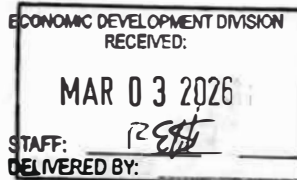




City of Ocala
Growth Management Department
201 S.E. 3rd Street, 2nd Floor
352-629-8421 | www.ocalafl.gov



DATE SUBMITTED: 3/3/26
GRANT ID: CRADL-0015
(STAFF ONLY)
☐ RESIDENTIAL
☒ COMMERCIAL

CRA GRANT APPLICATION

1. PROPERTY OWNER INFORMATION

Property Owner Name Brian Kuhn
Property Owner Mailing Address 703 E Fort King St
E-mail Kuhn.kool@kaho2.com Phone No. 352 422 7199
Authorized Representative (If different from property owner) _____
E-mail _____ Phone No. _____

2. BUSINESS INFORMATION

REQUIRED FOR COMMERCIAL GRANTS PROGRAMS ONLY

Business Name Evolutions
Type of Business Hair Salon
Business Address 703 E Fort King St
Business E-mail Evolutions.703@kaho2.com Business Phone No. 352 422-7199
Primary Contact (If different from applicant) _____
How long has the business been at its current location? January 2, 1996
If the business is a tenant, what are the start and end date of the lease? _____

3. CRA SUBAREA

☐ West Ocala ☒ East Ocala ☐ North Magnolia ☐ Downtown

4. PROGRAM TYPE

☐ Residential ☒ Commercial ☒ Historic Building
☐ New Construction Incentive

APPLICANT MUST REVIEW PROGRAM GUIDE AND GRANT FRAMEWORK BEFORE SELECTING THE APPLICABLE PROGRAM TYPE

5. PROJECT DESCRIPTION

Project Site Address _____ Parcel ID 2320-000-009
Current Use of Property Hair Salon Proposed Use Hair Salon
Proposed Scope of Work (Attach additional sheets if needed)

1. Re surface ~~floor~~ & Repair current parking & Driveway.
2. Repaint the exterior of the Building

Explain your need for grant assistance and the expected benefits of your project (Attach additional sheets if needed)

Safety Improve of property

RESIDENTIAL PROPERTIES ONLY

Rental Property ☐ Yes ☐ No

How long have you resided at the home? _____

Is this your primary residence? ☐ Yes ☐ No

What is the size of your household? _____

6. PROJECT COSTS**APPLICANT MUST SUBMIT TWO QUOTES FOR EACH WORK ITEM**

Work Item 1 Repairing of parking lot High Quote 1: 12,500.00
 Work Item 2 Repaint Exterior of Building High Quote 2: 7,500.00
 Work Item 3 _____ High Quote 3: _____
 Total: _____

Low Quote 1: 6,700.00
 Low Quote 2: 4,755.95
 Low Quote 3: _____
 Total: _____

*IF MORE THAN 3 WORK ITEMS, ATTACH
 ADDITIONAL SHEET

7. SCHEDULEStart Date: After ApprovalEstimated Time For Completion (Weeks/Months): 3 months**8. APPLICATION CHECKLIST**

- ☒ REVIEW OF APPROPRIATE GRANT PROGRAM FRAMEWORK (SEE PROGRAM GUIDE)
- ☒ COMPLETED APPLICATION
- ☒ APPLICANT/PROPERTY OWNER SIGNATURE AFFIXED
- ☒ PROOF OF PROPERTY OWNERSHIP
- ☒ PROOF OF CURRENT PROPERTY TAXES
- ☒ IMAGES OR SKETCHES OF PROPOSED DESIGNS, COLORS OR GRAPHICAL REPRESENTATIONS
- ☒ AT LEAST TWO QUOTES PROVIDED WITH AN ITEMIZED LIST OF COST ESTIMATES FROM VENDORS
- ☒ COLOR IMAGES OF EXISTING CONDITIONS OF THE BUILDING/PROJECT AREA

9. SUPPLEMENTAL INFORMATION

**USE THIS SECTION TO PROVIDE ANY ADDITIONAL INFORMATION THAT MAY ASSIST IN THE REVIEW OF
 YOUR APPLICATION**

FOR STAFF USE ONLY

Is the property fully exempt from Marion County property taxes?

☐ Yes ☒ No

Are property taxes paid and up to date?

☒ Yes ☐ No

Is the property currently in condemnation or receivership?

☐ Yes ☒ No

Is there an active City code enforcement case on the property?

☐ Yes ☒ No

Is the building listed on the National Register of Historic Places?

☐ Yes ☒ No ☐ N/A

Is this the first application submitted for the Fiscal Year?

☒ Yes ☐ No

Is the property within the CRA subarea boundary?

☒ Yes ☐ No

Was the proof of ownership verified?

☒ Yes ☐ No

Is the applicant applying for the first time?

☒ Yes ☐ No

Is the property zoned correctly?

☒ Yes ☐ No

Does the business have an active business license?

☒ Yes ☐ No ☐ N/A

Is the business/property owner registered in the State of Florida?

☒ Yes ☐ No ☐ N/A

Date Received:

3.3.2026

Signature (Staff Member):



Bids

Pavement Maintenance Proposal

Evolutions

Brian Kuhn

Project:

Evolutions I Rep: Jess E

703 E Fort King St
Ocala, FL 34471



Jeff Livingston
Owner

Service Provider Information

Company Info



NATIONWIDE PAVING LLC
5901 SOUTH PINE AVENUE
Ocala, Florida 34480

P: 352-355-2532

<http://www.nationwidepavingusa.com>

Contact Person

Jeff Livingston
Owner

NATIONWIDEPAVINGUS@GMAIL.COM

Cell: 352-355-2532

Office 352-355-2532

About Us

Please find the enclosed proposal and do not hesitate to call us with any questions.

Contract and Financial Information:

CONTACT:

JEFF LIVINGSTON

OWNER - OPERATOR

jlivingston@nationwidepavingusa.com

352-355-2532



Asphalt Excavation Repair

1. The area under consideration for pavement repair comprises 137 square feet of deteriorated pavement.
2. There exist approx 8 areas of repair located throught the area.
3. All repairs will be shaped symmetrically where possible.
4. The service provider will cut a perimeter and excavate repair area to a depth of 2 Inches. The service provider will remove all materials from site.
5. Next the service provider will compact base and then install inches of compacted thickness base asphalt and compact.
6. The service provider then will install 2 inches compacted thickness surface asphalt.
7. **Edge Sealing:** Upon completion of all patching, the service provider will seal the edge of the new patch and the adjacent pavement surface with joint sealant.
8. All areas will be barricaded during and after the repair process.

Total Price: \$2,500.00

Sealcoating

1. The area under consideration comprises approx. **2900 square feet**.
2. The service provider will complete this project in **1 trip(s)**.
3. To complete this project with minimal disruption to your operation, the service provider has included the work to be complete on a **Weekend**.
4. The service provider will barricade all areas where they will be working.
5. It is the owners responsibility to have all material, cars, equipment etc removed from the area where the work will take place. See the attached Owner's Responsibility & Conditions page.
6. All surface will be cleaned of all loose material, weeds, grass and dirt so that the material will adhere to the existing surface.
7. **Oil Spots** will be wire broomed and treated with Petro Seal to help prevent oil & gas bleeding up through the freshly applied sealant.
8. **Sealant Material:** The service provider will install **2 coats** of pavement sealer as per the attached manufactures specification link.
9. The service provider will install your sealant by broom and spray application.
10. **Additive:** The service provider will be using silica sand along with 2% polymer latex additive as per the manufacturers specification. This will [add benefit of additive here]
11. This process will carry a (1) year warranty.

Total Price: \$2,000.00

Line Striping

1. The service provider will restripe the parking lot area as per the existing layout.
2. All work will be performed so that there is minimal interruption to your facility.
3. If sealcoating, the service provider will stripe parking area after the sealcoating material has cured.

Total Price: \$700.00



Crack Sealing Hot Rubberized

1. The area under consideration for hot pour crack sealing comprises approx. 220 Lineal Feet of cracks to be sealed.
2. Crack Sealing shall be limited to 1/4" to 1" in width only.
3. Clean all dirt, loose gravel and weeds from cracks in preparation to apply a hot-rubberized non-tracking sealant
4. There will be a slightly elevated band not to exceed 3" in width on the pavement of the sealed crack.
5. All work areas will be barricaded at the time of crack sealing.
6. Based on the situation, the service provider may lightly sprinkle sand on top of the crack sealant to prevent tracking when areas required to be open to foot traffic.

Total Price: \$500.00

New Asphalt Pavement I Overlay

Optional Service

1. The area under consideration for new asphalt surface comprises approx. 2900 square feet.
2. All areas will be barricaded before, during and after this project.
3. In order to make sure that the new surface meets existing surfaces flush, the service provider will remove existing pavement where it meets utility lids, concrete aprons, dumpster pads etc to create the smoothest transition possible.
4. All surfaces to be paved will be cleaned of all loose materials.
5. **PrePave Leveling** : The service provider will level low and depressed areas by installing **tons** of asphalt leveling surface. This is a very important process that will enable minimization of standing water.
6. **Parking Blocks**: This proposal includes the setting aside and replacing 0 parking blocks/chalks. The service provider will do everything possible not to damage any parking block, however if they are currently damaged moving them will cause possible future damage, of which will be an additional charge.
7. The service provider will machine install 2 inches of compacted thickness surface asphalt, with all work being completed in 1 trip(s). **Vital to note that all work specified is the final depth, not the depth prior to compaction.**

Total Price: \$11,600.00

Line Striping if Paving

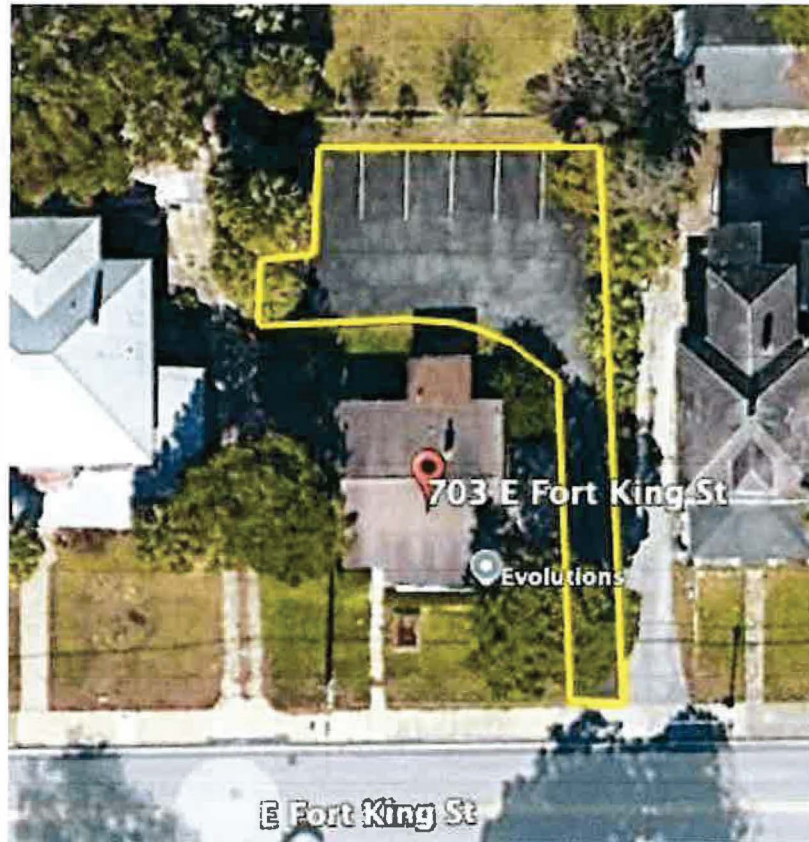
Optional Service

1. The service provider will restripe the parking lot area as per the existing layout.
2. All work will be performed so that there is minimal interruption to your facility.
3. If sealcoating, the service provider will stripe parking area after the sealcoating material has cured.

Total Price: \$900.00



Image



Notes:



Image



Notes:



Image



Notes:



Image



Notes:



Image



Notes:



Image



Notes:



Image



Notes:



Image



Notes:



Image



Notes:



Image



Notes:



Image



Notes:

Price Breakdown: Evolutions I Rep: Jess E



Please find the following breakdown of all services we have provided in this proposal.

This proposal originated on February 10, 2026. **Job Number:** 2419

Item	Description	Map Area	Cost
1.	Asphalt Excavation Repair	137	\$2,500.00
2.	Sealcoating	2900	\$2,000.00
3.	Line Striping		\$700.00
4.	Crack Sealing Hot Rubberized	220 LF	\$500.00
Total:			\$5,700.00

Optional Services:

Item	Description	Map Area	Cost
1.	New Asphalt Pavement I Overlay	2900	\$11,600.00
2.	Line Striping if Paving		\$900.00

Authorization to Proceed & Contract

By signing and returning this contract, the customer authorizes work to proceed as stated.

The service provider understands that if any additional work is required different than stated in the this proposal/contract, a revised contract or change order will be signed.

Please see all attachments for special conditions that may pertain to aspects of this project.



Acceptance

We agree to pay the total sum or balance in full 1 days after the completion of work.

All contracts require a 10% deposit for mobilization.

I am authorized to approve and sign this project as described in this proposal as well as identified below with our payment terms and options.

Invoices will be delivered via email to the billing email address shown below upon project completion.

Customer billing (accounts payable) email address _____

The invoice email will contain easy online payment options. Please select your payment method:

Credit Card* [☐]

Debit Card [☐]

ACH Bank Transfer [☐]

Wire Transfer [☐]

Paper Check [☐]

*All credit card payments are subject to a fee of 3.5%

Date: _____

Brian Kuhn
Evolutions
703 E Fort King St
Ocala, FL 34471
kuhnkool@yahoo.com
C: 352-427-7199

Jeff Livingston | Owner
NATIONWIDE PAVING LLC
5901 SOUTH PINE AVENUE
Ocala, Florida 34480
E: NATIONWIDEPAVINGUS@GMAIL.COM
C: 352-355-2532
P: 352-355-2532
<http://www.nationwidepavingusa.com>

Attachments



Please click any of the links below to view and print all documents.

Company Attachments

[COI](#)

[Nationwide at a glance](#)

[Sunbiz](#)



O'Neal Paving & Grading LLC

0058

4697 SW 129th Ct
Ocala, FL 34481
(352) 355-6006

PROPOSAL SUBMITTED TO Brian Kuhn		PHONE (352)427-7199	DATE 2/23/26
STREET 703 E Fort King St		JOB NAME	
CITY, STATE and ZIP CODE Ocala, FL		JOB LOCATION	
ARCHITECT	DATE OF PLANS		JOB PHONE

We hereby submit specifications and estimates for:

Over-lay existing asphalt parking Approx. 2,985 sq ft

-Saw-cut & repair damaged areas of asphalt; Clean & prep asphalt surface

-Apply tack-coat to promote adhesion between layers

-Install 1.5" of compacted 9.5 super-pave asphalt mix

-Compact using vibratory roller

-Lay-out & repaint pavement markings

Total:\$6,700

Patch & seal-coat existing asphalt Approx. 2,985 sq ft

-Saw-cut & remove areas of damaged asphalt;

-Replace using 1.5" of compacted 9.5 super-pave asphalt mix

-Clean & prep existing asphalt surface

-Apply coal-tar seal-master sealer to the prepared area of 2,985 sq ft

-Repaint existing asphalt markings

Total:\$2,800

We Propose hereby to furnish material and labor — complete in accordance with above specifications, for the sum of:

dollars (\$ _____).

Payment to be made as follows:

50% down-payment upon mobilization of equipment; Remaining balance due upon completion.

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance.

Authorized
Signature _____

Note: This proposal may be
withdrawn by us if not accepted within **30** days.

Acceptance of Proposal—The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Date of Acceptance: _____

Signature _____

Signature _____



Johnsons Painting Services, Inc.

Commercial & Residential
Phone#: 352-843-9585
Email: johnsonspainting55@gmail.com

Job Proposal:

We hereby propose to supply the material and provide the labor necessary for the completion of the project

Brian Kuhn 2/10/26
703 Evolutions East Ft. King St

Scope of work :
Pressure wash home and all paintable surfaces
caulk any areas necessary
Paint body trim and doors of business
Paint soffit and fascia

Total : \$ 7,500.00

* 50% of proposal due prior to commencement of work (purchase materialsetc) remaining 50% due upon completion

 Download Proposal



Proposal

PENDING

Premium Painting

3101 SW 34TH AVE #905-201, Ocala, Florida 34474
(352) 888-4989

Contact

Brian Kuhn
703 E Fort King St, Ocala, FL, 34471
kuhnkool@yahoo.com
(352) 427-7199

Job Address

703 E Fort King St, Ocala, FL, 34471

Proposal #

2468174

Date

2/10/2026

Exterior Preparation & Scope of Work

Exterior Preparation & Scope of Work

To ensure a successful and long-lasting paint job, we have outlined the comprehensive scope of work for the exterior painting project. Please review this document carefully, as it sets forth the steps we will take and outlines the limitations of our services.

1. Initial Exterior Assessment

Our team will conduct an initial assessment of the exterior surfaces, including walls, trims, doors, and other relevant areas. This assessment is visual only and aims to identify obvious issues that may require preparatory work. Hidden or latent issues may not be detected during this assessment and will only become apparent during the preparation process. Any additional work required due to such issues will be communicated to the customer and may incur additional charges.

2. Pressure Washing or Soft Washing

We will arrange for the exterior surfaces to be thoroughly cleaned by a trusted, licensed, professional subcontractor who will be using either a pressure washer or a soft washing system, depending on the surface and its condition. This process removes dirt, mildew, algae, and loose paint to provide a sound surface for painting. The cost of cleaning is covered in the painting scope of work and covers any surfaces directly related to the painting scope of work. If customers wish to have additional areas or accessory items cleaned, they may hire the cleaning contractor separately for those services at their own expense. Any damage resulting from the cleaning process is the sole responsibility of the subcontractor.

3. Surface Repairs

Visible damaged areas, such as cracks or holes, will be repaired and patched using suitable materials. Rotting wood or structural issues must be addressed before painting begins. If wood rot or structural issues are identified, we will recommend a licensed handyman to complete the repairs. You, the customer, are free to hire a handyman or a carpenter at your own expense to address all wood-rot prior to the start of the painting project. These repairs are not included in our quote and will be billed separately by the handyman. We are not liable for delays caused by necessary repairs.

4. Scraping and Sanding

Loose and peeling paint will be scraped and sanded to create a smooth and even surface. This process will be done as necessary to the best of our ability, but customers should be aware that imperfections in older surfaces may remain visible even after preparation.

5. Caulking and Sealing

Fresh caulk will be applied around windows, doors, and gaps to ensure a weather-tight seal. On stucco surfaces, elastomeric stucco patch will be applied to visible cracks. This process does not guarantee complete elimination of future cracking, as structural or environmental factors may cause new cracks to develop.

6. Primer Application

A high-quality primer, such as Loxon conditioner recommended by the paint manufacturer, will be applied to prepared surfaces as needed. This primer enhances paint adhesion and is necessary to meet paint warranty requirements.

7. Warranty Facilitation

If the paint fails due to manufacturer defects, we will facilitate the warranty process by coordinating with a Sherwin-Williams representative to inspect the issue and provide guidance on resolution.

8. Masking and Protection

Non-paintable areas, such as windows, fixtures, landscaping, and other surfaces, will be carefully masked and covered with plastic and drop cloths to the best of our ability. Customers are encouraged to remove fragile or valuable items from the work area prior to project commencement including vehicles.

9. Color Confirmation

It is the customer's responsibility to ensure paint colors are submitted prior to the project start date to Premium Painting and that any necessary HOA approvals are completed. We are not responsible for any fines or penalties from the HOA. If an HOA approval delay arises, we will adjust the project schedule as needed as long as we receive a notification 72 hours in advance.

10. Scheduling

All project scheduling is tentative. While we will provide you with a tentative start date and make every effort to adhere to it, factors beyond our control (e.g., weather, subcontractor availability, or unforeseen project delays) may contribute to schedule adjustments. We will communicate any changes promptly.

11. Weather Considerations

We closely monitor weather conditions to ensure proper drying and adhesion of paint. Delays due to inclement weather are unavoidable and will be communicated promptly. We are not liable for weather-related delays or their impact on the project timeline.

Important Note:

- This scope of work outlines standard preparation practices. Any additional work required outside the scope outlined above, including unforeseen repairs, changes to the original agreement, or customer-requested additions, will require a written change order and may incur additional charges.
- While we strive to achieve the highest level of craftsmanship, we cannot be held liable for pre-existing structural issues, unforeseen damage, or conditions beyond our control.
- Customers are encouraged to review and approve the scope of work prior to project commencement. Your approval serves as acknowledgment of the terms and limitations described herein.

We appreciate your trust in our services and are confident that our thorough preparation process will result in a durable and beautiful exterior paint job for your home.

Whole House \$4,755.95

Item **Total (\$)**

Siding & Trim **\$2,462.63**

Siding
Sherwin-Williams SuperPaint Exterior Satin

▼ View Details

Soffit & Fascia **\$927.19**

Trim
Sherwin-Williams SuperPaint Exterior Satin

▼ View Details

Man Door(s) **\$512.77**

Doors
Sherwin-Williams SuperPaint Exterior Satin

▼ View Details

Chimney **\$296.38**

Trim
Sherwin-Williams SuperPaint Exterior Satin

▼ View Details

Front Ceiling **\$118.79**

Ceiling
Sherwin Williams ProMar 400 Interior (Flat)

▼ View Details

Front Wall **\$65.09**

Siding
Sherwin-Williams SuperPaint Exterior Satin

▼ View Details

Back Stairs **\$133.10**

Paint
Sherwin Williams H&C Acryla Deck

▼ View Details

Prep **\$240.00**

▼ View Details

Subtotal **\$4,755.95**

Tax **\$0.00**

Total **\$4,755.95**

Deposit Required **\$500.00**

Financing Solutions

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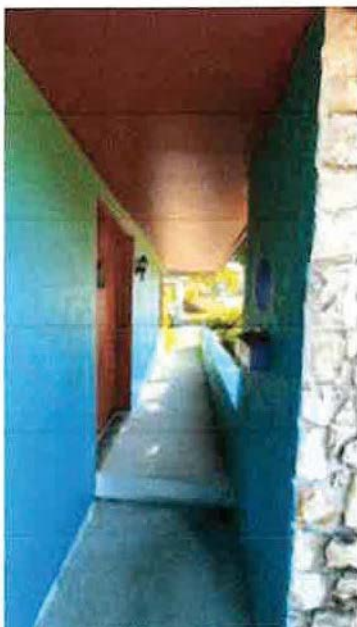
Video

Media











Notes

Hey, it's Tanner, owner of Premium Painting - Thanks for letting us have an opportunity to quote your project. If you place your deposit, we can get you scheduled in for a free color consultation with our Decorator Donna (She's outstanding!) If you have any questions, please reach out, always happy to discuss! We will do an excellent job on your beautiful home!

Terms and Conditions

PREMIUM PAINTING INC. SERVICE CONTRACT

TERMS AND CONDITIONS

We propose hereby to furnish material and labor - complete in accordance with above specifications. All material is guaranteed to be as specified. All work to be completed in accordance with industry standards in the local area. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. If either party commences legal action to enforce its rights pursuant to this agreement, the prevailing party in said legal action shall be entitled to recover its reasonable attorney's fees and costs of litigation relating to said legal action, as determined by a court of competent jurisdiction. Contractor proposes to provide all labor, material and equipment (unless otherwise specified in this proposal) to complete the work described within this proposal.

ADDITIONAL PROVISIONS

Unless otherwise specified herein, the following additional provisions are expressly incorporated into this contract:

1. Contract, Plans, Specifications, Permits and Fees

The work described in this contract shall be done according to the scope of work and the scope of work specifications except in the case of conflict when the provisions of this contract shall have control over both the plans and the plan specifications.

2. Change Orders

Should Owner, construction lender, or any government body or inspector require any modification to the work covered under this contract, any cost incurred by Contractor shall be added to the contract price as extra work and Owner agrees to pay Contractor his normal selling price for such extra work. All extra work as well as any other modifications to the original contract shall be specified and approved by both parties in a written change order. All change orders shall become a part of this contract and shall be incorporated herein.

3. Payment Terms

Full Payment is due upon completion of project. Completion is defined as all items listed on agreement are completed and delivered in accordance with industry standards and the specifications of this agreement.

Deposit: We will waive the 2.9% processing fee for any deposit payment of \$500 or less made by credit card. Any credit card payment exceeding \$500 (whether deposit or final payment) will incur a 2.9% credit card processing fee on the amount over \$500.

Final Payment: Customer has a right to choose payment method for the final balance. We do not accept cash. We request payment by check made payable to Premium Painting Inc. Client has five (5) days to remit full balance after project completion. There will be a 1.5% monthly interest charge (18% APR) on any overdue amounts after the 5-day grace period. Contractor reserves the right to file a mechanic's lien for unpaid amounts. Non-payment constitutes breach permitting Contractor to pursue all legal remedies.

Progress Payments: Contractor reserves the right to invoice for progress payments when project duration exceeds 5 days. Progress payment schedule will be: 30% immediately after the 5 days, 40% of the balance after 10 days, 30% upon completion. Progress payments are due within three (3) business days of invoice. Touchups, furniture replacement, and small accessory items non-painting related are not valid reasons to withhold more than \$500 of the final payment.

4. Owner's Responsibilities

Owner is responsible for the following:

1. To provide all necessary water, electrical power and access to the premises during hours of 8AM to 5PM
2. To provide a storage area on the premises for equipment and materials (if necessary)
3. To relocate and protect any items that prevent Contractor from having free access to work areas including but not limited to: clothing, automobiles, draperies, window treatments, appliances, fixtures, plants, or any other personal effects and properties
4. Contractor will move furniture where necessary but assumes no responsibility for scratched floors or damage during moving
5. Contractor is not responsible for correcting any existing defects discovered during work, including but not limited to: rotting wood, dry rot, structural defects, or code violations
6. Owner warrants that no hazardous conditions exist and will immediately notify Contractor if any are discovered
7. Owner is responsible for obtaining all HOA approvals and ensuring color/finish selections comply with all regulations
8. Owner assumes all risk for damage to landscaping, sprinkler systems, and underground utilities not clearly marked
9. When spray application is used, Owner is responsible for moving vehicles and covering sensitive items at least 100 feet from work area

5. LIMITED WARRANTY

Contractor warrants all labor and materials against **peeling, blistering, or paint failure** due to defective workmanship or materials for a period of **seven (7) years** from the project completion date.

This warranty is **non-transferrable** and applies only to the original property owner.

Exclusions:

This warranty does **not** cover:

- Normal wear and tear
- Fading or damage due to sun exposure or weather conditions
- Damage resulting from abuse, neglect, or improper maintenance
- Failure of underlying substrate or pre-existing conditions
- Mildew, mold, or moisture damage
- Peeling or failure caused by water intrusion or leaks
- Damage caused by plants, animals, or irrigation systems
- **Flooring, stained surfaces, concrete coatings, or metal surfaces**

Paint Products:

The paint products used are backed by a **manufacturer's warranty of up to 25 years** (Sherwin-Williams). In the event of a product defect, **we will support the claim process and have our Sherwin-Williams representative facilitate the warranty on your behalf.**

This warranty is exclusive and supersedes all other warranties, expressed or implied, including any implied warranties of merchantability or fitness for a particular purpose.

6. LIMITATION OF LIABILITY

IN NO EVENT SHALL CONTRACTOR'S TOTAL LIABILITY EXCEED THE CONTRACT PRICE. CONTRACTOR SHALL NOT BE LIABLE FOR ANY INDIRECT, INCIDENTAL, CONSEQUENTIAL, SPECIAL, OR PUNITIVE DAMAGES, INCLUDING BUT NOT LIMITED TO LOSS OF USE, LOSS OF PROFITS, OR DAMAGE TO PERSONAL PROPERTY NOT DIRECTLY CAUSED BY CONTRACTOR'S GROSS NEGLIGENCE.

7. HAZARDOUS MATERIALS

CONTRACTOR DOES NOT TEST FOR, HANDLE, OR REMOVE ASBESTOS, LEAD PAINT, MOLD, OR OTHER HAZARDOUS MATERIALS. If such materials are suspected or discovered, work will stop immediately. Owner is responsible for professional testing and remediation at Owner's expense before work can resume. Contractor assumes no liability for hazardous materials. Additional charges may apply for remobilization.

8. Insurance and Indemnification

Contractor maintains general liability insurance. Owner agrees to maintain homeowner's/property insurance covering the premises during the work period. Owner shall indemnify and hold harmless Contractor from any claims arising from:

- Pre-existing conditions or defects
- Owner's failure to disclose known hazards
- Injuries to third parties not caused by Contractor's negligence
- Owner's breach of this agreement
- Claims related to hazardous materials

9. Delays and Force Majeure

Contractor shall not be held responsible for any damage or costs occasioned by delays resulting from: work done by Owner's subcontractors, extra work, acts of Owner or Owner's agent, failure to provide access, shortages of material and/or labor, weather conditions (including but not limited to rain, temperatures below 50°F or above 90°F, high winds), fire, strike, war, governmental regulations, pandemic, or any other contingencies unforeseen by Contractor or beyond Contractor's reasonable control. Completion dates are estimates only. Time is not of the essence.

10. Subcontractors

Contractor may subcontract pressure washing and surface preparation services only. All painting work will be performed by Premium Painting Inc. employees. Contractor maintains control over and responsibility for subcontracted washing services but is not liable for subcontractor's independent negligent actions beyond scope of work.

11. Color and Finish Approval

Owner must approve all colors, finishes, and sheen levels in writing before application. Paint will be applied to a test area for Owner approval when requested. Contractor is not liable for dissatisfaction with approved color selections or for variations in color matching due to substrate, lighting, or manufacturing differences.

12. Spray Application and Overspray

When using spray equipment, Contractor will use reasonable care including masking and shielding to prevent overspray. Owner acknowledges that some overspray may occur despite precautions, especially in windy conditions. Contractor is not liable for wind-carried overspray beyond Contractor's reasonable control.

13. Documentation

Contractor may photograph and video work areas before, during, and after work for documentation and marketing purposes. Owner's address will not be disclosed without permission.

14. Cleanup

Upon completion, Contractor will remove all debris and surplus materials and leave premises in a broom clean condition. Contractor is not responsible for paint dust that may settle after completion.

15. Right to Stop Work

If any payment is not made as per this contract, Contractor shall have the right to stop work and keep the job idle until all past due payments are received, without liability for delay. Any costs incurred by failure to access the work area will incur a charge of \$100 per hour.

16. Dispute Resolution

All disputes shall first be submitted to mediation through a mutually agreed mediator. If mediation fails, disputes shall be resolved through binding arbitration under AAA Construction Industry Rules. Each party bears own attorney fees regardless of outcome, except for collection actions where prevailing party recovers fees.

17. Collection

Owner agrees to pay all collection fees and charges including but not limited to all legal and attorney fees that result should Owner default in payment of this contract. Overdue accounts are subject to interest as specified in Section 3.

18. Integration and Acceptance

This contract constitutes the entire agreement between the parties and supersedes all prior negotiations, representations, and agreements. No oral agreements or understandings exist between the parties. Changes to this agreement must be in writing, signed by both parties. Changes may incur additional charges.

19. Cancellation Rights

BUYER'S RIGHT TO CANCEL: You, the buyer, have the right to cancel this contract within three (3) business days. You may cancel by e-mailing, mailing, texting or delivering written notice to the contractor at the contractor's place of business by midnight of the third (3rd) business day after you sign and date this contract.

20. Severability

If any provision of this contract is deemed invalid or unenforceable, the remaining provisions shall continue in full force and effect.