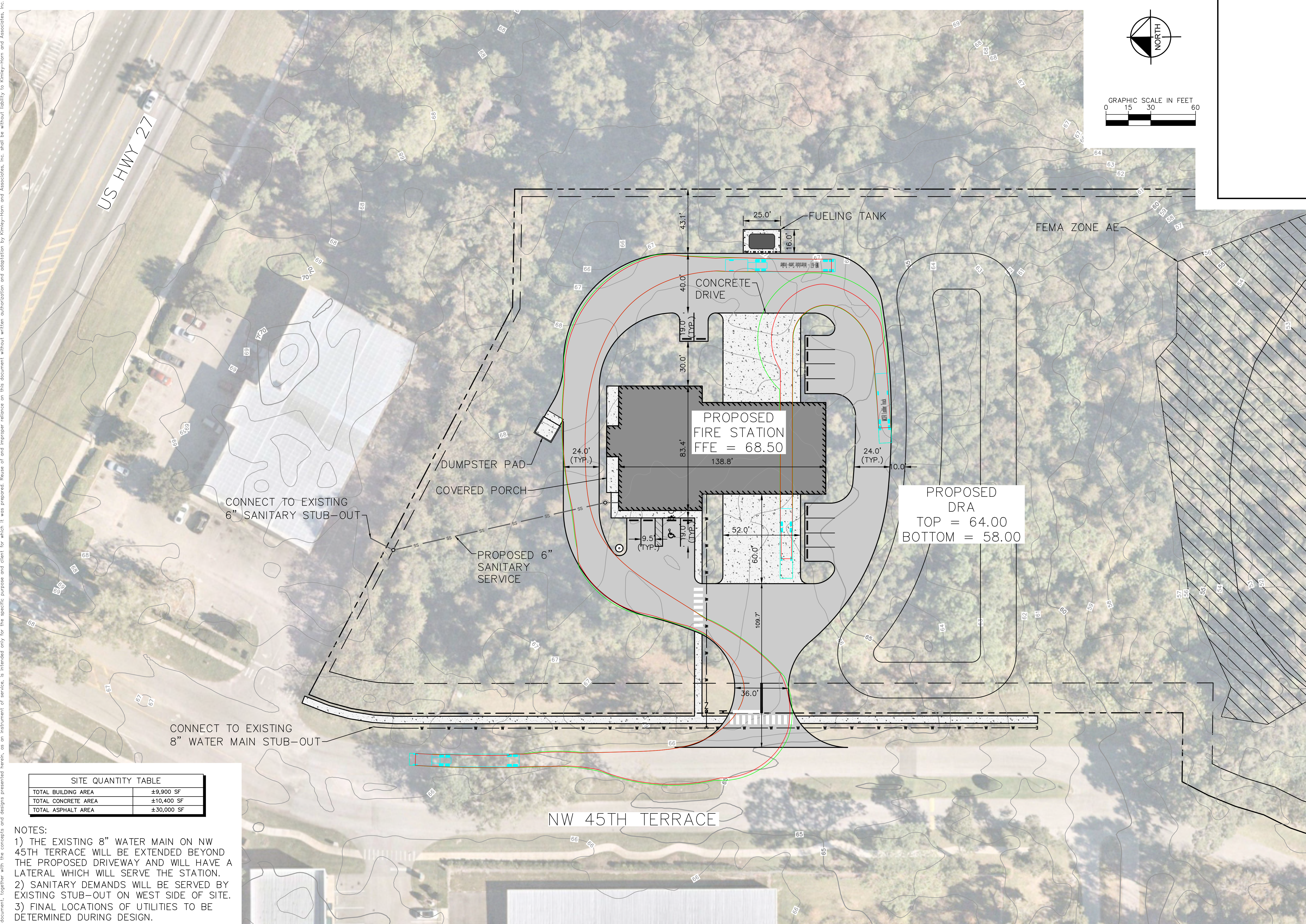
Drawn By _____ Author _____

Checked By _____ Checker _____

SK101

Scale 1/8" = 1'-0"

Plotted By: Colin, Collins Sheet Set: KHA Layout: LAYOUT1 August 19, 2024 05:10:41pm G:\New Business\Private Sector\City of Ocala\2024\MMN\Fire Station #8 - Chap D\Conceptual Plans\Exhibits\Fire Station 8 - Conceptual Plan.dwg
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SITE QUANTITY TABLE	
TOTAL BUILDING AREA	±9,900 SF
TOTAL CONCRETE AREA	±10,400 SF
TOTAL ASPHALT AREA	±30,000 SF

NOTES:
 1) THE EXISTING 8" WATER MAIN ON NW 45TH TERRACE WILL BE EXTENDED BEYOND THE PROPOSED DRIVEWAY AND WILL HAVE A LATERAL WHICH WILL SERVE THE STATION.
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 3) FINAL LOCATIONS OF UTILITIES TO BE DETERMINED DURING DESIGN.

No.	REVISIONS	DATE	BY

Kimley»Horn
 2024 KIMLEY-HORN AND ASSOCIATES, INC.
 1700 SE 17TH STREET, SUITE 200, OCALA, FLORIDA 34471
 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

LICENSED PROFESSIONAL
 MOHAMMED N. MURAD, P.E.
 FLORIDA LICENSE NUMBER
 91243

KHA PROJECT
 TBD

DATE
 SEPTEMBER 2024

SCALE
 AS SHOWN

DESIGNED BY
 KHA

DRAWN BY
 CJC

CHECKED BY
 MIM

DATE

**CONCEPTUAL
 PLAN**

FIRE STATION 8
 PREPARED FOR
 CITY OF OCALA
 FLORIDA

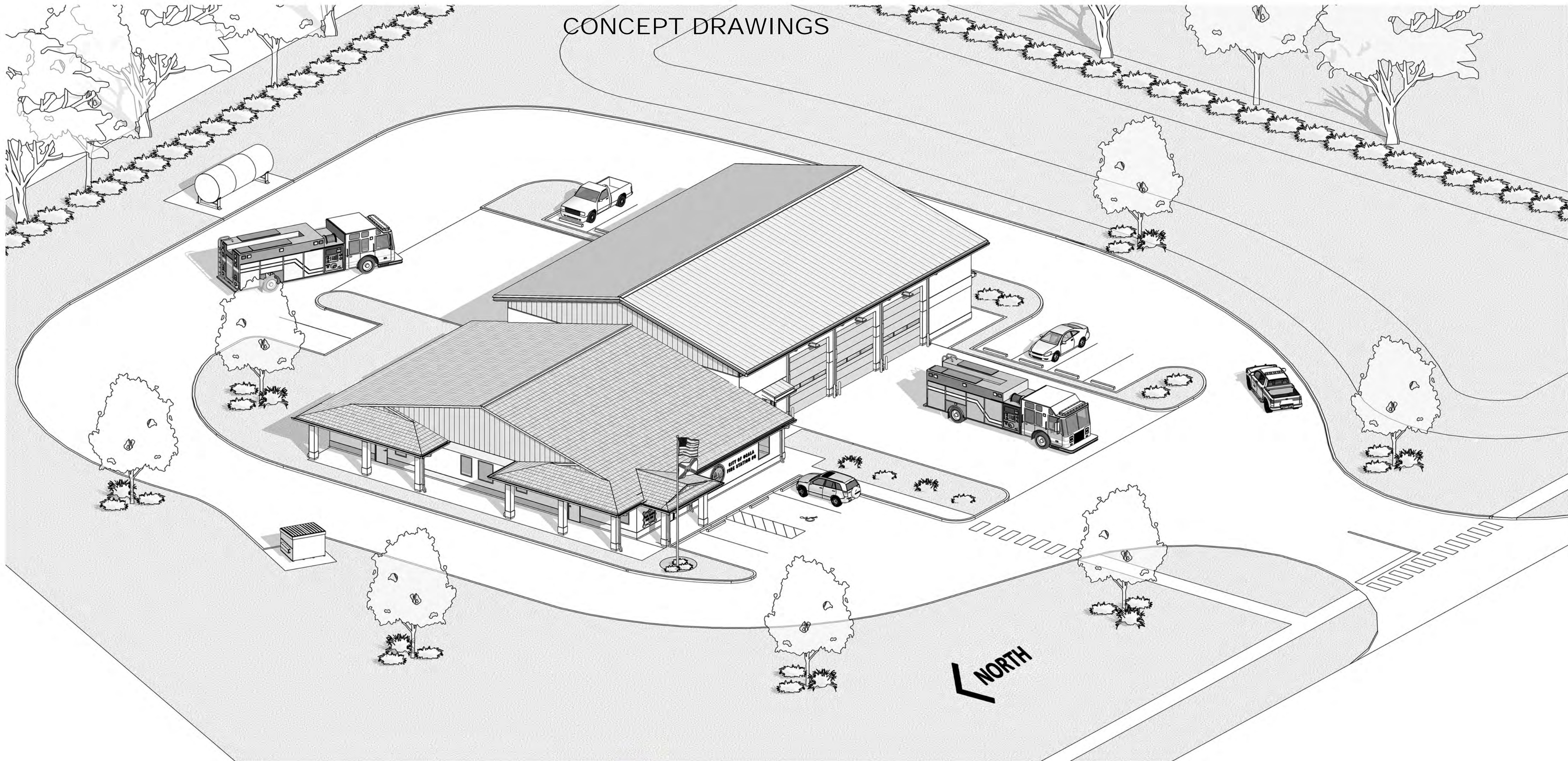
SHEET NUMBER
EX-01



A NEW BUILDING FOR:
**CITY OF OCALA
FIRE STATION #8**



CONCEPT DRAWINGS



A NEW BUILDING FOR:
CITY OF OCALA
FIRE STATION #8



VIEW 1: AIR, FRONT / LEFT SIDE

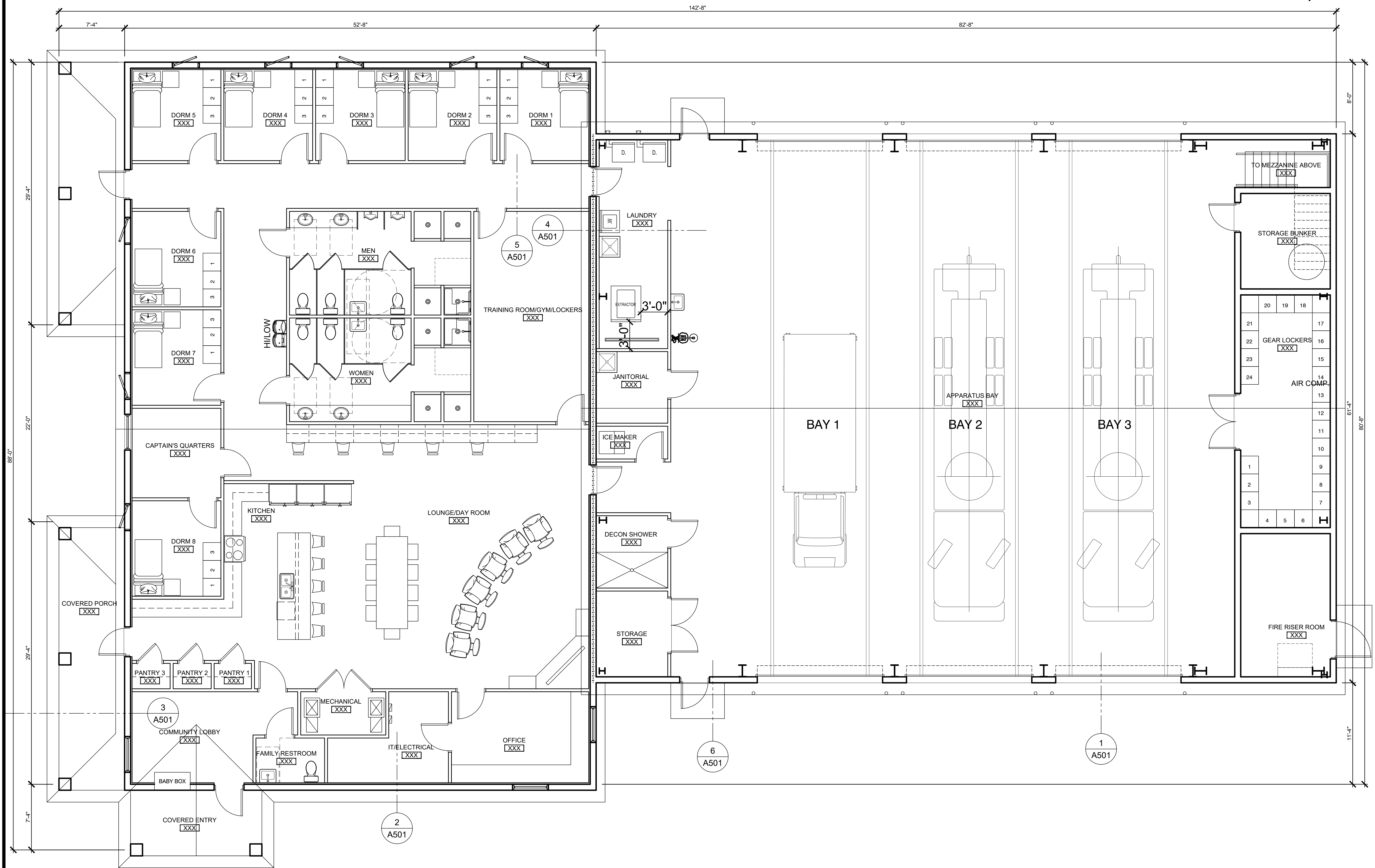
CONCEPT DRAWINGS



A NEW BUILDING FOR:
CITY OF OCALA
FIRE STATION #8



VIEW 2: FRONT



SQ. FT. DATA	
LIVING	4,283 SQ. FT.
EXTERIOR COVERED AREA'S	543 SQ. FT.
APPARATUS AREA	5,070 SQ. FT.
TOTAL	9,896 SQ. FT.

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 DINKINS CONSTRUCTION, INC.
 UNAUTHORIZED USE MAY
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REVISIONS

DIGITAL SIGNATURE
 JOSEPH A. RISPOLI, AIA
 ARCHITECT, FL. LICENSE: AR95439



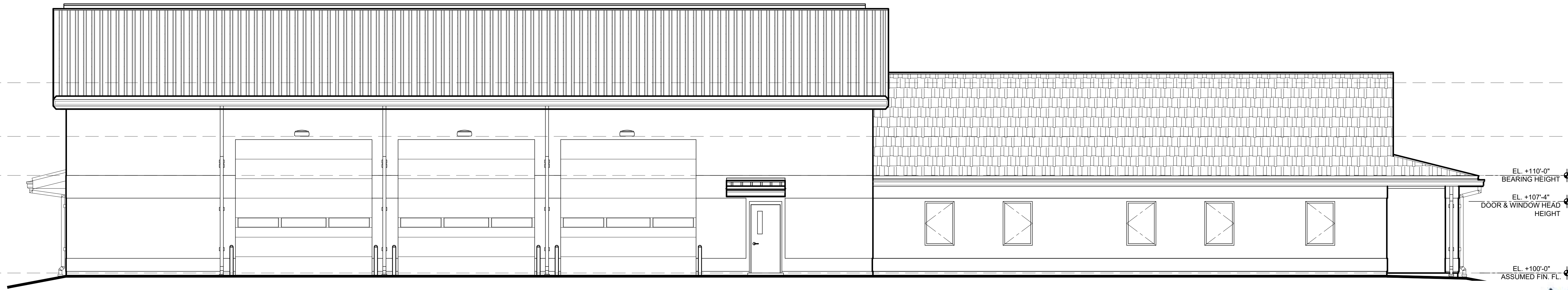
RISPOLI & ASSOCIATES
ARCHITECTURE, INC.
 114 SOUTH MAGNOLIA AVENUE, OCALA, FLORIDA 34471
 (352) 620-0909 WWW.RISPOLIARCHITECT.COM
 JOE@RISPOLIARCHITECT.COM

A NEW BUILDING FOR FOR:
CITY OF OCALA FIRE STATION #8
PARCEL NUMBER 2.1512-000-00
OCALA, FLORIDA
 REQUEST FOR QUALIFICATIONS DOCUMENTS

DRAWN RAA	PROJECT NO. 0000
CHECKED RAA	DATE 09.03.24

OVERALL BUILDING PLAN
 SCALE: 3/16" = 1'-0" (PRINTED @ 24X36)
 SCALE: NTS (PRINTED @ 11X17)

A200
 SHEET NO.

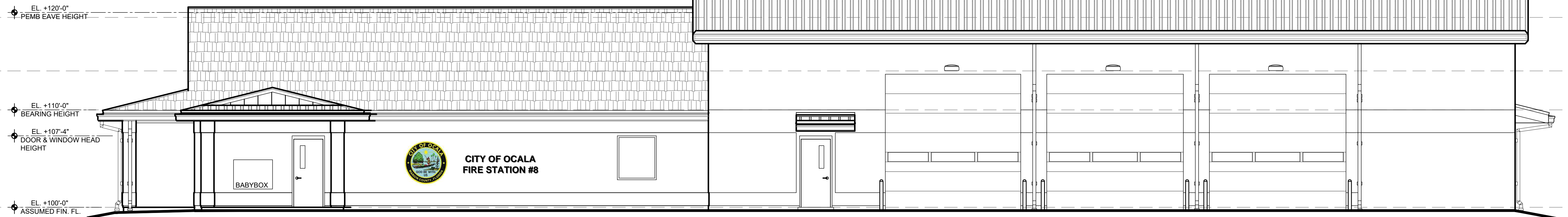


REAR ELEVATION

SCALE: 3/16" = 1'-0" (PRINTED @ 24X36)
 SCALE: NTS (PRINTED @ 24X36)



RISPOLI & ASSOCIATES
ARCHITECTURE, INC.
 114 SOUTH MAGNOLIA AVENUE, OCALA, FLORIDA 34471
 (352) 620-0909 WWW.RISPOLIARCHITECT.COM
 JOE@RISPOLIARCHITECT.COM



FRONT ELEVATION

SCALE: 3/16" = 1'-0" (PRINTED @ 24X36)
 SCALE: NTS (PRINTED @ 24X36)

DIGITAL SIGNATURE
 JOSEPH A. RISPOLI, AIA
 ARCHITECT, FL. LICENSE: AR95439

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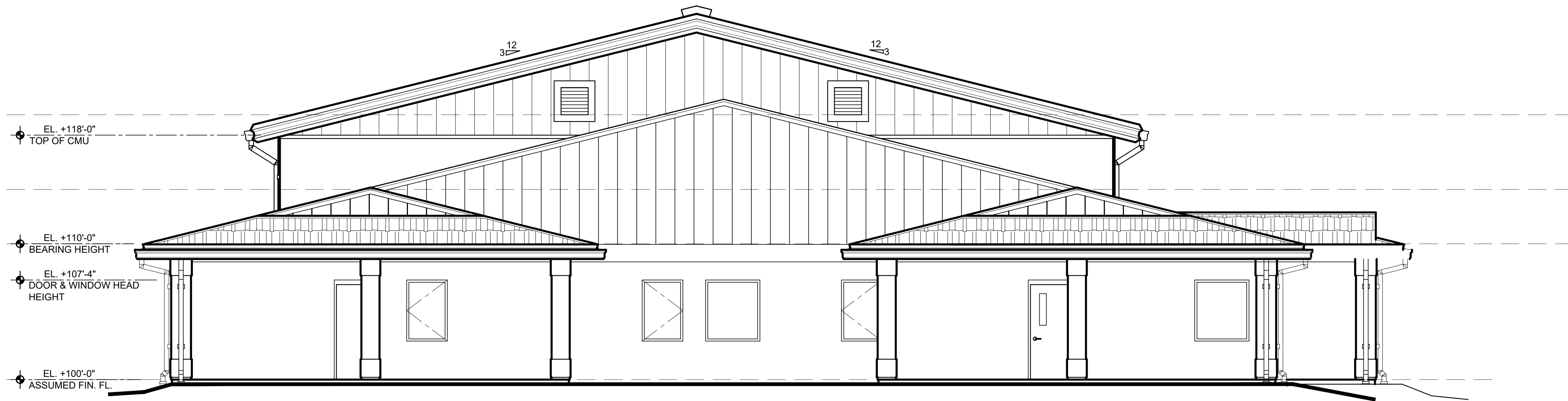
REVISIONS

A NEW BUILDING FOR FOR:
CITY OF OCALA FIRE STATION #8
PARCEL NUMBER 2.1512-000-00
OCALA, FLORIDA
 REQUEST FOR QUALIFICATIONS DOCUMENTS

DRAWN RAA	PROJECT NO. 0000
CHECKED RAA	DATE 09.03.24

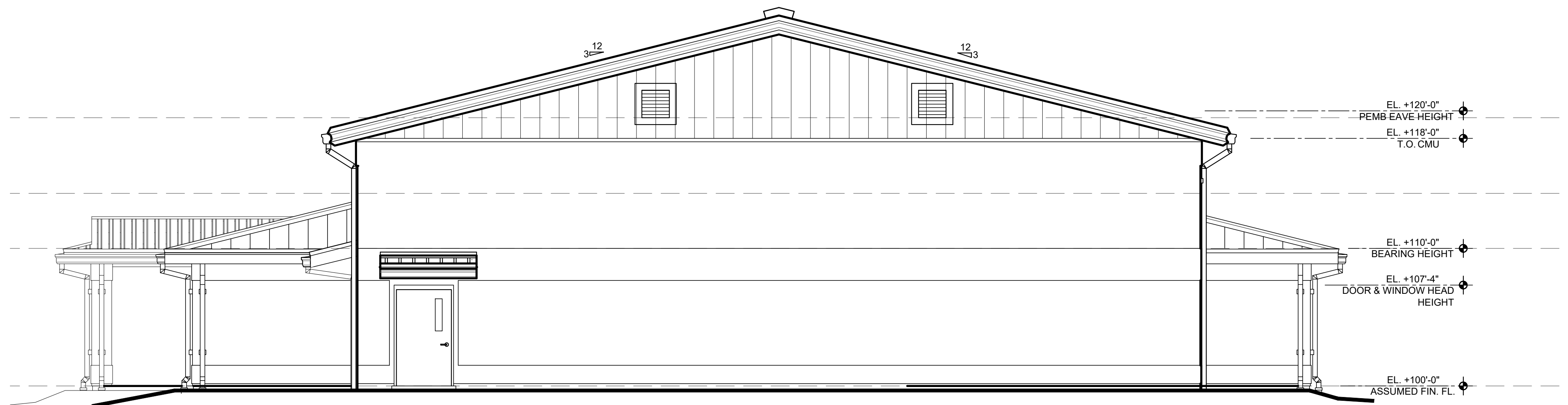
A301

SHEET NO.



LEFT SIDE ELEVATION

SCALE: 3/16" = 1'-0" (PRINTED @ 24X36)
SCALE: NTS (PRINTED @ 24X36)



RIGHT SIDE ELEVATION

SCALE: 3/16" = 1'-0" (PRINTED @ 24X36)
SCALE: NTS (PRINTED @ 24X36)



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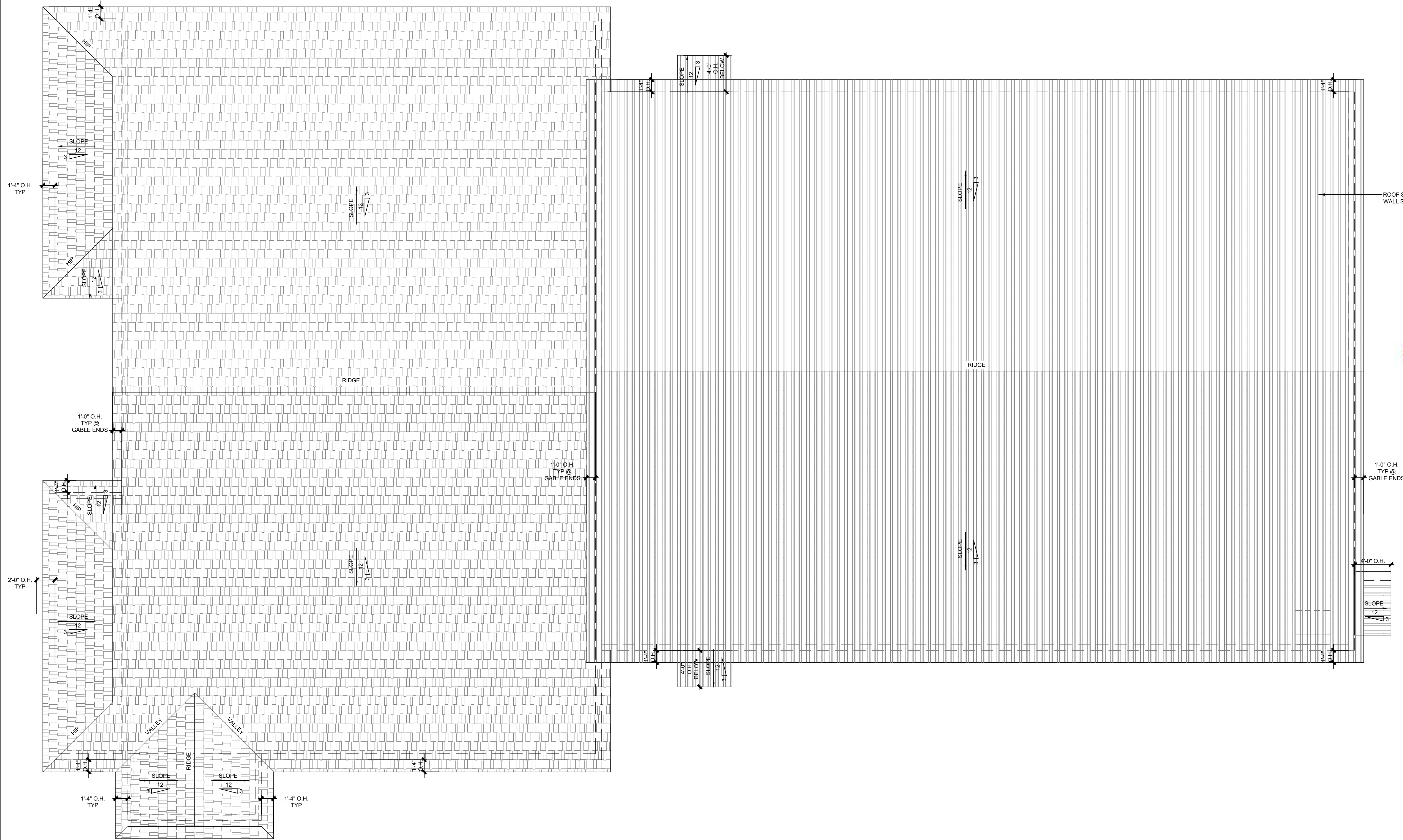
REVISIONS

A NEW BUILDING FOR FOR:
CITY OF OCALA FIRE STATION #8
PARCEL NUMBER 2.15.12-000-00
OCALA, FLORIDA
REQUEST FOR QUALIFICATIONS DOCUMENTS

DRAWN RAA	PROJECT NO. 0000
CHECKED RAA	DATE 09.03.24

A302

SHEET NO.



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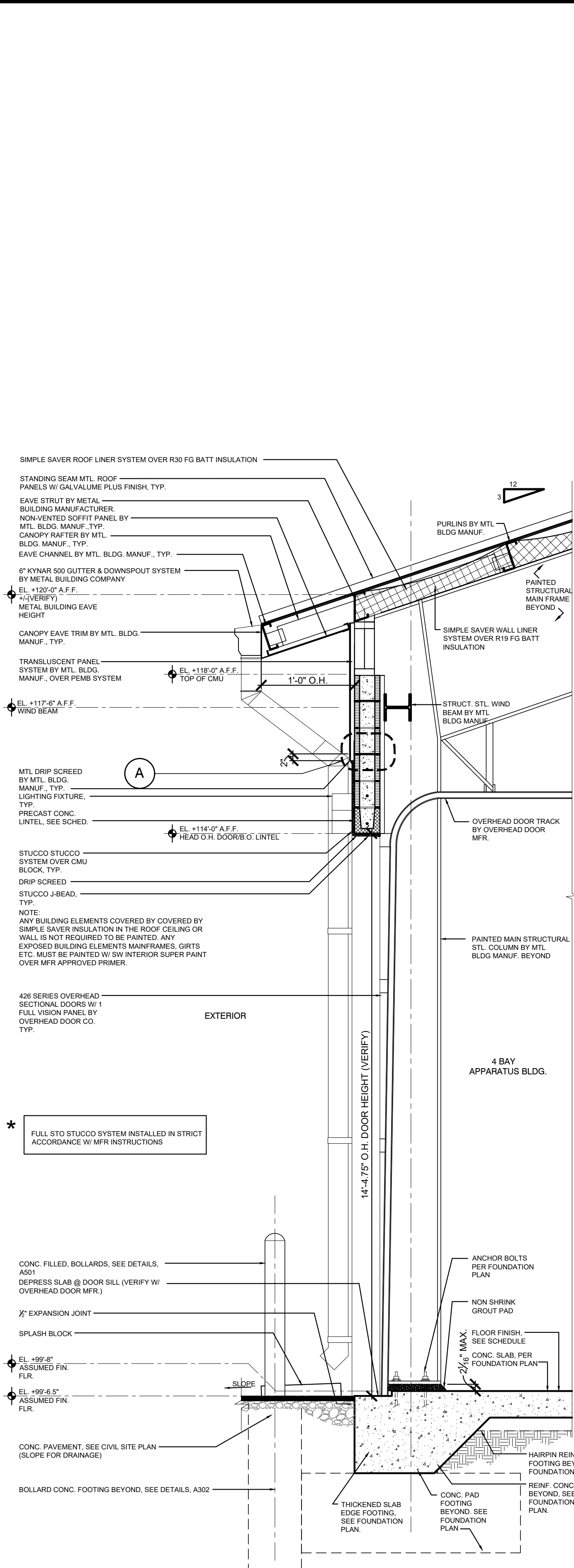
REVISIONS

A NEW BUILDING FOR FOR:
CITY OF OCALA FIRE STATION #8
 PARCEL NUMBER 2.1512-000-00
OCALA, FLORIDA
 REQUEST FOR QUALIFICATIONS DOCUMENTS

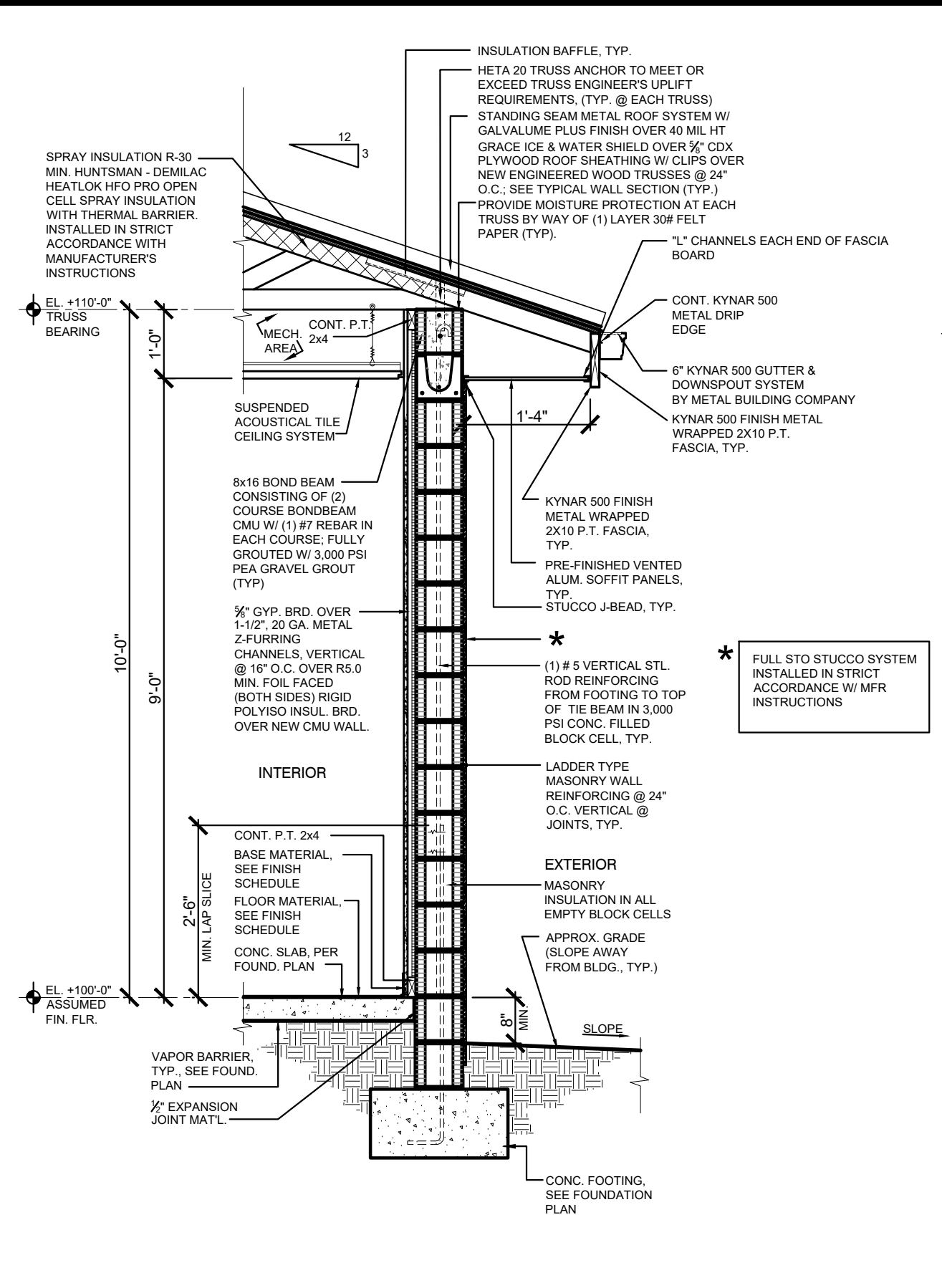
DRAWN RAA	PROJECT NO. 0000
CHECKED RAA	DATE 09.03.24

ROOF PLAN
 SCALE: 3/16" = 1'-0" (PRINTED @ 24X36)
 SCALE: NTS = (PRINTED @ 11X17)

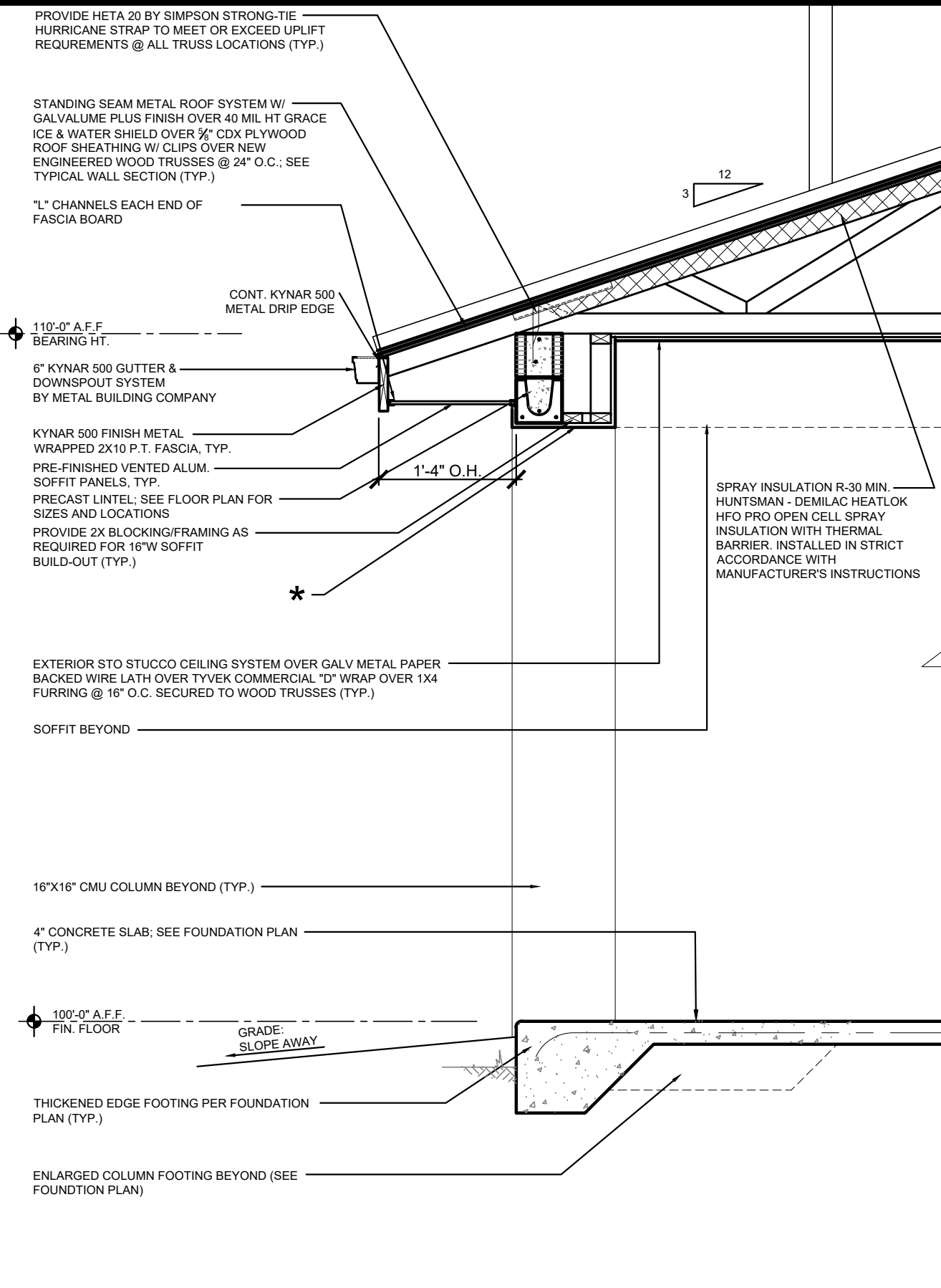
A401
 SHEET NO.



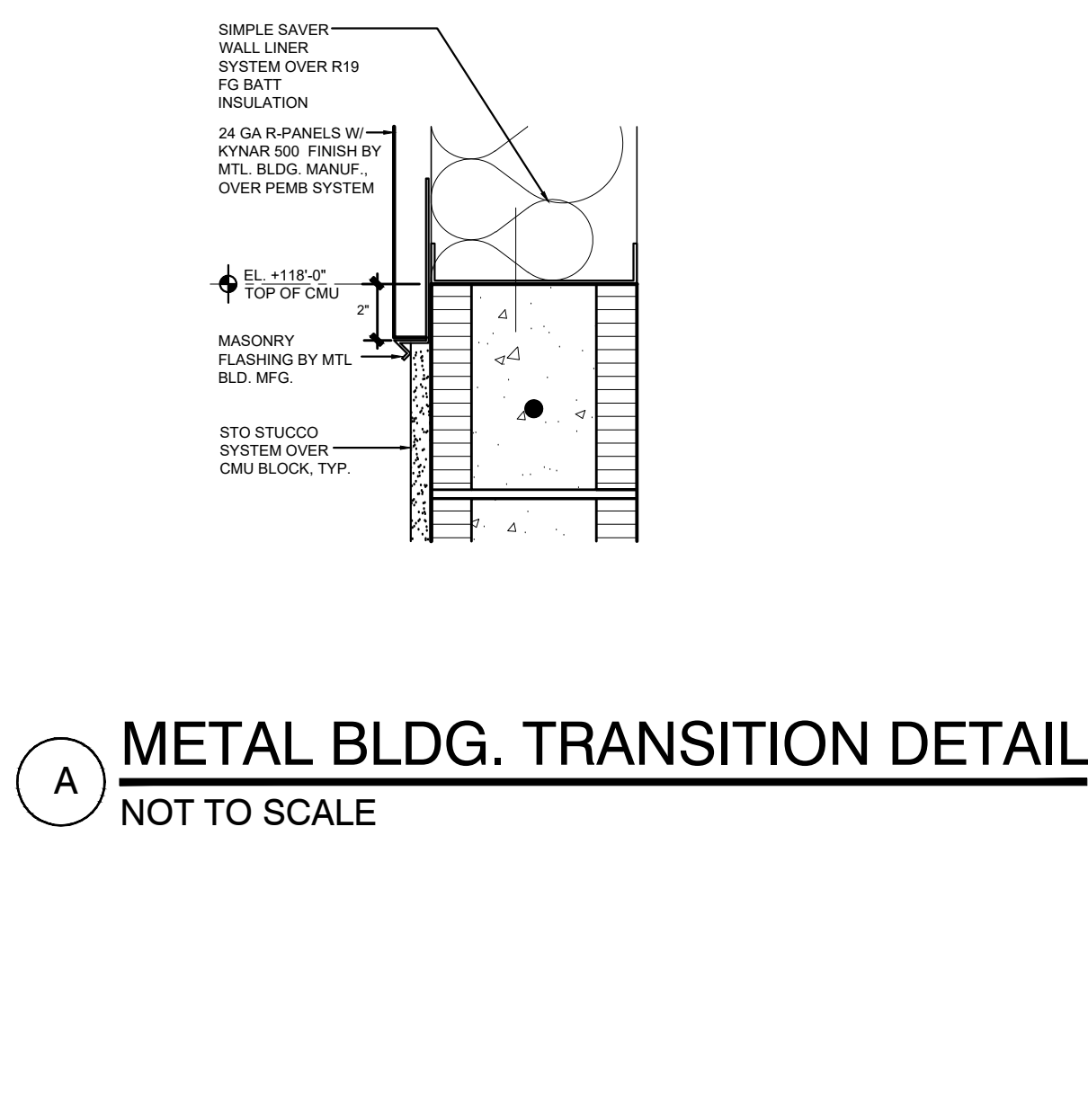
1 APPARATUS BAY WALL SECTION
 SCALE: 1/2" = 1'-0" (PRINTED @ 24X36)
 SCALE: NTS (PRINTED @ 11X17)



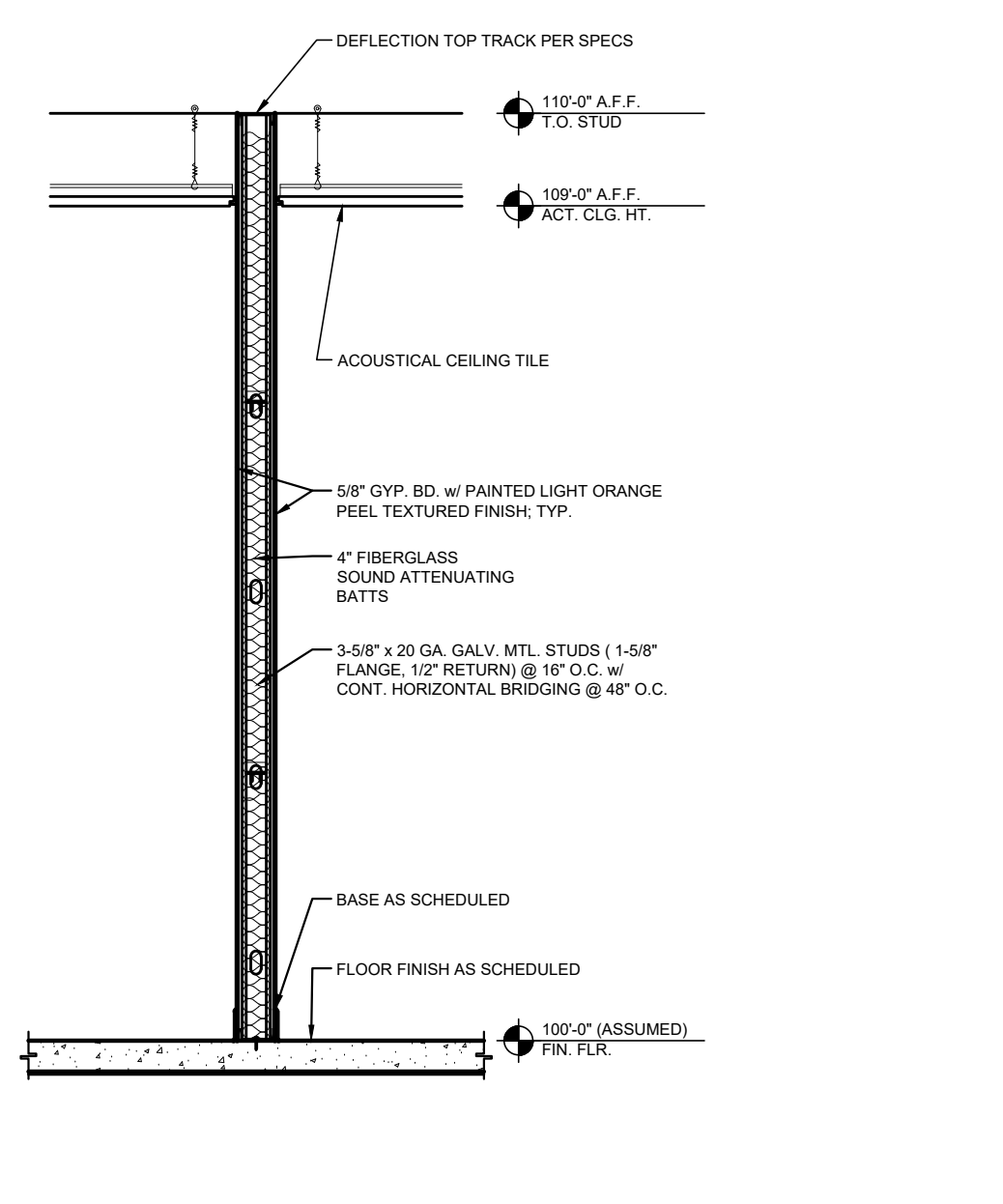
2 TYPICAL WALL SECTION
 SCALE: 1/2" = 1'-0" (PRINTED @ 24X36)
 SCALE: NTS (PRINTED @ 11X17)



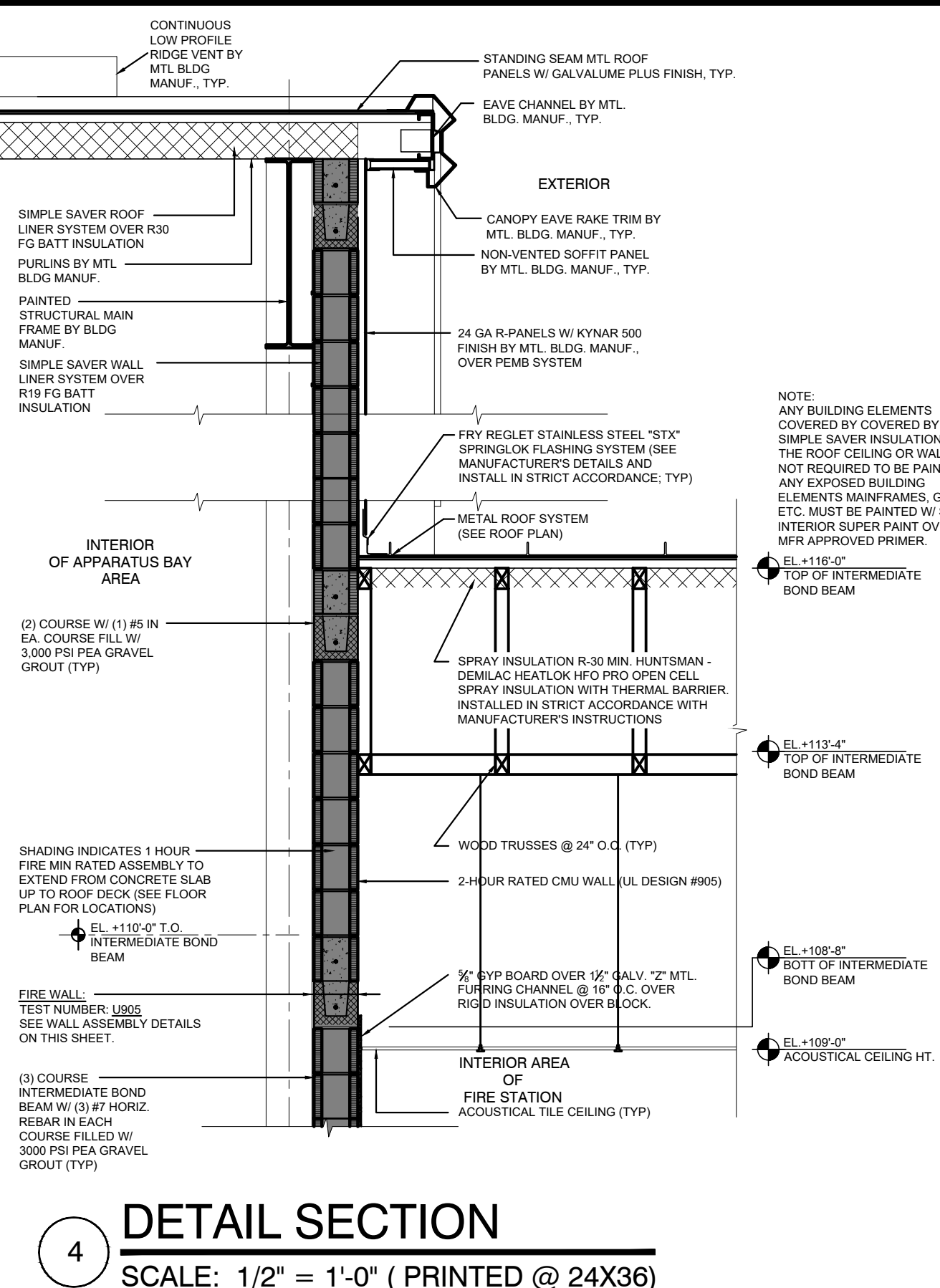
3 COVERED PORCH WALL SECTION
 SCALE: 1/2" = 1'-0" (PRINTED @ 24X36)
 SCALE: NTS (PRINTED @ 11X17)



A METAL BLDG. TRANSITION DETAIL
 NOT TO SCALE



5 TYPICAL INTERIOR WALL SECTION
 SCALE: 1/2" = 1'-0" (PRINTED @ 24X36)
 SCALE: NTS (PRINTED @ 11X17)



6 OVERHANG AT APPARATUS MAN DOORS
 SCALE: 1/2" = 1'-0" (PRINTED @ 24X36)
 SCALE: NTS (PRINTED @ 11X17)



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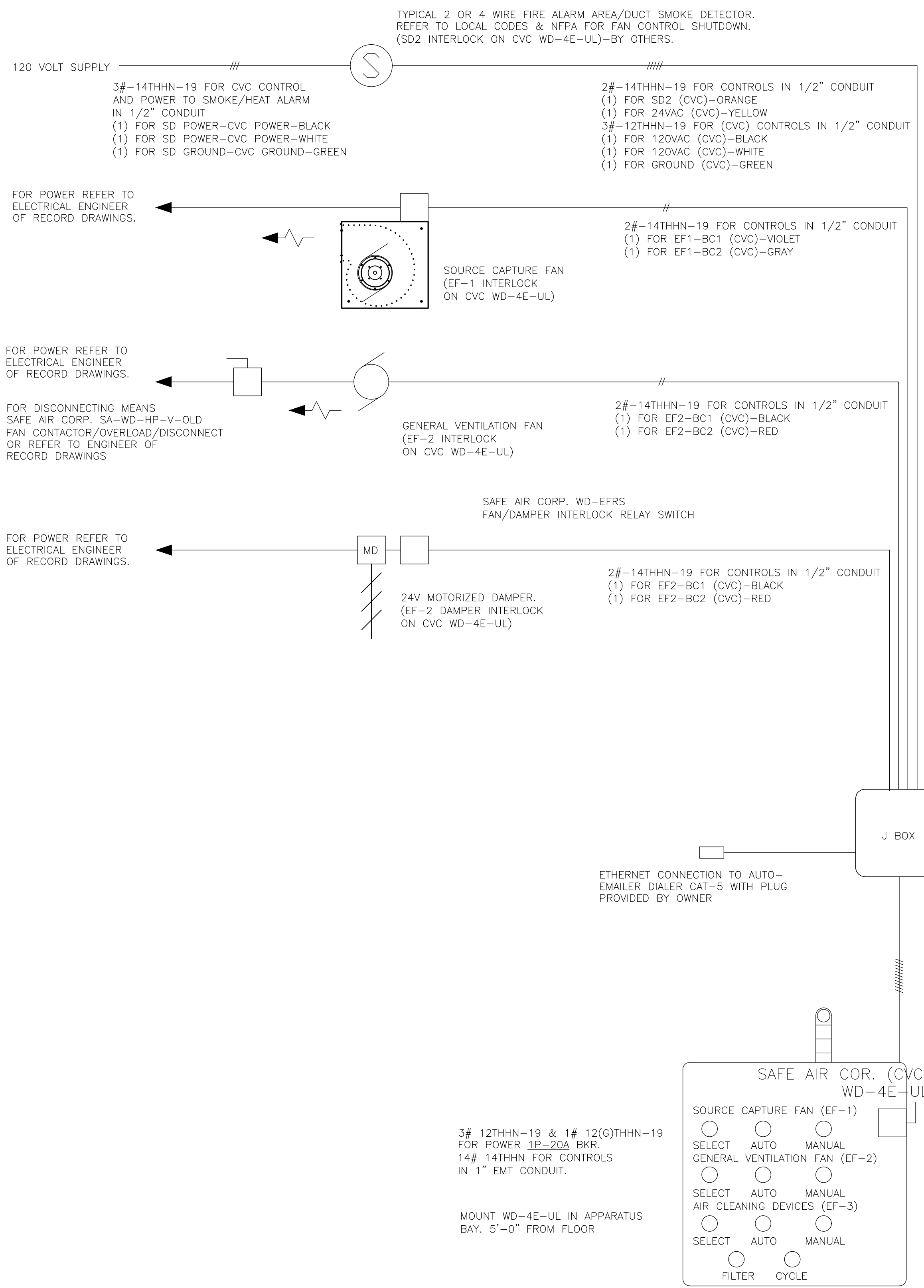
NO.	REVISIONS

DIGITAL SIGNATURE
 JOSEPH A. RISPOLI, AIA
 ARCHITECT, FL. LICENSE: AR95439

A NEW BUILDING FOR FOR:
CITY OF OCALA FIRE STATION #8
 PARCEL NUMBER 2.1512-000-00
OCALA, FLORIDA
 REQUEST FOR QUALIFICATIONS DOCUMENTS

DRAWN RAA	PROJECT NO. 0000
CHECKED RAA	DATE 09.03.24

A501
 SHEET NO.



SAFE AIR CORP. CENTRAL VENTILATION CONTROLLER
WD-4E-UL TYPICAL WIRING RISER DIAGRAM
PATENT NO. US 10,451,301 B2

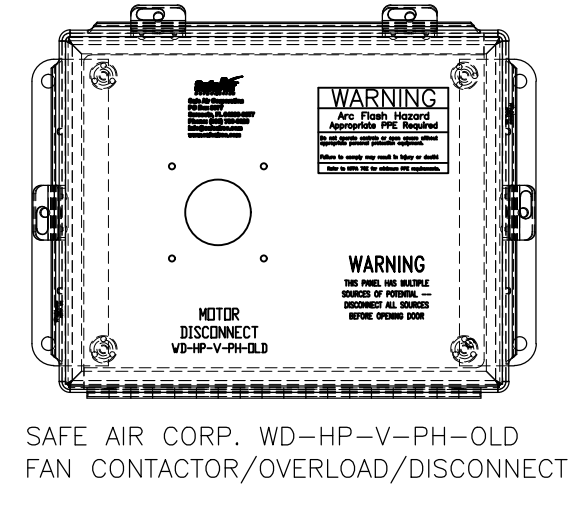
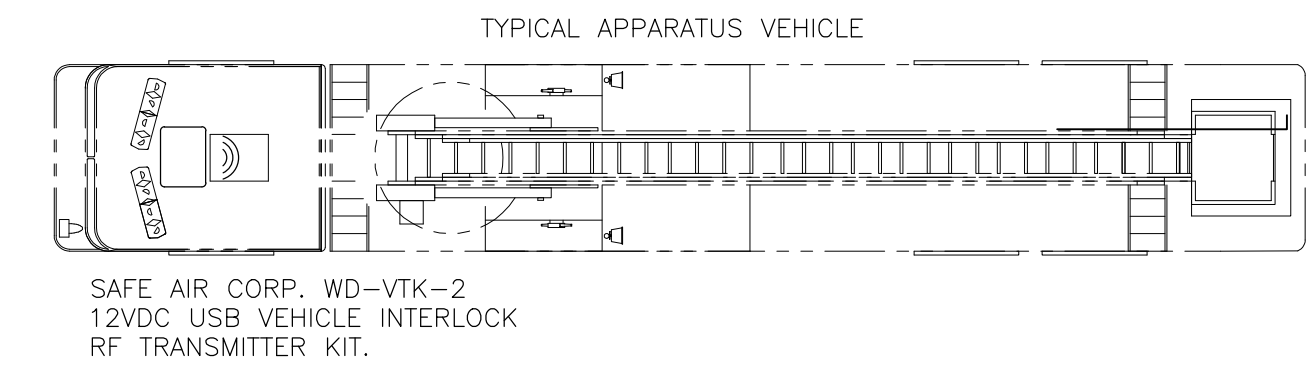
TYPICAL SEQUENCE OF OPERATION

UPON RECEIPT OF CONTROL SIGNAL BY THE CENTRAL VENTILATION CONTROLLER WD-4E-UL FROM VEHICLE TRANSMITTERS OR CO/NO2 SENSORS, THE FOLLOWING SEQUENCE OF OPERATION SHALL OCCUR:

- MOTORIZED OUTSIDE AIR LOUVER DAMPERS SHALL OPEN.
- INTERLOCKED GENERAL VENTILATION FANS SHALL BE ENERGIZE TO RUN DURING SIGNAL TRANSMISSION.
- AIR CLEANING DEVICES SHALL BE ENERGIZE TO RUN DURING SIGNAL TRANSMISSION.
- UPON COMPLETION OF VEHICLE SIGNAL TRANSMISSION, SYSTEM SHALL RUN FOR A PRE-DETERMINED TIME UNTIL AIR EXCHANGE RATE HAS BEEN SATISFIED OR UNTIL CO/NO2 SENSORS REACH BELOW THE THRESHOLD LEVELS.
- UPON COMPLETION OF SYSTEM CYCLE/RUN TIME, FAN'S AND DAMPERS SHALL DE-ENERGIZE AND DAMPERS RETURN TO THE CLOSED POSITION.

UPON RECEIPT OF CONTROL SIGNAL BY THE (CVC) WD-4E-UL FROM AREA SMOKE/FIRE DETECTORS & FIRE ALARM PANEL, THE INTERLOCKED FANS AND DAMPERS SHALL BE DE-ENERGIZED & SHUTDOWN.

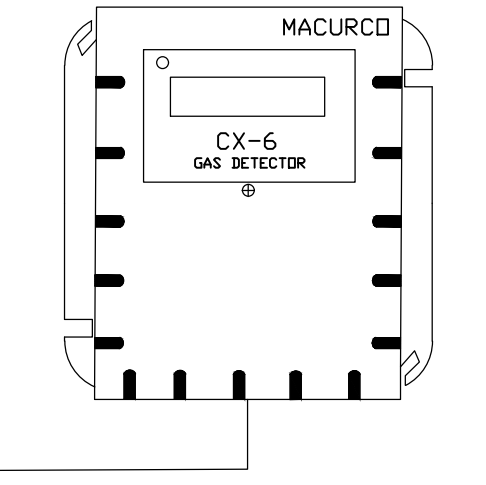
GAS MONITORING THRESHOLD LEVELS:
NO2 SENSOR 2.5 ppm - RUN FAN
CO SENSOR 35 ppm - RUN FAN



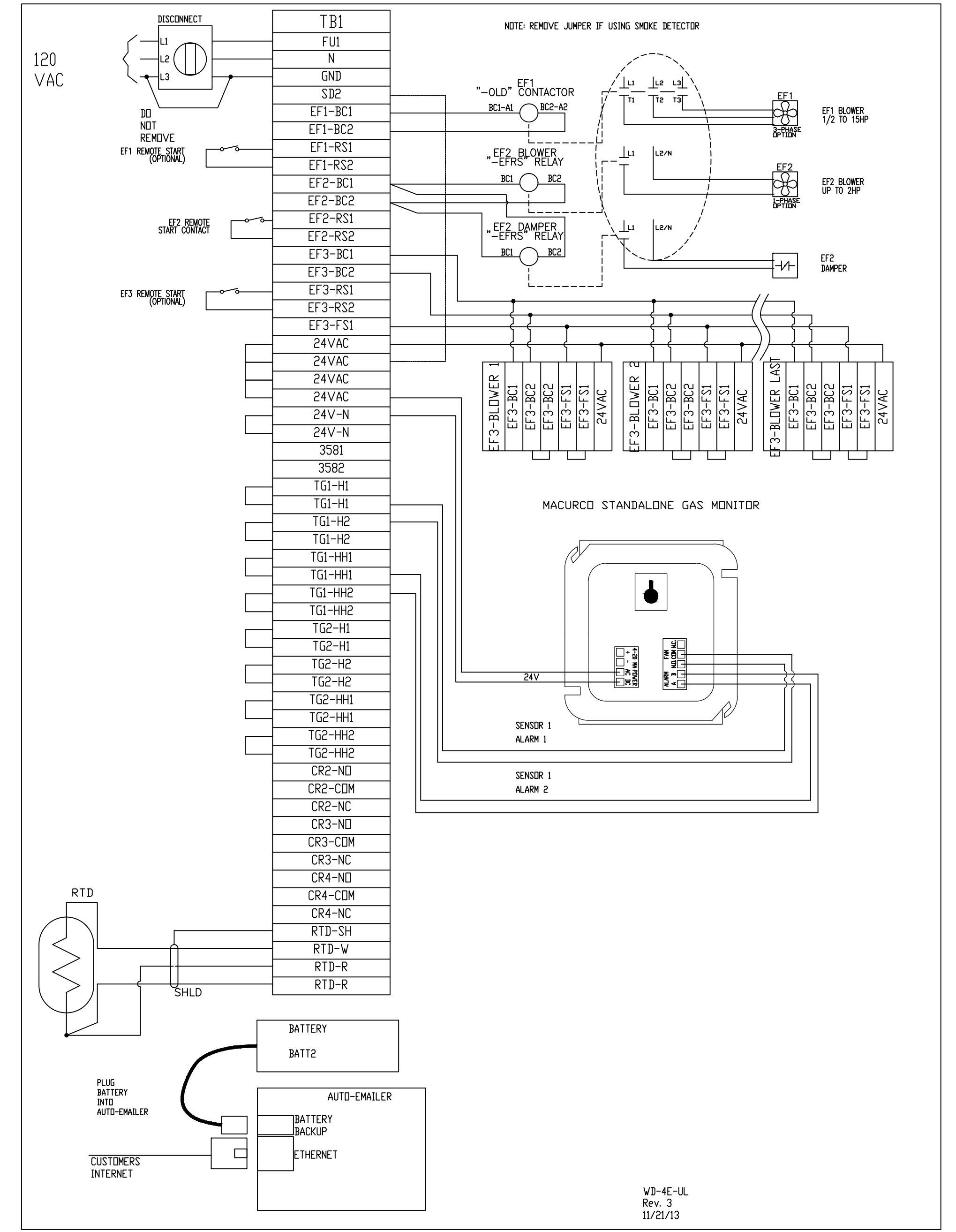
2# 14THHN FOR POWER 24V AC/DC &
4# 14THHN FOR CONTROLS IN 1/2" CONDUIT

MOUNT SENSOR NEAR CONTROL
PANEL APPROX. 5'-0" FROM FLOOR

MACURCO CX-6 STANDALONE
GAS MONITOR FOR CO & NO2



SAFE AIR CORP.
WD-4E-UL ACCESSORIES
NTS



SAFE AIR CORP. CENTRAL VENTILATION CONTROLLER WD-4E-UL
CONTROL POINTS WIRING RISER DIAGRAM
NTS



OCALA FIRE STATION 8

SAFEAIR SOURCE CAPTURE GENERAL
VENTILIZATION WIRING DIAGRAM



SAFE AIR CORPORATION
PO BOX 3077
SARASOTA, FL 34230-3077
CONTACT: WAYNE LUTZ
PHONE: 1.800.798.8820
EMAIL: wlutz@safairco.com

No.	DATE	REVISIONS	Date
			08/22/2024
			Scale AS SHOWN
			Designed R. SMITH
			Drawn L. WEISS
			Checked R. SMITH
			Project No.
			Sheet ME-3

SAFE AIR/PLYMOVENT DIRECT CAPTURE BLOWER SPECIFICATIONS		QTY.
MODEL	TEV-559-3	1
HOSE DROPS	4/5	
HANGING WEIGHT	175 LBS.	
CFM	2250	
SP wg	7" wg	
MOTOR HP	5 HP	
RPM	3450	
VOLTAGE	208-230 V	
PHASE	3 PH	
HERTZ	60 HZ	
MOTOR FLA	17.5-15.2 AMP	
MOTOR TYPE	TEFC	
MOTOR MFG.	LESSON	
BLOWER HOUSING	STEEL	
FAN INLET SIZE	10"	
FAN OUTLET SIZE	12"	
FINISH	EPOXY POWDER COAT	
COLOR	GRAY	
WHEEL STYLE	BACKWARD INCLINE	
WHEEL TYPE	ALUMINUM	
AMCA CLASS	B	
AMCA TESTED	YES	

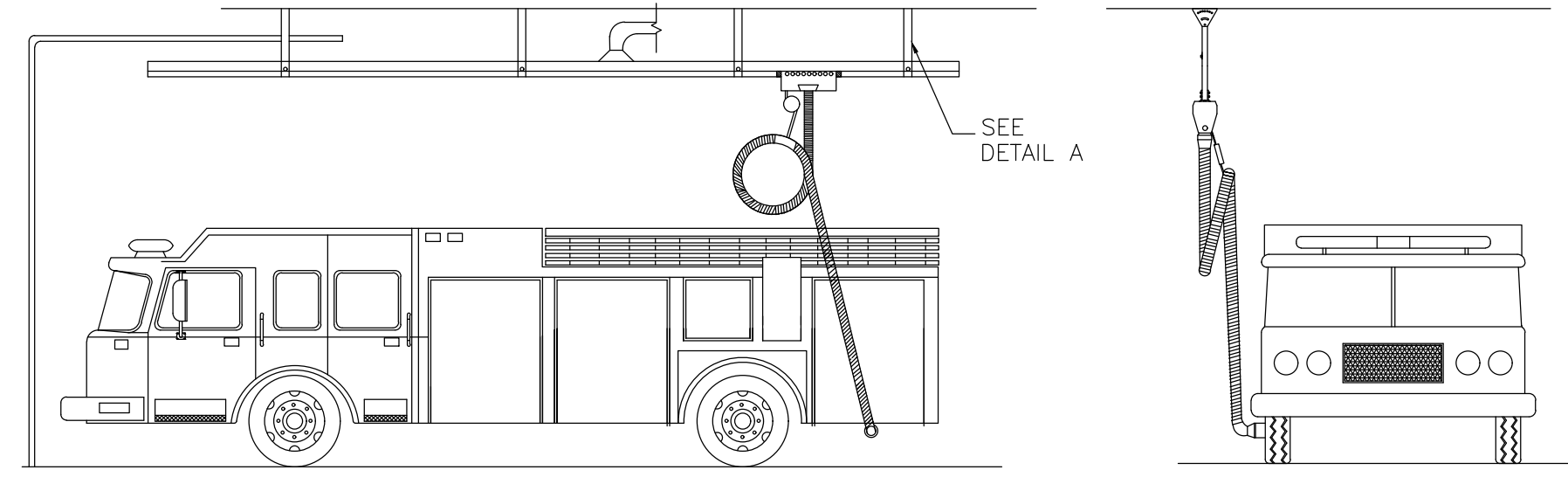
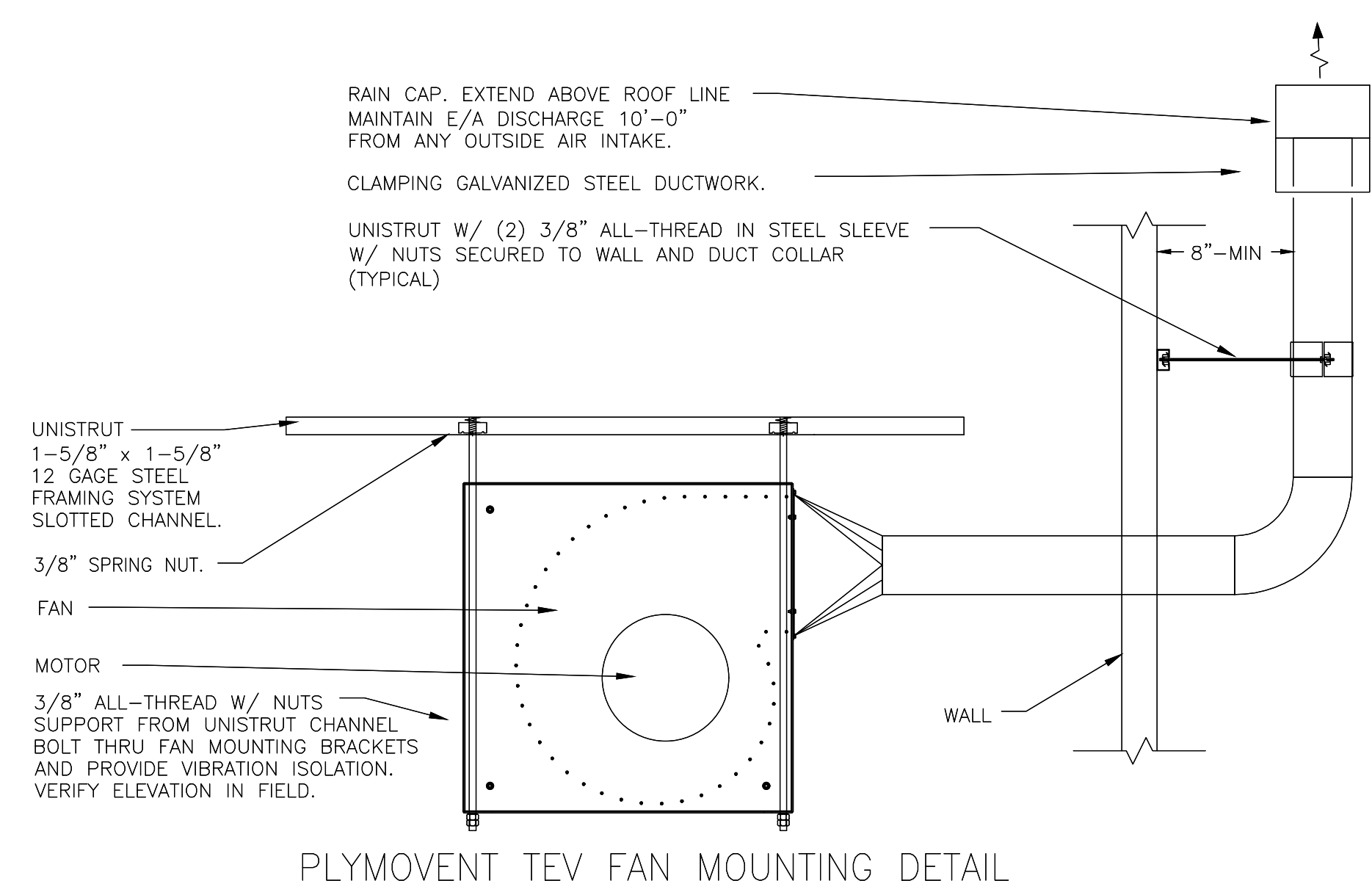
SAFE AIR BLOWER/FAN CONTROLLER SPECIFICATIONS		QTY.
MODEL	WD-4E-UL CONTROL BOX	1
PATENT NUMBER	US 10,451,301 B2	
CONTROL BOX TYPE	NEMA 4 X	
BOX SIZE LxHxD	16"x18"x8"	
MOTOR STARTER	ALLEN BRADY-100	
MOTOR OVERLOAD	ALLEN BRADY-AUTO	
SC BLOWER AFTER RUN TIME	1-3 MIN. VARIABLE	
GE FAN AFTER RUN TIME	5-15 MIN. VARIABLE	
ACD AFTER RUN TIME	10-20 MIN. VARIABLE	
EMAIL DIALER	6 CHANNEL OUTPUT	
DATA PORT	CAT 5-STD	
WIFI DATA PORT	OPTIONAL	
CELLULAR HOTSPOT	OPTIONAL	
MODBUS/BACNET COMPATIBLE	OPTIONAL	
EMAIL ADDRESSES	UNLIMITED	
SERVICE CALL BUTTON	YES	
DUCTWORK TEMP PROBE	YES/0-2000 DEG.	
FILTER CHANGE ALARM	YES	
ELAPSED TIME TIMER	YES	
AFTER RUN TIME	1-3 MIN.	
CONTROL SWITCH	AUTO/MANUAL	
CONTROL LIGHT	GREEN	
TAG OUT/LOCK OUT	YES	
UL RATED	YES	
TOXIC GAS ALARM	YELLOW/RED STROBE LIGHT	
TOXIC GAS HORN	94 dBA	
MULTIPLE FAN CONTROL	YES UP TO 10	
FIRE ALARM SHUTDOWN	YES	
REMOTE DIAL-IN	OPTIONAL	
AUTO START TRANSMITTER	VTK-2/UNLIMITED TRUCKS	

SAFE AIR/MACURCO REAL TIME TOXIC GAS CONTROL SPECIFICATIONS		QTY.
MODEL	CX-6	1
BOX SIZE LxH	4"x4"	
REAL TIME DISPLAY	YES	
CO SENSOR	25 PPM	
NO2 SENSOR	1 PPM	
FAN SHUTDOWN	YES	
ALARM HORN	98 dBA	

SAFE AIR CLAMPING DUCTWORK SYSTEM SPECIFICATIONS		QTY.
DUCT SIZES	4-16" DIA. ROUND	1
DUCT GAUGE	18	
JOINT TYPE	BEAD AND CLAMP	
STEEL TYPE	GALV. ROLLED	
PIPE SEAM TYPE	LASER WELDED	
BRANCH TYPE	REDUCING/NON-REDUCING	
BRANCH ANGLE	30 DEGREE	
ADJUSTMENT DAMPER	MANUAL W/LOCK SCREW	
DUCT HANGER TYPE	THREADED ROD W/ HJ HANGER	
EXHAUST STACK TYPE	EPA FREE FLOW JET CAP	
DUCT PENETRATION	WALL DISCHARGE/CORE DRILL	
ASTM RATING	A527-G90	

SAFE AIR/PLYMOVENT EXHAUST EQUIPMENT SPECIFICATIONS		QTY.
MODEL	MRP-55-1	1
HOSE DROP SIZE	4-5" DIA.	
HOSE TEMP.	850-1050 DEG.	
SAFETY DISCONNECT	ADJUSTABLE 88 LBS/3-5" HS	
MAGNETIC GRABBER NOZZLE	MRP/VSRX/4-7" TAILPIPE	
TAILPIPE ADAPTOR PLATE	STAINLESS STEEL/CONTROLLED FLOW	
EXHAUST RAIL LENGTH	52.25'	
HANGING WEIGHT	251 LBS.	
MATERIAL	ALUMINUM	
RAIL TYPE	6063-T6	
RAIL OPEN AREA	28.3 SQ. IN./6 IN. ROUND	
WALL THICKNESS	5/32"/4MM	
LEG SUPPORTS	5	
SUPPORT TYPE	ALUMINUM	
SPLICE TYPE	STEEL	
SPLICE FASTENERS	3/8"x1" HEX CAP GRADE 5	
RAIL SETBACK FROM DOOR	5'	
RAIL MOUNTING HEIGHT	13'	
RAIL LOCATION OFF VEHICLE	20-24"	

SAFE AIR/PLYMOVENT EXHAUST EQUIPMENT SPECIFICATIONS		QTY.
MODEL	MRP-20-1	4
HOSE DROP SIZE	4-5" DIA.	
HOSE TEMP.	850-1050 DEG.	
SAFETY DISCONNECT	ADJUSTABLE 88 LBS/3-5" HS	
MAGNETIC GRABBER NOZZLE	MRP/VSRX/4-7" TAILPIPE	
TAILPIPE ADAPTOR PLATE	STAINLESS STEEL/CONTROLLED FLOW	
EXHAUST RAIL LENGTH	19'	
HANGING WEIGHT	124 LBS.	
MATERIAL	ALUMINUM	
RAIL TYPE	6063-T6	
RAIL OPEN AREA	28.3 SQ. IN./6 IN. ROUND	
WALL THICKNESS	5/32"/4MM	
LEG SUPPORTS	2	
SUPPORT TYPE	ALUMINUM	
SPLICE TYPE	STEEL	
SPLICE FASTENERS	3/8"x1" HEX CAP GRADE 5	
RAIL SETBACK FROM DOOR	5'	
RAIL MOUNTING HEIGHT	13'	
RAIL LOCATION OFF VEHICLE	20-24"	



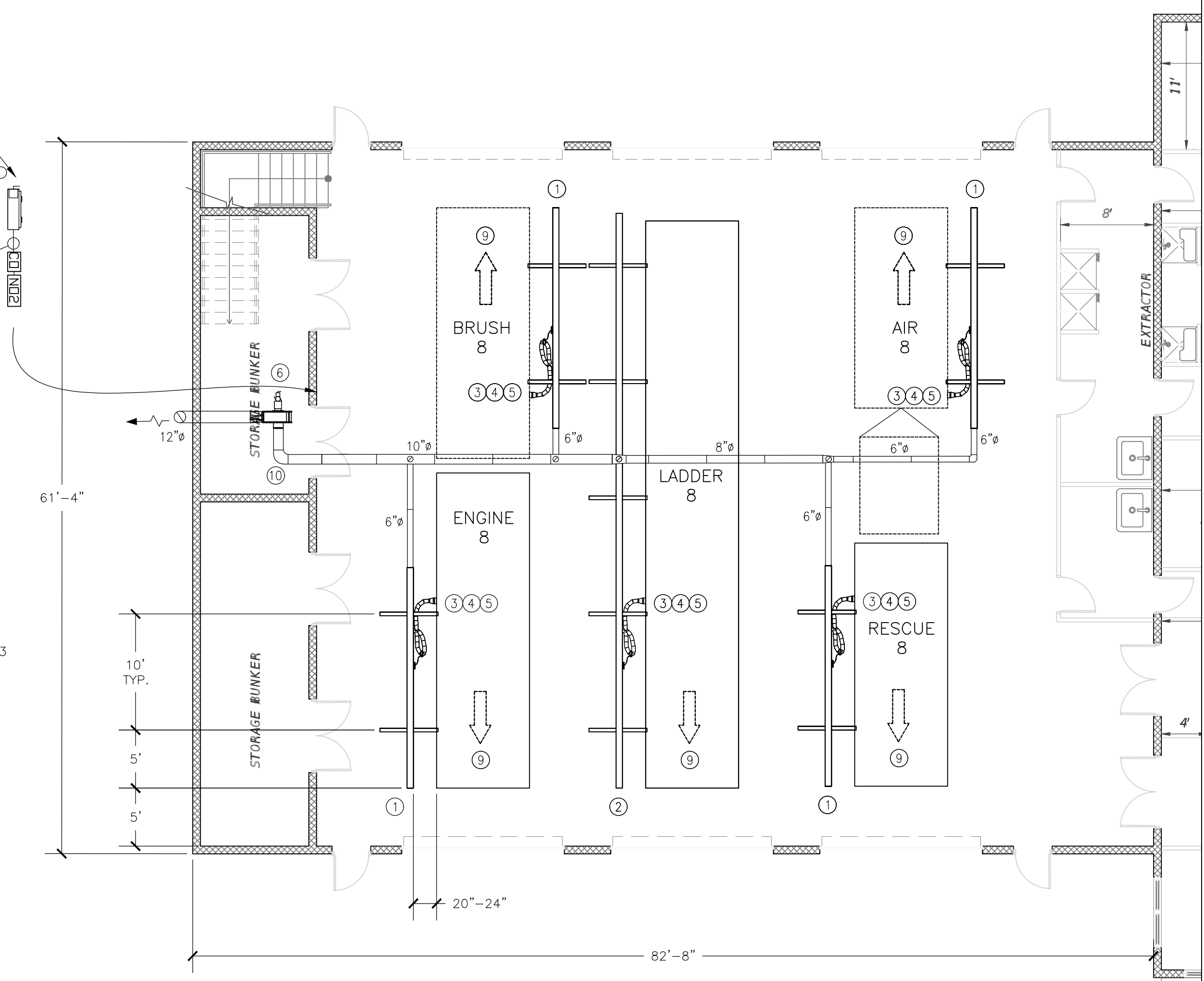
System Specifications				
Type	Length	Number of supports	Weight	Qty.
MRP-55-1	52.25'	5	251 lbs	1
MRP-20-1	19'	2	124 lbs	4

SAFE AIR/PLYMOVENT MRP TYPICAL DETAIL

APPARATUS BAY MECHANICAL VEHICLE EXHAUST GAS EXTRACTION SYSTEM FLOOR PLAN
SCALE: 1/8" = 1'-0"

- SAFE AIR WD-4E-UL
US PAT # US 10,451,301 B2
CONTROLLER BOX W/
LOCKOUT/TAGOUT
DISCONNECT
115V 1PH 60HZ
- 2# 12THWN &
1 #12(G)THWN
FOR POWER 1P-20A
PANEL "# IN 1/2" C.
- 2# 14THHN 24V &
4# 14THHN FOR
CONTROLS IN 1/2" C.

- SAFEAIR/PLYMOVENT CODED NOTES:
- ① MRP-20-1 EXHAUST TRACK SYSTEM
 - ② MRP-55-1 EXHAUST RAIL SYSTEM
 - ③ MAGNETIC GRABBER TAILPIPE NOZZLE
 - ④ SAFETY BREAKAWAY HANDLE
 - ⑤ MG TAILPIPE ADAPTER
 - ⑥ SOURCE CAPTURE BLOWER TEV-559-3
5 HP TEFC-240 VAC 3 PH
 - ⑦ WD-4E-UL ELECTRICAL CONTROL BOX
 - ⑧ MACURCO TOXIC GAS DETECTOR
 - ⑨ AUTO START TRANSMITTER
 - ⑩ CLAMPING DUCTWORK SYSTEM



SAFE AIR CORPORATION EXHAUST SYSTEM-GENERAL NOTES & SPECIFICATIONS

1. THIS PROJECT IS DESIGNED AND PROVIDED BY SAFE AIR CORPORATION. FOR DETAILS ON PROJECT PLEASE CONTACT THE FOLLOWING:
SAFE AIR CORPORATION - sales@safeairco.com - WAYNE LUTZ - wlutz@safeairco.com - 800-798-8820.
2. THE EQUIPMENT SPECIFICATIONS LISTED IN DRAWINGS ARE TO BE PROVIDED IN FULL WITH NO CHANGES OR EXCEPTIONS.
3. THE FINAL SHOP DRAWING MUST SHOW THE DETAILS OF VEHICLE LOCATIONS, NUMBER OF VEHICLES, DIRECTION OF EXIT FROM STATION AND BE APPROVED BY OWNER.
4. ALL EXHAUST FANS AND BLOWERS SHALL MEET AMCA TEST STANDARDS FOR PERFORMANCE AND BE MOUNTED IN THE BAY AREA OR BE NOA RATED FOR OUTSIDE INSTALLATION.
5. ALL ELECTRICAL CONTROLS AND WIRING COMPONENTS SHALL BE UL OR ETL LISTED.
6. ALL ELECTRICAL (120-480V), CONTROL WIRE (24V) AND DATA (CAT-5) IS THE SCOPE OF WORK OF THE ELECTRICAL/CONTROLS CONTRACTOR. THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH SAFE AIR AND ALL OTHER TRADES WITH ANY UPDATES OR CHANGES TO ELECTRICAL SUPPLY THAT MAY CHANGE AND EFFECT BLOWER/EXHAUST FANS/MOTORIZE DAMPER POWER REQUIREMENT BY EMAIL TO ALL TRADES.
7. ALL WIRING WILL BE RUN IN EMT CONDUIT WITH WATER-TIGHT FITTING. THE MINIMUM WIRE SIZE SHALL BE #12 THIN MULTI-STRAND COPPER WIRE OR LARGER BASED ON NEC LOAD CHART FOR HORSE POWER FULL LOAD AMPERAGE AND SIZED ONE CONDUCTOR LARGER AND #14 THIN MULTI-STRAND COPPER WIRE FOR LOW VOLTAGE CONTROL WIRING.
8. ALL WIRING SHALL BE COLOR CODED AS NOTED OR LABELED ON BOTH ENDS AND CONTROL SYSTEMS LABELED WITH THE PANEL/BREAKER THAT SUPPLIES THE CONTROLLER.
9. ALL MECHANICAL INSTALLATION OF SOURCE CAPTURE EQUIPMENT AND DUCTWORK IS THE SCOPE OF WORK OF MECHANICAL CONTRACTOR OR SAFE AIR AS NOTED.
10. ALL TRADES MUST MEET FEDERAL, STATE AND CITY CODES FOR THE TRADE THAT YOU REPRESENT.
11. LOCATIONS ON DOCUMENTS ARE APPROXIMATE LOCATIONS OF TYPICALLY REQUIRED EQUIPMENT AND MAY NOT IDENTIFY ALL SCHEDULED EQUIPMENT FROM SAFE AIR.
12. FINAL START-UP, TRAINING AND COMMISSIONING IS PROVIDED BY SAFE AIR.



OCALA FIRE STATION 8

APPARATUS BAY DIESEL EXHAUST VENTILIZATION SYSTEM



SAFE AIR CORPORATION
PO BOX 3077
SARASOTA, FL 34230-3077
CONTACT: WAYNE LUTZ
PHONE: 1.800.798.8820
EMAIL: wlutz@safeairco.com

No.	DATE	REVISIONS	Date
			08/22/2024
			Scale AS SHOWN
			Designed R. SMITH
			Drawn L. WEISS
			Checked R. SMITH
			Sheet ME-1