

Parcel 2856-006-015 - 08/05/2025

Applicant Information

Applicant / Primary Contact Information

Name	Type
Dwan Thomas	Residential Property Owner

Questions

1. How long have you owned / lived at the current location?

Ans. 2 Month s

Property Information

Parcel Id	Parcel Address	
2856-006-015	Parcel 2856-006-015, OCALA, FL, 34471	
Last Assessment	Previous Year Assessment	Districts
9/15/2023 - \$3,444.00	No information available	West Ocala CRA, Ocala Wide District, OEU District

Project Details

Details

Proposed UseNo information entered
No information entered**Public Improvements**

No information entered

Estimated Future Assessed Value

No information entered

Proposed Square Footage

No information entered

Improvements Requested**Estimated Future Tax**

No information entered

Construction Activities - Parcel 2856-006-015 OCALA FL 34471**New Construction**

- ✓ Structural - Foundation
- ✓ Structural - Load Bearing Support
- ✓ Structural - Demolition

New Construction

- ✓ Land - Grading / Preparation
- ✓ Land - Utilities Modifications
- ✓ Land - Water / Sewer / Drainage
- ✓ Land - Sidewalks / Curbs

New Construction

- ✓ Interior - Flooring
- ✓ Interior - Plumbing
- ✓ Interior - Electrical
- ✓ Interior - HVAC

Eligible Costs**Exterior Painting**

Estimated cost of painting project \$3,000.00

Estimated cost of pressure washing \$0.00

Sub Total: \$3,000.00**Repair/repalcement of exterior windows and/or doors**

Estimated cost of windows \$0.00

Estimated cost of doors \$0.00

Sub Total: \$0.00

Demolition

Estimated cost of demoliton and cleanup \$0.00

Sub Total: \$0.00

New landscaping (only include areas visible from the street/sidewalk)

Estimated cost of landscaping \$8,000.00

Sub Total: \$8,000.00

Fencing (sides and rear only)

Estimated cost of fencing \$0.00

Sub Total: \$0.00

Reroofing

Estimated cost of reroofing \$0.00

Sub Total: \$0.00

Weatherization (HVAC and Insulation)

Estimated cost of HVAC \$7,300.00

Estimated cost of insulation improvements \$3,000.00

Sub Total: \$10,300.00

New construction

Estimated cost of new construction \$136,000.00

Sub Total: \$136,000.00

Financing Details

Fund Request

Funding Request	Reimbursement
Eligible Costs Total	\$157,300.00
Total Estimated Project Cost	\$136,000.00
Total Funding Amount Requested	\$20,000.00

Funding Source - Indicate how you intend to fund the project.
Note - Applicant will cover all upfront costs; the incentive will be provided as a reimbursement after project completion.

Grants	\$0.00
Personal Savings	\$20,000.00
Loan / Credit Card	\$116,000.00
Other	\$0.00
Sub Total	\$136,000.00

Project Description and Bids

Questions

1. Please explain the purpose of and need for the proposed improvements.

Ans. D&S Development LLC plans to build an affordable new construction home designed for a family seeking a 3-bedroom, 2-bathroom residence with a 1-car garage. The home will feature a spacious living room, a dedicated dining area, and approximately 1,200 square feet of living space. It will be listed for sale by D&S Development at \$230,000.

2. Will the proposed improvements be made without the assistance of the grant program? If not, please explain.

Ans. Yes

3. If not, please explain

Ans. No information entered

4. If necessary, attach additional documentation addressing the above.

Ans. No information entered

5. Bid 1 Amount

Ans. No information entered

6. Bid 1 Upload

Ans. No information entered

7. Bid 2 Amount

Ans. No information entered

8. Bid 2 Upload

Ans. No information entered

Timeline

Anticipated start date

Date

08/30/2025

Description

We have submitted our plans to the city and anticipate receiving our permits by August 29, 2025.

Anticipated completion date

Date

01/02/2026

Description

We anticipate that it will take approximately five months to complete the home, from the start of construction to receiving the Certificate of Occupancy (CO).te of the completion of the project

Parties

Authorized Representative

Business Name

D&S Development LLC

EIN

844472362

First Name

Dwan

Last Name

Thomas

Phone Number
3524338457

Email
crusadersiico@hotmail.com

Address
485 NW 45th LN, Ocala, FL, 34475

Documentation Collection

Documents

- 1. Name:** photographs of the existing conditions.JPG **Uploaded Date:** 8/5/2025 3:32:48 PM
- 2. Name:** Project Schedule.docx **Uploaded Date:** 8/5/2025 3:33:37 PM
- 3. Name:** PACHECO SMALL-Model (1).pdf **Uploaded Date:** 8/5/2025 3:33:56 PM
- 4. Name:** thumbnail_IMG_6014.jpg **Uploaded Date:** 8/5/2025 3:34:24 PM
- 5. Name:** 2025_03_06_ SINGLE_DENISSE_RHG_FINAL-Page 4 Digitally Signed (1).pdf
Uploaded Date: 8/5/2025 3:34:35 PM **6. Name:** Y1069.pdf LAYOUT.pdf
Uploaded Date: 8/5/2025 3:34:49 PM
- 7. Name:** 2025_03_06_ SINGLE_DENISSE_RHG_FINAL-Page 3 Digitally Signed.pdf
Uploaded Date: 8/5/2025 3:35:10 PM
- 8. Name:** 2025_03_06_ SINGLE_DENISSE_RHG_FINAL-Page 2 Digitally Signed.pdf
Uploaded Date: 8/5/2025 3:35:32 PM
- 9. Name:** 2025_03_06_ SINGLE_DENISSE_RHG_FINAL-Page 6.pdf
Uploaded Date: 8/5/2025 3:35:46 PM
- 10. Name:** 2025_03_06_ SINGLE_DENISSE_RHG_FINAL-Page 1 Digitally Signed (1).pdf
Uploaded Date: 8/5/2025 3:36:05 PM
- 11. Name:** 2025_03_06_ SINGLE_DENISSE_RHG_FINAL-Page 5 Digitally Signed.pdf
Uploaded Date: 8/5/2025 3:36:26 PM
- 12. Name:** 2ABL Draw Schedule_New Template D&S Development LLC and By His Grace copy copy copy (2).pdf
Uploaded Date: 8/5/2025 3:37:22 PM **13. Name:** Insurance 2.pdf

Uploaded Date: 8/5/2025 3:37:46 PM

14. Name: PID 2856-006-015 (1).pdf

Uploaded Date: 8/5/2025 3:43:47 PM

Questions

1. Document Checklist

Ans. Building Plans or Site Plans (If permits are required) ,Provide proof of property or liability content insurance (as applicable),Any other documentation necessary to illustrate the visual impact of the proposed project,At least 2 competitive bid proposals from contractors (licensed within the City of Ocala),Project budget, showing detailed estimates for all work items,Project Schedule,Color photo examples of proposed colors (as applicable) ,Color photographs of the existing conditions,Proof of Ownership and homestead status

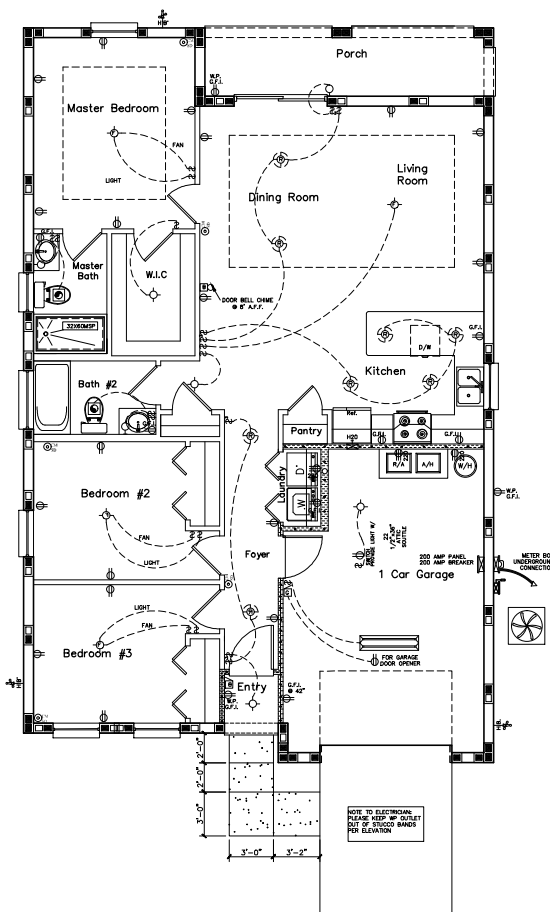
Declarations

A handwritten signature in black ink, appearing to read "Dwan Thomas", with a long horizontal flourish extending to the right.

Name: Dwan Thomas
Date: 08/05/2025

	% Of Budget	Cost/SqFt	BUDGET	Reallocation Request	Draw 1	Draw 2	Draw 3	Draw 4	Draw 5
				Balanced					
Architect	2.6%	#VALUE!	3,500.00						
Engineer	0.7%	#VALUE!	1,000.00						
Approved Plans	0.4%	#VALUE!	500.00						
Permits	2.9%	#VALUE!	4,000.00						
	0.0%	#VALUE!							
TOTAL SOFT COSTS	6.6%		9,000.00						
Demolition	1.8%	#VALUE!	2,500.00						
Lot Clearing	4.8%	#VALUE!	6,500.00						
Dumpster	1.5%	#VALUE!	2,000.00						
	0.0%	#VALUE!							
TOTAL DEMOLITION	8.1%		11,000.00						
Grading	1.1%	#VALUE!	1,500.00						
Foundation	7.4%	#VALUE!	10,000.00						
Excavation	1.5%	#VALUE!	2,000.00						
	0.0%	#VALUE!							
TOTAL FOUNDATION	9.9%		13,500.00						
Lumber & Framing	3.7%	#VALUE!	5,000.00						
Roofing	4.4%	#VALUE!	6,000.00						
Windows & Sliders	5.5%	#VALUE!	7,500.00						
Siding	2.6%	#VALUE!	3,500.00						
Gutters	0.0%	#VALUE!							
Soffit	2.2%	#VALUE!	3,000.00						
TOTAL FRAMING, ROOF, WINDOWS	18.4%		25,000.00						
Plumbing Rough-In	4.8%	#VALUE!	6,500.00						
HVAC Rough-In	5.4%	#VALUE!	7,300.00						
Utility Hook-Ups	1.1%	#VALUE!	1,500.00						
Septic	1.1%	#VALUE!	1,500.00						
Well	1.1%	#VALUE!	1,500.00						
Sprinklers	0.0%	#VALUE!							
	0.0%	#VALUE!							
TOTAL PLUMBING	13.5%		18,300.00						
Electrical Rough-In	4.4%	#VALUE!	6,000.00						
	0.0%	#VALUE!							
TOTAL ELECTRIC	4.4%		6,000.00						
Insulation	1.1%	#VALUE!	1,500.00						
Stairs & Railings	0.0%	#VALUE!							
SheetRock & Tape	4.4%	#VALUE!	6,000.00						
TOTAL INTERIORS	5.5%		7,500.00						
Interior Doors	2.6%	#VALUE!	3,500.00						
Exterior Doors	1.1%	#VALUE!	1,500.00						
Millwork and Moulding	3.3%	#VALUE!	4,500.00						
	0.0%	#VALUE!							
TOTAL MILLWORK & DOORS	7.0%		9,500.00						
Wood Flooring	0.0%	#VALUE!							
Tile Flooring	0.0%	#VALUE!							
Carpet Flooring	0.0%	#VALUE!							
LVP Flooring	3.3%	#VALUE!	4,500.00						
Finish Flooring	0.0%	#VALUE!							
TOTAL FLOORING	3.3%		4,500.00						
Kitchen Cabinets	2.9%	#VALUE!	4,000.00						
Bathroom Vanities	1.5%	#VALUE!	2,000.00						
Toilets, Sinks, Bathtubs, Shower	1.1%	#VALUE!	1,500.00						
Countertops	1.8%	#VALUE!	2,500.00						
Appliances	2.2%	#VALUE!	3,000.00						
Tiling	0.0%	#VALUE!							
TOTAL KITCHEN & BATHS	9.6%		13,000.00						
Painting Interior	2.2%	#VALUE!	3,000.00						
Painting Exterior	2.2%	#VALUE!	3,000.00						
Finish Electrical Light Fixtures	5.1%	#VALUE!	7,000.00						
Fencing	0.0%	#VALUE!							
Sidewalk, Parking, Driveway	0.7%	#VALUE!	1,000.00						
Landscaping	1.1%	#VALUE!	1,500.00						
Front Finish	0.9%	#VALUE!	1,200.00						
Pool/ Hot Tub	0.0%	#VALUE!							
Porch/Deck	0.0%	#VALUE!							
HVAC	1.5%	#VALUE!	2,000.00						
	0.0%	#VALUE!							
	0.0%	#VALUE!							
Final Inspections or Certificate of Occupancy	0.0%	#VALUE!							
TOTAL FINISHINGS	13.8%		18,700.00						
	100.0%		136,000.00	-	-	-	-	-	-
					0%	0%	0%	0%	0%
					0%	0%	0%	0%	0%

Electrical Plan



NOTE:
ELECTRICIAN TO PROVIDE ALL
ELECTRICAL LOAD CALCULATIONS,
PANEL SCHEDULES AND RISER
DIAGRAM

ELECTRICAL LEGEND

ELECTRICAL

- OVERHEAD LIGHT FIXTURE
- OVERHEAD LIGHT W/FAN BOX
- RECESSED LIGHT FIXTURE
- RECESSED EYEBALL FIXTURE
- RECESSED CAN LIGHT W/ N.L. TRIM
- EXHAUST FAN/LIGHT COMBO
- WALL MOUNTED LIGHT FIXTURE
- EXHAUST FAN
- FLOOD LIGHT FIXTURE
- POST LIGHT
- CARBON MONOXIDE SMOKE DETECTOR
- THERMOSTAT
- WALL RECEPTACLE
- HALF-HOT RECEPTACLE
- GROUND FAULT INTERRUPTER
- WATER PROOF RECEPTACLE
- 220V. RECEPTACLE
- RANGE SUPPLY (HOME RUN)
- DISHWASHER SUPPLY (HOME RUN)
- CABLE TELEVISION OUTLET
- TELEPHONE

MISCELLANEOUS

- CHIME BOX
- DOOR BELL BUTTON
- GARAGE DOOR BUTTON
- CEILING FAN CONTROL SWITCH
- JUNCTION BOX
- SINGLE POLE WALL SWITCH
- THREE-WAY WALL SWITCH
- FOUR-WAY WALL SWITCH
- A/C DISCONNECT
- STEREO LOCATION (WIRE START)
- SPEAKER PRE-WIRE TERMINATION
- IN-CEILING FLUSH MOUNT SPEAKER
- CENTRAL VACUUM INLET
- FLUORESCENT FIXTURE
2 TUBE
- FLUORESCENT FIXTURE
4 TUBE
- 18" FLUORESCENT WRAP WALL MOUNT

ELECTRICAL NOTES

- 1.) PROVIDE SMOKE DETECTORS ADJACENT TO AND IN ALL SLEEPING ROOMS.
- 2.) ALL SMOKE DETECTORS SHALL BE HAND WIRED W/ A MINIMUM OF 30 VOLTS AC, BATTERY BACK UP AND INNER WIRED, WHEREAS ANY SMOKE DETECTOR ACTIVATED WILL CAUSE ALL OTHERS TO ACTIVATE.
- 3.) CABLE T.V. & TELEPHONE RECEPTACLE LOCATIONS SHALL BE VERIFIED W/ OWNER BY CONSTRUCTION JOB SUPERINTENDENT ON SITE OR DURING CUSTOMER PLAN REVIEW.
- 4.) ELECTRICAL METER LOCATION SUBJECT TO CHANGE AS PER ELECTRICAL COMPANY'S REQUIREMENTS
- 5.) FAN / LIGHTS & CEILING LIGHTS ARE TO BE CENTERED IN ROOM UNLESS OTHERWISE NOTED

ELECTRICAL SPECIFICATIONS

1. All homes shall have a 200-amp panel with 200-amp main breaker minimum.
2. All wiring from the panel throughout the house shall be copper when the service is back to back. In the event wrong end service is required, the electrician needs to price out both aluminum and copper, and the owner will make the decision.
3. Telephone lines are three (3) pair twisted and one looped throughout the house and terminated at the electric service.
4. Television lines are RG-6 cables, all lines are home runs from each location specified back to the attic access in the LAUNDRY, and then a line run out and terminated at the electrical service.
5. Exhaust fans for bedrooms to be supplied and installed by the HVAC contractor and wired by the electrician.
6. Flood light fixtures, including bulbs, are to be supplied by the electrician; all flood light boxes are to be round.
7. There is one G.F.I. receptacle in every bathroom, garage, and at least one in every kitchen so the G.F.I. can be reset without leaving the room.
8. All ceiling fans are pre-wired for fan and lights with a switch for each unless noted otherwise; switches outlets are tied into the light on selected series of homes.
9. Low voltage wiring for rain gauge is to be roughed in at framing stage; low voltage wire to be supplied by the electrician. At minimum, (5) single strands are required and terminated at track and by electric panel.
10. Switch and receptacle heights above floor are as follows:
 - (A) Standard outlets 20" to top of box, all outlets installed vertically.
 - (B) Standard switches 46" to top of box, unless noted otherwise on plans.
 - (C) Kitchen counter outlets 46" to top of box.
 - (D) Bathroom outlets 46" to top of box.
 - (E) Heater and dryer outlets 38" to top of boxes.
 - (F) Phone outlets in kitchen: -Between upper cabinet and top of backsplash 50" to top of box.
-Wall phone 60" to top of box, wall hung.
-Phone outlets in rooms other than kitchen 20" to top of box.
 - (G) TV outlets to be 20" to top of box unless noted otherwise.
 - (H) All R.P. receptacles should be installed vertically and 22" AFF of house to bottom of box.
 - (I) Switches on half walls to be 37 1/2" AFF to top of box.
11. Light boxes in bathrooms above vanities shall be installed at 81 1/2" AFF to center of box, unless vanities are raised to 36" high, then the light boxes should be at 81 1/2" AFF to center of boxes.
12. All range hoods/micro-hoods shall have an outlet inside the upper cabinet above at 74" AFF to bottom of the box, and the outlet shall be on a dedicated circuit.
13. Under sink electric chases in kitchens for islands and free standing pantries must be ran to the rear wall of the refrigerator, this is the only place where the junction box shall be placed.
14. Door chime box shall be 12" down from ceiling with fixture mounted horizontally.

DRAWING STATUS

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N&N DESIGN STUDIO LLC
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07/24/25

N&N Design Studio LLC
3028 SE 11TH ST
Ocala, FL 34471
352-615-5575

MODEL: SINGLE DENISE
ELEVATION: CUSTOM
PARCEL NUMBER: 2856-006-015
SCALE: 1/4" = 1'-0"
DRAWN BY: KEVIN TERNEUS
D & S DEVELOPMENT LLC.

ELECTRICIAN FROM
TYP. WALL SECT.

PAGE #
OF 6

- FOR OFFICE USE ONLY -

Details

DOOR SIZE	#10 WALL SCREWS	LOCATION	4" TYP.
2'-8"	14	A THRU F	
3'-0"	14	A THRU F	
1'-12" SIDELIGHT	14	A THRU F	
2'-12" SIDELIGHT	14	A THRU F	
5'-0" FRENCH DOOR	18	A THRU G	
6'-0" FRENCH DOOR	18	A THRU G	
5068 SGD	14	A THRU F	
6068 SGD	14	A THRU F	
6068 SGD	14	A THRU F	

NOTE: ALL TAPCONS 3/16" WITH A MINIMUM 1-1/4" EMBEDMENT INTO MASONRY

DOOR SCREW SCHEDULE & LOCATION CHART

WINDOW	#10 WALL SCREWS	LOCATION	4" TYP.
27-26	4	A, C	
27-28	4	A, C	
27-30	4	A, C	
27-32	4	A, C	
27-34	4	A, C	
27-36	4	A, C	
27-38	4	A, C	
27-40	4	A, C	
27-42	4	A, C	
27-44	4	A, C	
27-46	4	A, C	
27-48	4	A, C	
27-50	4	A, C	
27-52	4	A, C	
27-54	4	A, C	
27-56	4	A, C	
27-58	4	A, C	
27-60	4	A, C	
27-62	4	A, C	
27-64	4	A, C	
27-66	4	A, C	
27-68	4	A, C	
27-70	4	A, C	
27-72	4	A, C	
27-74	4	A, C	
27-76	4	A, C	
27-78	4	A, C	
27-80	4	A, C	
27-82	4	A, C	
27-84	4	A, C	
27-86	4	A, C	
27-88	4	A, C	
27-90	4	A, C	
27-92	4	A, C	
27-94	4	A, C	
27-96	4	A, C	
27-98	4	A, C	
27-100	4	A, C	

NOTES:

- ALL #10 SCREWS W/ 2-1/4" MINIMUM LENGTH
- ALL CONNECTIONS INTO 2x6 PT. BUCK
- MULLIONS FOR (2)-25 & (2)-35 TO RECEIVE 2 SCREWS IN SILL & HEADER
- ALL CONNECTIONS INTO WINDOW BUCK
- ALL REMAINING HOLEX WITH #10 WALL SCREWS

WINDOW SCREW SCHEDULE & LOCATION CHART

TABLE R302.6 DWELLING / GARAGE SEPARATION	
SEPARATION	MATERIAL
From the residence and attic	Not less than 1/2-inch gypsum board or equivalent applied to the garage side
From all habitable rooms above the garage	Not less than 5/8-inch type X gypsum board or equivalent
Structure(s) supporting floor/ceiling assemblies used for separation required by this section	Not less than 1/2-inch gypsum board or equivalent
Garages located less than 3 feet from a dwelling unit on the same lot	Not less than 1/2-inch gypsum board or equivalent applied to the interior side of exterior walls that are within this area

Quality Custom Windows for Block Walls			
Window Size	Single	Double Width	Triple Width
12	12' 0" x 12' 0"	12' 0" x 12' 0"	12' 0" x 12' 0"
14	14' 0" x 12' 0"	14' 0" x 12' 0"	14' 0" x 12' 0"
16	16' 0" x 12' 0"	16' 0" x 12' 0"	16' 0" x 12' 0"
18	18' 0" x 12' 0"	18' 0" x 12' 0"	18' 0" x 12' 0"
20	20' 0" x 12' 0"	20' 0" x 12' 0"	20' 0" x 12' 0"
22	22' 0" x 12' 0"	22' 0" x 12' 0"	22' 0" x 12' 0"
24	24' 0" x 12' 0"	24' 0" x 12' 0"	24' 0" x 12' 0"
26	26' 0" x 12' 0"	26' 0" x 12' 0"	26' 0" x 12' 0"
28	28' 0" x 12' 0"	28' 0" x 12' 0"	28' 0" x 12' 0"
30	30' 0" x 12' 0"	30' 0" x 12' 0"	30' 0" x 12' 0"
32	32' 0" x 12' 0"	32' 0" x 12' 0"	32' 0" x 12' 0"
34	34' 0" x 12' 0"	34' 0" x 12' 0"	34' 0" x 12' 0"
36	36' 0" x 12' 0"	36' 0" x 12' 0"	36' 0" x 12' 0"
38	38' 0" x 12' 0"	38' 0" x 12' 0"	38' 0" x 12' 0"
40	40' 0" x 12' 0"	40' 0" x 12' 0"	40' 0" x 12' 0"
42	42' 0" x 12' 0"	42' 0" x 12' 0"	42' 0" x 12' 0"
44	44' 0" x 12' 0"	44' 0" x 12' 0"	44' 0" x 12' 0"
46	46' 0" x 12' 0"	46' 0" x 12' 0"	46' 0" x 12' 0"
48	48' 0" x 12' 0"	48' 0" x 12' 0"	48' 0" x 12' 0"
50	50' 0" x 12' 0"	50' 0" x 12' 0"	50' 0" x 12' 0"
52	52' 0" x 12' 0"	52' 0" x 12' 0"	52' 0" x 12' 0"
54	54' 0" x 12' 0"	54' 0" x 12' 0"	54' 0" x 12' 0"
56	56' 0" x 12' 0"	56' 0" x 12' 0"	56' 0" x 12' 0"
58	58' 0" x 12' 0"	58' 0" x 12' 0"	58' 0" x 12' 0"
60	60' 0" x 12' 0"	60' 0" x 12' 0"	60' 0" x 12' 0"
62	62' 0" x 12' 0"	62' 0" x 12' 0"	62' 0" x 12' 0"
64	64' 0" x 12' 0"	64' 0" x 12' 0"	64' 0" x 12' 0"
66	66' 0" x 12' 0"	66' 0" x 12' 0"	66' 0" x 12' 0"
68	68' 0" x 12' 0"	68' 0" x 12' 0"	68' 0" x 12' 0"
70	70' 0" x 12' 0"	70' 0" x 12' 0"	70' 0" x 12' 0"
72	72' 0" x 12' 0"	72' 0" x 12' 0"	72' 0" x 12' 0"
74	74' 0" x 12' 0"	74' 0" x 12' 0"	74' 0" x 12' 0"
76	76' 0" x 12' 0"	76' 0" x 12' 0"	76' 0" x 12' 0"
78	78' 0" x 12' 0"	78' 0" x 12' 0"	78' 0" x 12' 0"
80	80' 0" x 12' 0"	80' 0" x 12' 0"	80' 0" x 12' 0"
82	82' 0" x 12' 0"	82' 0" x 12' 0"	82' 0" x 12' 0"
84	84' 0" x 12' 0"	84' 0" x 12' 0"	84' 0" x 12' 0"
86	86' 0" x 12' 0"	86' 0" x 12' 0"	86' 0" x 12' 0"
88	88' 0" x 12' 0"	88' 0" x 12' 0"	88' 0" x 12' 0"
90	90' 0" x 12' 0"	90' 0" x 12' 0"	90' 0" x 12' 0"
92	92' 0" x 12' 0"	92' 0" x 12' 0"	92' 0" x 12' 0"
94	94' 0" x 12' 0"	94' 0" x 12' 0"	94' 0" x 12' 0"
96	96' 0" x 12' 0"	96' 0" x 12' 0"	96' 0" x 12' 0"
98	98' 0" x 12' 0"	98' 0" x 12' 0"	98' 0" x 12' 0"
100	100' 0" x 12' 0"	100' 0" x 12' 0"	100' 0" x 12' 0"

TABLE NO. 7									
REINFORCING SCHEDULE & LOAD CAPACITIES									
SAFE WORKING LOADS (kN)									
8"x16" PRECAST LINTEL									
UNTEL LENGTH	CLEAR SPAN	UNTEL TYPE	BOTTOM REINFORCED	SAFETY LOADS (kN)		UNITS SAFE LOADS (kN)			
				$(1) \times W$	$(2) \times W$	$(1) \times W$	$(2) \times W$	$(1) \times W$	$(2) \times W$
(1) 14'-8"	13'-4"	Pre-cast	(2) 7/8" STRAND @ 32"	1299	1299	496	993		
(1) 15'-4"	14'-0"	Pre-cast	(2) 7/8" STRAND @ 32"	1182	1182	417	835		
(1) 16'-0"	14'-8"	Pre-cast	(2) 7/8" STRAND @ 32"	802	802	304	609		
(1) 16'-8"	15'-4"	Pre-cast	(2) 7/8" STRAND @ 32"	719	719	259	517		
(1) 20'-0"	18'-0"	Pre-cast	(2) 7/8" STRAND @ 32"	608	608	242	477		
(1) 21'-4"	20'-0"	Pre-cast	(2) 7/8" STRAND @ 32"	580	580	212	418		
(1) 22'-0"	20'-8"	Pre-cast	(2) 7/8" STRAND @ 32"	542	542	199	393		
(1) 24'-0"	22'-8"	Pre-cast	(2) 7/8" STRAND @ 32"	448	448	167	329		

N/R = NOT RECOMMENDED

NOTES: MAXIMUM SERVICE LOADS WERE COMPUTED USING STRENGTH ANALYSIS METHOD CONFORMING TO AC 318-19 AND TENS 402-16 COMPOSITE ACTION WAS ASSUMED FOR FILLED AND DOUBLE LINTELS.

FILLED = LINTEL FILLED W/ 3,000 PSI CONCRETE W/ (1) #8 BAR FILLED + BEAM = ACTING AS COMPOSITE BEAM W/ #4 IN FORMER BEAM (1) #5 BAR IN LINTEL (1) #5 BAR IN FORMER BEAM



EVIDENCE OF PROPERTY INSURANCE

DATE (MM/DD/YYYY)

07/14/2025

THIS EVIDENCE OF PROPERTY INSURANCE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE ADDITIONAL INTEREST NAMED BELOW. THIS EVIDENCE OF PROPERTY INSURANCE DOES NOT AMMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW.

AGENCY SECURED INSURANCE GROUP LLC 1150 GREENWOOD BLVD STE 1080 LAKE MARY FL 32746	PHONE (A/C, No, Ext): 40755-2200	COMPANY LLOYDS OF LONDON	
FAX (A/C, No): 407 268 0975	E-MAIL ADDRESS:		
CODE: SECUR49	SUB CODE:		
AGENCY CUSTOMER ID #:			
INSURED D&S Development LLC		LOAN NUMBER	POLICY NUMBER WIBZK
		EFFECTIVE DATE 07/25/2025	EXPIRATION DATE 07/25/2026
		<input checked="" type="checkbox"/> CONTINUED UNTIL TERMINATED IF CHECKED	
THIS REPLACES PRIOR EVIDENCE DATED:			

PROPERTY INFORMATION

LOCATION/DESCRIPTION 616 NW 2nd St & 628 NW 2nd St, Ocala, FL 34475
--

THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS EVIDENCE OF PROPERTY INSURANCE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

COVERAGE INFORMATION

COVERAGE/PERILS/FORMS	AMOUNT OF INSURANCE	DEDUCTIBLE
DWELLING / BUILDER RISK	250,000	1000
LIABILITY	1,000,000 OCC /2,000,000 AGG	2%

REMARKS (Including Special Conditions)

PREMIUM DUE \$ 2757.10

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING INSURER WILL ENDEAVOR TO MAIL 10 DAYS WRITTEN NOTICE TO THE ADDITIONAL INTEREST NAMED BELOW, BUT FAILURE TO MAIL SUCH NOTICE SHALL IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR REPRESENTATIVES.

ADDITIONAL INTEREST

NAME AND ADDRESS ABL RPC Residential Credit Acquisition LLC ISAOA/ATIMA 30 Montgomery St, Suite 150 Jersey City, NJ 07302	<input checked="" type="checkbox"/> MORTGAGEE <input checked="" type="checkbox"/> LOSS PAYEE	ADDITIONAL INSURED
	LOAN #	
	AUTHORIZED REPRESENTATIVE	

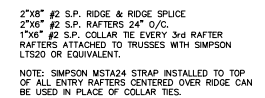
Architectural floor plan of a room with dimensions and equipment layout. The room is 48' wide and 50' deep. The plan shows a grid of 12' x 12' tiles. Key features include:

- Dimensions:**
 - Overall width: 48'
 - Overall depth: 50'
 - Top section width: 12'4" (left) and 19'8" (right)
 - Bottom section width: 17'4" (left) and 14'8" (right)
 - Bottom section total width: 32'
- Equipment and Layout:**
 - T1, T2, T3, T4:** A row of four units at the top right.
 - 8" TRAY CEILING:** Two rectangular areas, one on the left and one in the center.
 - T6 (3):** A vertical stack of three units in the center.
 - T7 (15):** A vertical stack of 15 units in the center.
 - T8, T9:** Two units at the bottom right, with T8 being a dashed outline.

ENGINEERING NOTES:

1. DESIGN WIND LOAD= 130MPH (Vult)
2. ASSUMED SOIL BEARING= 2000psf
3. DESIGN LIVE LOADS:
ROOF= 20psf
FLOOR= 40psf
4. DESIGN DEAD LOADS:
ROOF= 17psf
FLOOR= 15psf
ALL OTHER ACTUAL WEIGHTS OF MATERIALS

- * FLORIDA BUILDING CODE RESIDENTIAL: 6TH. EDITION(2003)
- * ASCE 7-22
- * 130 mph WIND SPEED (Vult) 101 MPH (Vand)
- * WIND EXPOSURE "C"
- * WIND IMPORTANCE FACTOR: 1
- * RISK CATEGORY II
- * BUILDING CLASSIFICATION "R-3" TYPE V-B
- * ALL OPENINGS IN EXTERIOR WALLS TO RESIST P.S.F. REQUIREMENTS PER TABLE R501.2(2)& R501.2(4)
- * ENCLOSED INTERNAL PRESSURE COEFFICIENT = +0.18
- * ICC 900-20 STD. FOR RESIDENTIAL FOR CONSTRUCTION IN HIGH-WIND AREAS



ALL TRUSSES TO USE SIMPSON HETA20
TRUSS ANCHOR/STRAP TO CMU WALLS
UNLESS OTHERWISE NOTED.
GABLE END TRUSSES TO USE SIMPSON
HETA20 EACH END & SPACED 24"O/C
MAX. ALONG FACE/GABLE END.

THE ENGINEER-OF-RECORD HAS
REVIEWED TRUSS LAYOUT AS SHOWN
ON THIS DRAWING, TRUSS DESIGN AND
CALCULATIONS BY DULEY TRUSS CO.
JOB#Y1069 AND CERTIFIES
COMPLIANCE WITH ENGINEER'S
DIRECTIONS AND NOTED DESIGN DATA
FOR APPROVAL BY ENGINEER PRIOR
TO USE IN THIS PROJECT.

[illegible]

TRUSS
SIMPSON STRONGTIE
HETA-20 OR HHETA-20
TIE OR
EQ.
BOND BEAM

LOAD VALUES SHOWN HERE ARE FOR USE WITH #2 SOUTHERN YELLOW
PINE MEMBERS ONLY. TYP. FASTENING: 10d x 1 1/2"

THE HETA PROVIDES AN ENGINEERED METHOD TO ATTACH ROOF TRUSSES
SECURELY TO CONCRETE AND MASONRY WALLS. THIS HEAVY EMBEDDED TRUSS
ANCHOR FEATURES A TAPERED NAIL PATTERNS TO STRENGTHEN UPLIFT
RESISTANCE AND CAN BE USED IN PAIRS ON SINGLE- AND MULTI-PLY TRUSSES.
THE VERSATILE HETA CAN BE INSTALLED STRAIGHT OR FIELD-ENLARGED AROUND
TRUSS OR RAFTER MEMBERS.

[illegible]

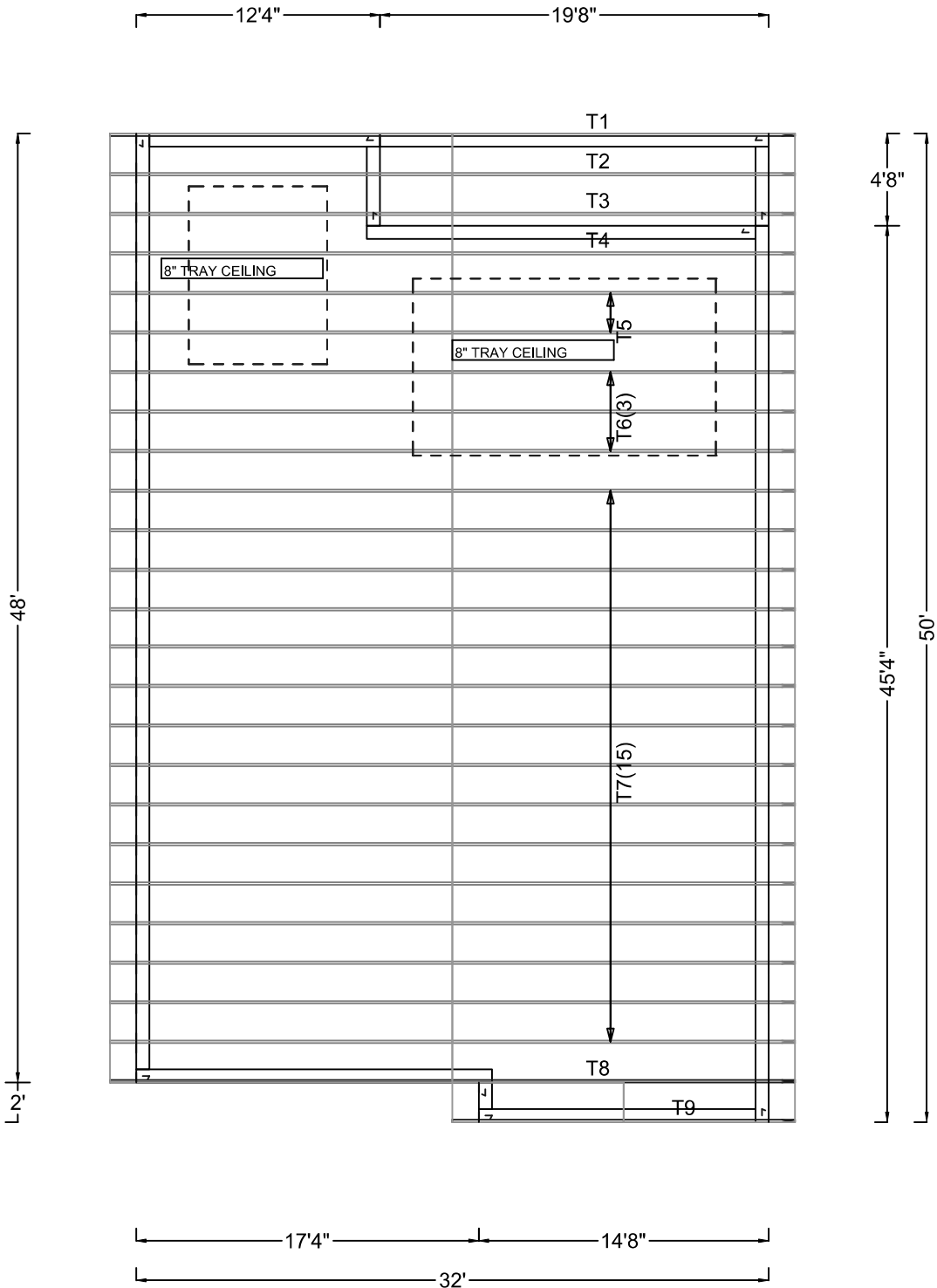
NOTE: P.E. SIGNATURE APPLIES TO
STRUCTURAL ELEMENTS ONLY.



Florida PE License #: 77580
Florida Cert. of Auth. #: 32456

Printed copies of this document are not considered signed and sealed, and the signature must be verified on any electronic copies.

Mean Height	Load Duration Factor (Lumber)	Load Duration Factor (Plate)	Building Type	ASCE	Wind Dead Load	Wind Speed	Wind Building Category	Wind Exposure Category	Floor Load Duration Factor	Floor Bottom Chord Dead	Floor Bottom Chord Live	Floor Top Chord Dead	Floor Top Chord Live	Roof Load Duration Factor	Roof Bottom Chord Dead	Roof Bottom Chord Live	Roof Top Chord Dead	Roof Top Chord Live
-	1.6	1.6		ASCE 7-22	0	140	Residential - CAT II	C	1.00	5	0	10	40	1.25	10	0	7	20

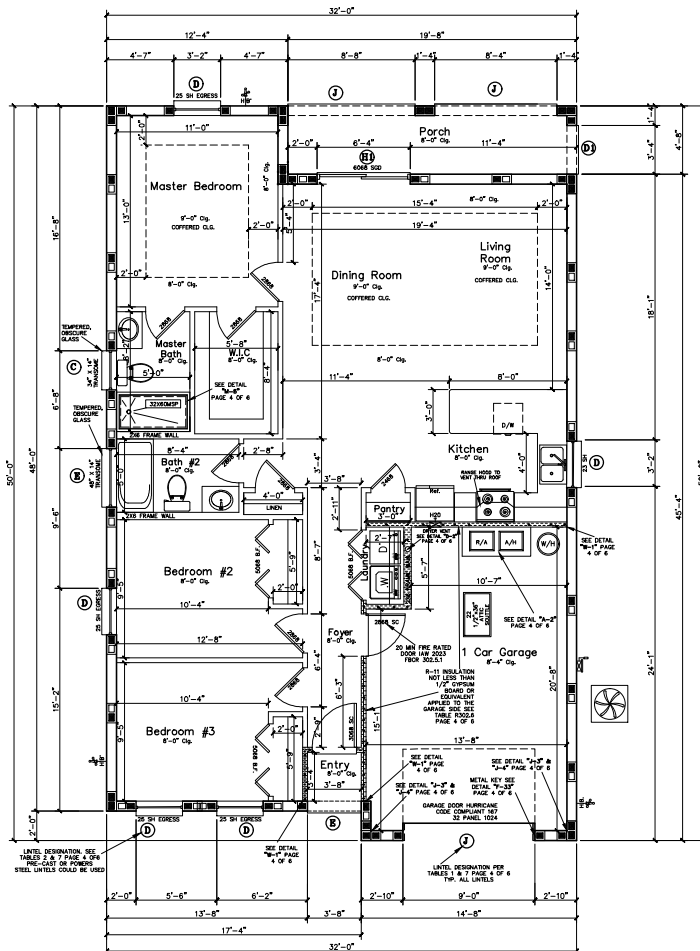


PRODUCT APPROVAL NUMBER
FL1999-R8
 METAL CONNECTOR PLATES
 ALPINE / ITW BUILDING COMPONENTS GROUP INC.

Note			
BY HIS GRACE	SINGLE DENISSE	2856-006-015	
		Parcel	
		Lot	
Client	Job Des.	Site	Designer
Y1069			
Job Number			

RS

Floor Plan



GARAGE DOOR LOADS			
ADJUSTED FOR EXPOSURE 'C' WITH A MEAN ROOF HEIGHT OF 30'-0"			
ROOF ANGLE > 10 DEGREES		V _{ead} AS DETERMINED W/SECTION R301.2.1.3 (PSF)	
EFFECTIVE AREA:		130	140
WIDTH (FT)	HEIGHT (FT)		
9	7	18.18 -21.7	22.54 -25.48
15	7	18.34 -20.44	21.7 -24.06
		24.78 -27.58	

FOR EFFECTIVE AREAS BETWEEN THOSE GIVEN ABOVE THE LOAD MAY BE INTERPOLATED. OTHERWISE USE THE LOAD ASSOCIATED WITH THE LOWER EFFECTIVE AREA.

TABLE R301.2(2)			
ADJUSTED FOR EXPOSURE 'C' AND WITH A MEAN ROOF HEIGHT OF 30'-0"			
ZONE	EFFECTIVE WIND AREA	ULTIMATE DESIGN WIND SPEED V _{ult} (mph)	
WALL	FEET*	120	130
4	10.0	21.7 -23.7	25.48 -27.7
4	20.0	20.7 -22.7	24.4 -26.6
4	50.0	19.5 -21.3	22.8 -25.1
4	100.0	18.5 -20.3	21.7 -23.9
5	10.0	21.7 -23.1	25.5 -27.7
5	20.0	20.7 -22.2	24.4 -26.3
5	50.0	19.5 -21.4	22.8 -25.5
5	100.0	18.5 -22.7	21.7 -26.6

GENERAL NOTES:

- 1/2" DRYWALL ON GARAGE/CARPORIT CEILING AND WALLS SEPARATING LIVING AREA FROM GARAGE/CARPORIT AREA. ALL DOORS IN GARAGE/CARPORIT AREA TO BE 20 MINUTE FIRE RATED. DOORS LEADING INTO LIVING AREA SHALL BE INSULATED.
- ALL OPENINGS IN WALLS TO BE PROTECTED BY 2" MIN. PROTECTION UNLESS OTHERWISE NOTED.
- MANUAL EXIST DUCT LENGTH AS PER MANUFACTURER'S SPEC OR MIN. 30' MANUFACTURER'S SPEC. ALL EXIST DUCTS SHALL BE PROTECTED BY 2" MIN. PROTECTION UNLESS OTHERWISE NOTED.
- MINIMUM EXIST DUCT LENGTH AS PER MANUFACTURER'S SPEC OR MIN. 30' MANUFACTURER'S SPEC. ALL EXIST DUCTS SHALL BE PROTECTED BY 2" MIN. PROTECTION UNLESS OTHERWISE NOTED.
- MINIMUM EXIST DUCT LENGTH AS PER MANUFACTURER'S SPEC OR MIN. 30' MANUFACTURER'S SPEC. ALL EXIST DUCTS SHALL BE PROTECTED BY 2" MIN. PROTECTION UNLESS OTHERWISE NOTED.

DETAIL: FASTENING SCHEDULE			
WALL TYPE	FASTENER TYPE	FASTENER SIZE	FASTENER SPACING
WOOD FRAME WALL	WOOD SCREW	1/2" x 3"	12" O.C.
INSULATED WOOD WALL	WOOD SCREW	1/2" x 3"	12" O.C.
BEARING WOOD FRAME WALL	WOOD SCREW	1/2" x 3"	12" O.C.
5'-0" HIGH BLOCK WALL	WOOD SCREW	1/2" x 3"	12" O.C.
9'-0" HIGH BLOCK WALL	WOOD SCREW	1/2" x 3"	12" O.C.
10'-0" HIGH BLOCK WALL	WOOD SCREW	1/2" x 3"	12" O.C.

LEGEND

- ICE MAKER
- WALL MOUNT TUB SPOUT ONLY
- DECK MOUNTED TUB SPOUT
- SHOWER HEAD & WALL MOUNT TUB SPOUT
- SHOWER HEAD ONLY
- HOSE BIB
- ADDITIONAL FEATURES REFERENCE
- BULL-NOSED CORNERS

SQUARE FOOTAGES

LIVING	1,168	SQ. FT.
GARAGE	290	SQ. FT.
PORCH	92	SQ. FT.
ENTRY	15	SQ. FT.
TOTAL	1,565	SQ. FT.

WALL LEGEND

- WOOD FRAME WALL
- INSULATED WOOD WALL
- BEARING WOOD FRAME WALL
- 5'-0" HIGH BLOCK WALL
- 9'-0" HIGH BLOCK WALL
- 10'-0" HIGH BLOCK WALL

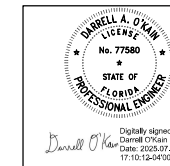
ENGINEERING NOTES:

1. DESIGN WIND LOAD- 130MPH (V_{ult})
2. ASSUMED SOIL BEARING- 2000psf
3. DESIGN LIVE LOADS:
ROOF- 80psf
FLOOR- 40psf
4. DESIGN DEAD LOADS:
ROOF- 17psf
FLOOR- 15psf
ALL OTHER ACTUAL WEIGHTS OF MATERIALS

DESIGN CRITERIA:

- FLORIDA BUILDING CODE RESIDENTIAL: 8TH EDITION (2003)
- AIRCIS 7-102
- 130 MPH WIND SPEED (V_{ult}) 101 MPH (V_{ead})
- WIND EXPOSURE 'C'
- WIND IMPORTANCE FACTOR: 1
- RISK CATEGORY II
- BUILDING CLASSIFICATION 'B-3' TYPE V-3
- ALL OPENINGS IN EXTERIOR WALLS TO RESIST P.S.P. REQUIREMENTS FOR TABLE R301.2(2): R301.2(4)
- ENCLOSED INTERNAL PRESSURE COEFFICIENT- +/- 0.18
- ICC 500-20 STD. FOR RESIDENTIAL FOR CONSTRUCTION IN HIGH-WIND AREAS

NOTE: P.E. SIGNATURE APPLIES TO STRUCTURAL ELEMENTS ONLY.



O'Kain Engineering Consulting, LLC
6426 SW 45TH AVE
Ocala, FL 34474
352-207-7084
dokain@gmail.com

Florida PE License #: 77580
Florida Cert. of Auth. #: 32456

© COPY RIGHT
N&N DESIGN STUDIO LLC
ALL RIGHTS RESERVED
07/24/25

N&N Design Studio LLC
3028 SE 11TH ST
Ocala, FL 34471
352-615-5575

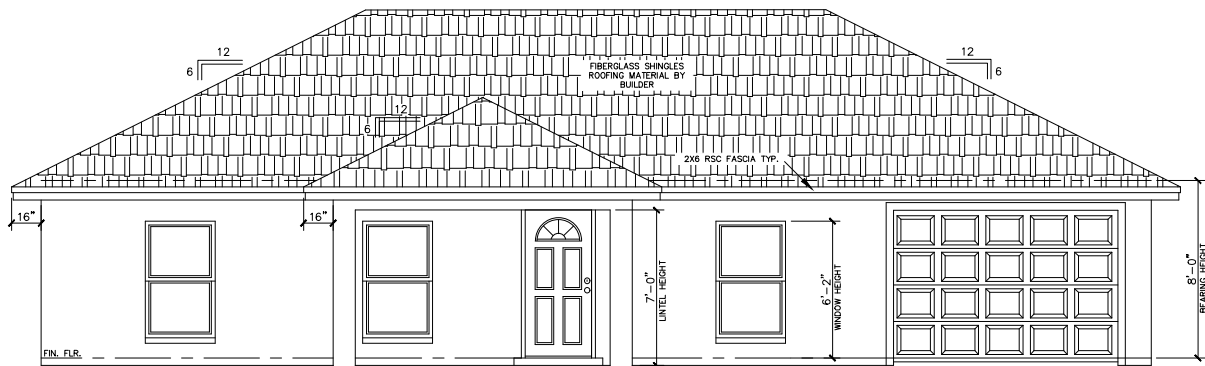
MODEL: SINGLE DENISE
ELEVATION: CUSTOM
PARCEL NUMBER: 2856-006-015
SCALE: 1/4" = 1'-0"
SCALE: (TYPICAL)
DRAWN BY: KEVIN TERNEUS

FOOTING FROM PLAN
TYP. WALL SECT.

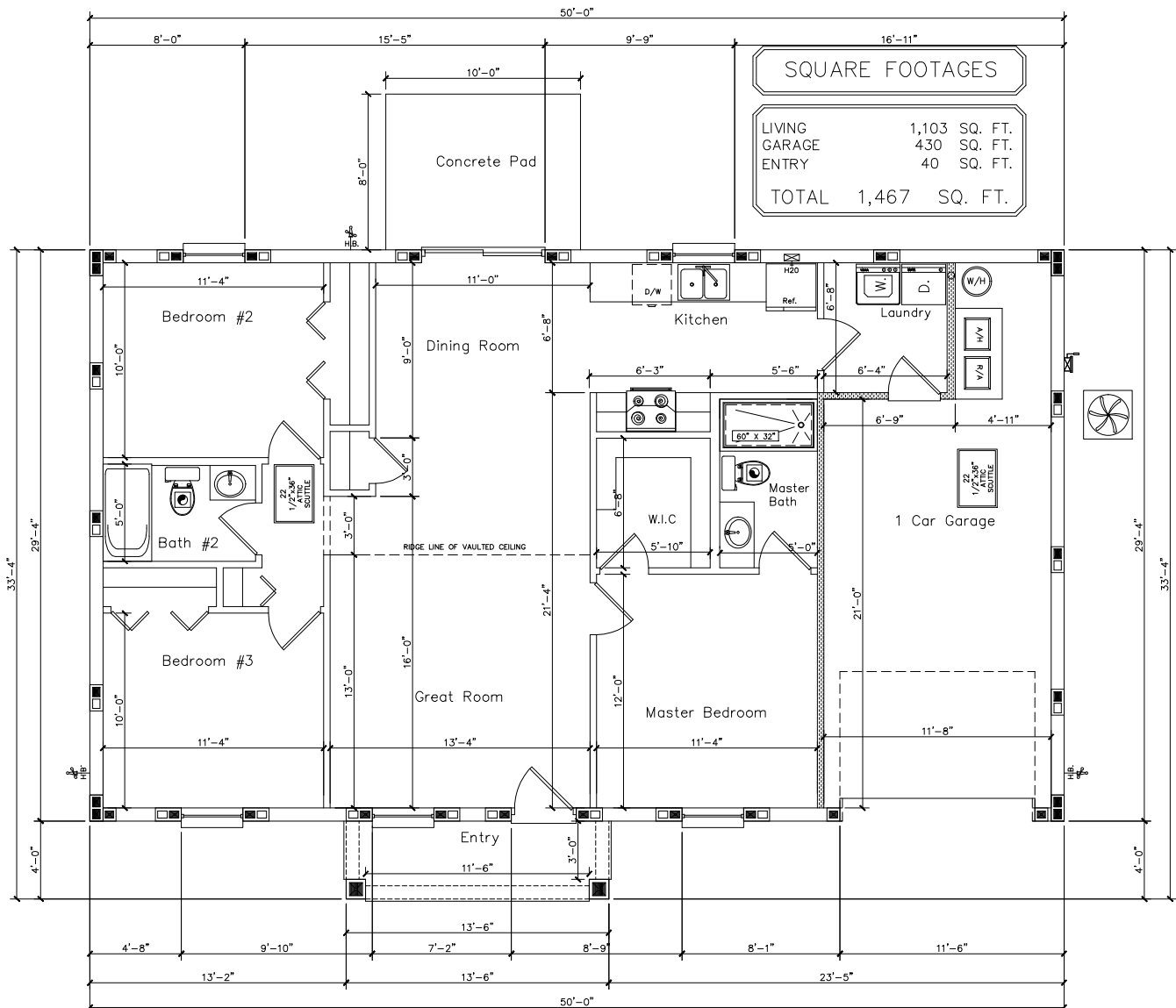
PAGE # 3
OF 6

This Plan has been digitally signed and sealed by Darrell O'Kain on the date adjacent to the seal.
Printed copies of this document are not considered signed and sealed, and the signature must be verified on any electronic copies.

3BD/2BT/1CG



Front Elevation SCALE: 1/4" = 1'-0"



Jimmy H. Cowan, Jr., CFA

Marion County Property Appraiser



501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

2025 Property Record Card

2856-006-015

[GOOGLE Street View](#)

Prime Key: 1233810

[MAP IT+](#)

Current as of 9/10/2025

Property Information

D&S DEVELOPMENT LLC
485 NW 45TH LN
OCALA FL 34475-9546

Taxes / Assessments:
Map ID: 179
Millage: 1001 - OCALA

M.S.T.U.

PC: 89

Acres: .18

Situs: 622 NW 2ND ST OCALA

Current Value

Land Just Value	\$11,019		
Buildings	\$0		
Miscellaneous	\$0		
Total Just Value	\$11,019	Impact	
Total Assessed Value	\$4,167	<u>Ex Codes:</u> 15	(\$6,852)
Exemptions	(\$4,167)		
Total Taxable	\$0		

History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2024	\$11,019	\$0	\$0	\$11,019	\$3,788	\$3,788	\$0
2023	\$3,444	\$0	\$0	\$3,444	\$3,444	\$3,444	\$0
2022	\$3,444	\$0	\$0	\$3,444	\$3,444	\$3,444	\$0

Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
8651/1908	06/2025	07 WARRANTY	9 UNVERIFIED	U	V	\$11,100
7036/0212	09/2019	31 CERT TL	0	U	V	\$100
6261/1752	08/2015	05 QUIT CLAIM	4 V-APPRAISERS OPINION	U	V	\$800
6052/1012	06/2014	34 TAX	0	U	V	\$2,400
3878/0552	11/2004	34 TAX	2 V-SALES VERIFICATION	U	V	\$3,400
AV99/0084	10/1999	EI E I	0	U	V	\$100
MC95/0446	11/1995	EI E I	0	U	V	\$2,859
1384/1081	10/1986	07 WARRANTY	8 ALLOCATED	U	I	\$14,190

Property Description

SEC 18 TWP 15 RGE 22
PLAT BOOK A PAGE 153
LINCOLN HEIGHTS

BLK 6 LOT 15 & PT OF LOTS 16.17 MORE PARTICULARLY DESC AS:
 COM AT NW COR OF LOT 15 BLK 6 TH E 87 FT TH S 59 FT
 TH W 31 FT TH S 47 FT TH W 56 FT TH N 106 FT TO POB

[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
8900		56.0	106.0	R3	56.00	FF	160.0000	1.00	0.87	1.00	7,795	7,795
8900		31.0	59.0	R3	31.00	FF	160.0000	1.00	0.65	1.00	3,224	3,224
Neighborhood 4703											Total Land - Class \$11,019	
Mkt: 8 70											Total Land - Just \$11,019	

[Miscellaneous Improvements](#)

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
							Total Value - \$0

[Appraiser Notes](#)

[Planning and Building](#)

[** Permit Search **](#)

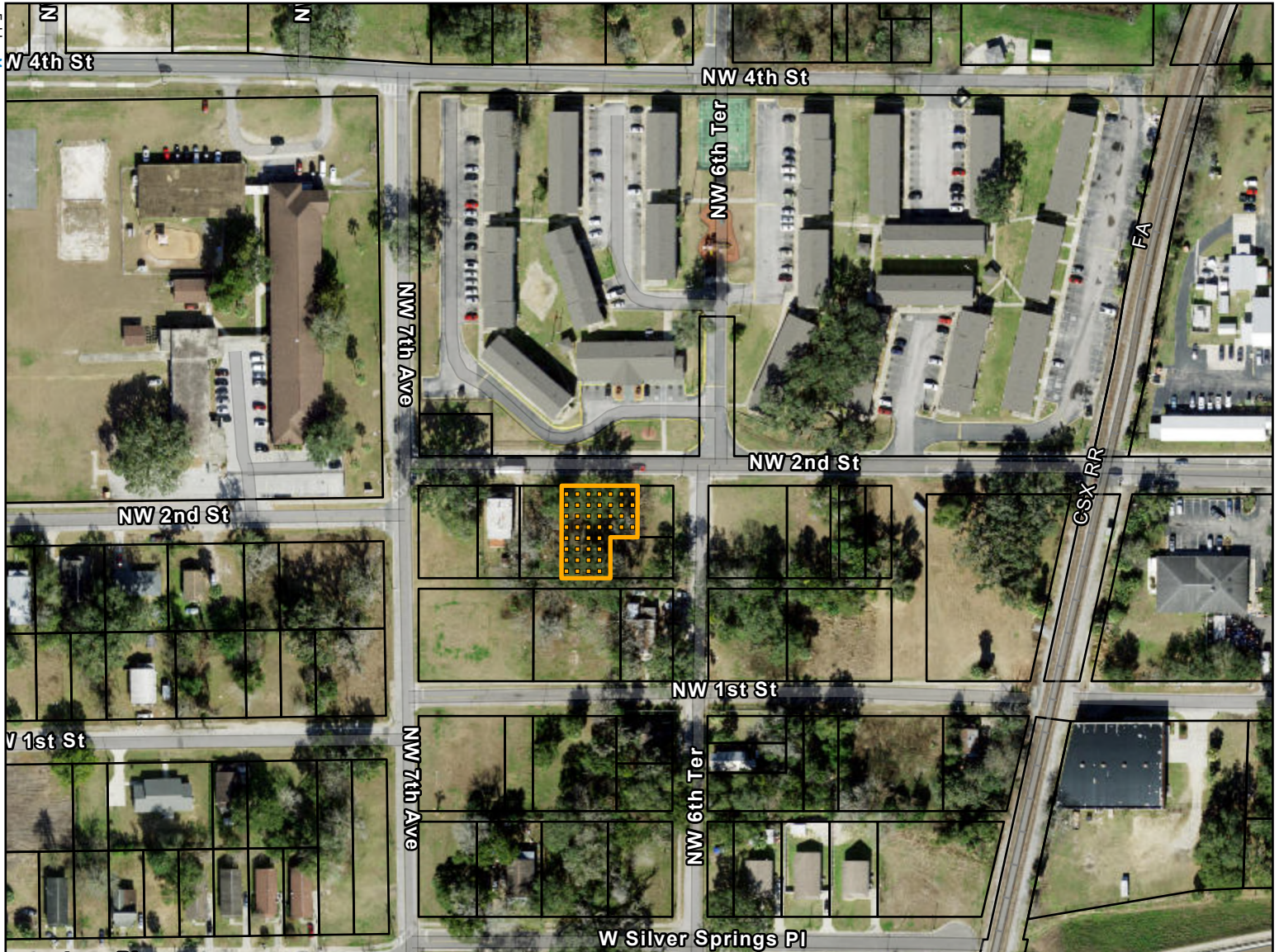
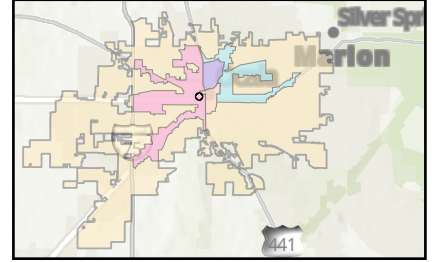
Permit Number	Date Issued	Date Completed	Description
BLD25-1723	8/28/2025	-	D&S LINCOLN HGTS LOT 15 NEW SFR
OC01506	8/1/1989	-	DEMO TWO BLDGS
OC00454	4/1/1985	-	ADD REPAIRS

[Cost Summary](#)

Buildings R.C.N.	\$0	11/17/1995				
Total Depreciation	\$0					
Bldg - Just Value	\$0					
Misc - Just Value	\$0	3/11/2011	Bldg Nbr	RCN	Depreciation	Depreciated
Land - Just Value	\$11,019	5/5/2025				
Total Just Value	\$11,019	.				

AERIAL MAP

Parcel: 2856-006-015
Case Number: CRA25-0031
Property Size: Approximately 0.18 acres
CRA Location: West Ocala
Proposal: A Request for CRA fund use.



 Subject Property

 Parcels

0 200 400 800 Feet

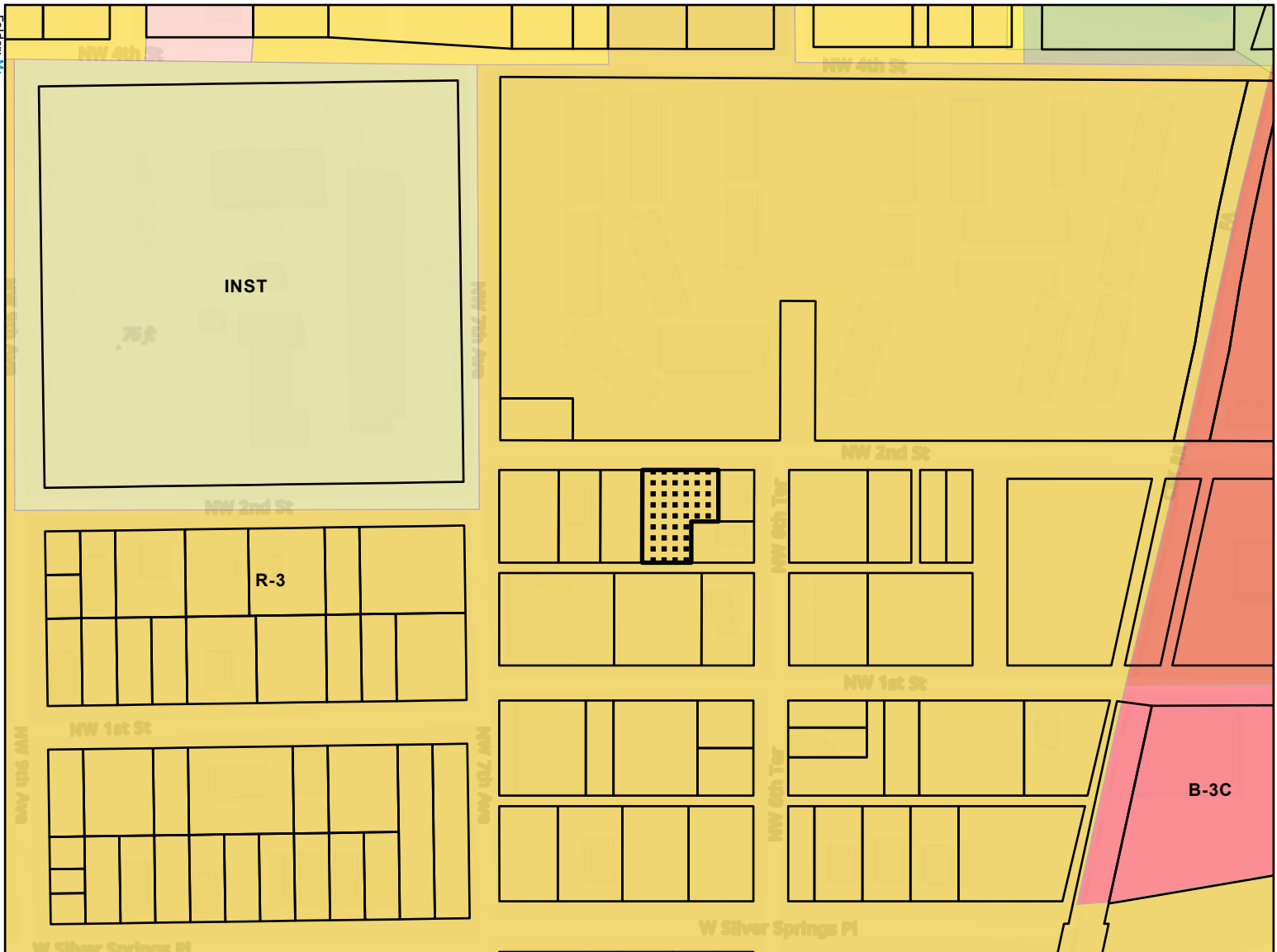
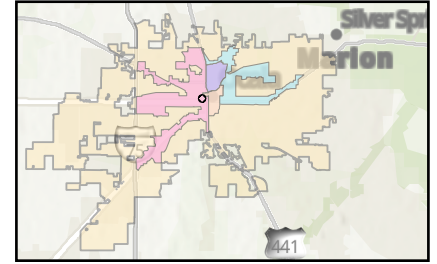


This information is provided as a visual representation only and is not intended to be used as a legal or official representation of legal boundaries. All GIS data which is provided by the City of Ocala should be considered a generalized spatial representation which may be subject to revisions. The feature boundaries are not to be used to establish legal boundaries. For specific information contact the appropriate City of Ocala department or agency.

Prepared by the City of Ocala
Growth Management Department
by ekrepps on 9/11/2025

CASE MAP

Parcel: 2856-006-015
Case Number: CRA25-0031
Property Size: Approximately 0.18 acres
CRA Location: West Ocala
Proposal: A Request for CRA fund use.



- Parcels
- B-1: Neighborhood Business
- B-3C: CRA Mixed Use 2
- B-4: General Business
- GU: Governmental Use
- INST: Institutional
- R-2: Two-Family Residential
- R-3: Multi-Family Residential
- Downtown CRA
- West Ocala CRA
- Subject Property

0 200 400 800 Feet

