



# Ocala Community Redevelopment Area Agency

## Board Agenda - Final

### Tuesday, February 17, 2026

#### Meeting Information

##### *Location*

Ocala City Hall  
110 SE Watula Avenue  
Second Floor - Council Chambers  
Ocala, Florida

<https://www.ocalafl.gov/meetings>

##### *Time*

3:45 PM

##### Board Members

Ire Bethea Sr., Chairperson  
Jay A. Musleh, Vice Chair  
Kristen Dreyer  
James P. Hilty Sr.  
Barry Mansfield

##### Mayor

Ben Marciano

##### City Manager

Peter Lee

#### Mission Statement

The City of Ocala provides fiscally responsible services consistent with the community's current and future expectations.

#### Community Redevelopment Area

#### Agency Board's Strategic Priorities

Priority 1: Economic hub  
Priority 2: Fiscally sustainable  
Priority 3: Engaged workforce  
Priority 4: Operational excellence  
Priority 5: Quality of place

#### WELCOME!

Citizens are encouraged to participate in City of Ocala meetings. Speakers wishing to provide public comments to the Board should complete a written public comment form and shall submit said form to the City Clerk prior to the meeting being called to order. Unless otherwise permitted, no person shall be permitted to provide public comments to the Board if they have not completed and submitted a public comment card prior to the meeting being called to order. Speakers will be limited to 3 (three) minutes. Additional time may be granted by the Chairperson. When recognized, state name and address. Citizen groups are asked to name a spokesperson.

The City of Ocala encourages civility in public discourse and requests that speakers limit their comments to specific motions and direct their comments to the Council. Cell phones should be turned off or set to vibrate.

The order of agenda items may be changed if deemed appropriate by the Board.

Citizens are encouraged to provide comments in writing to the City Clerk before meetings for inclusion into the public record. Citizens may also provide input to board members via office visits, phone calls, letters and e-mail that will become public record. In some instances, i.e., Quasi-Judicial Hearings, these particular contacts may be prohibited.

#### APPEALS

Any person who desires to appeal any decision at this meeting will need a record of the proceedings and for this purpose may need to ensure that a verbatim record of the proceedings is made that includes the testimony and evidence upon which the appeal is made.

#### ADA COMPLIANCE

If reasonable accommodations are needed for you to participate in this meeting, please call the City Manager's Office at 352-629-8401 at least 48 hours in advance so arrangements can be made.

- 1. Call To Order**
- 2. Roll Call**
- 3. Public Notice**
- 4. Minutes Approval**
  - 4a. January 20, 2026 CRA Meeting**
- 5. Agenda Items**
  - 5a. West Ocala Community Redevelopment Area Residential Property Improvement Grant for property located at 1705 NW 16th Court, in an amount not to exceed \$15,635**  
Presentation By: Roberto Ellis
  - 5b. North Magnolia Community Redevelopment Area Residential Property Improvement Grant for property located at 130 NW 17th Street, in an amount not to exceed \$4,221**  
Presentation By: Roberto Ellis
  - 5c. Appointment of Linda Wilkerson to an unexpired term ending March 1, 2029, on the West Ocala Redevelopment Advisory Committee**  
Presentation By: Roberto Ellis
- 6. Public Comments**
- 7. Adjournment**



# Ocala

## Legislation Text

110 SE Watula Avenue  
Ocala, FL 34471

[www.ocalafl.gov](http://www.ocalafl.gov)

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**File #:** 2026-0768

**Agenda Item #:** 4a.

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**Submitted By:** Angel Jacobs

**Presentation By:** Angel Jacobs

**Department:** City Clerk

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**FORMAL TITLE:**

January 20, 2026 CRA Meeting

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**OCALA'S RELEVANT STRATEGIC GOALS:**

Operational Excellence

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**PROOF OF PUBLICATION:**

N/A

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# Ocala

## Community Redevelopment Area Agency Board

### Minutes

110 SE Watula Avenue  
Ocala, FL 34471

[www.ocalafl.gov](http://www.ocalafl.gov)

Tuesday, January 20, 2026

3:30 PM

#### 1. Call To Order

#### 2. Roll Call

|                |   |
|----------------|---|
| <b>Present</b> | Mayor Ben Marciano<br>Vice Chair Jay A. Musleh<br>Kristen M. Dreyer<br>James P. Hilty Sr<br>Barry Mansfield<br>Chairperson Ire J. Bethea Sr |
|----------------|---|

#### 3. Public Notice

- Public Notice for the January 20, 2026 Community Redevelopment Area Agency Board Meeting was posted on December 17, 2025

#### 4. Minutes Approval

- 4a. December 2, 2025 CRA Meeting

**RESULT:** APPROVED  
**MOVER:** Kristen M. Dreyer  
**SECONDER:** Barry Mansfield  
**AYE:** Musleh, Dreyer, Hilty Sr, Mansfield, and Bethea Sr

#### 5. Agenda Items

- 5a. Downtown Ocala Community Redevelopment Area Commercial Building Improvement Grant for property located at 40 S. Magnolia Avenue, in an amount not to exceed \$50,000

Presentation By: Roberto Ellis

Economic Development Manager Roberto Ellis discussed a grant application for the property located at 40 S Magnolia Avenue. The grant funds will be allocated towards improvements. The requested grant amount is \$50,000.00; staff recommends approval. He confirmed the 10% cap applies to a different grant program with Council Member Hilty.

There being no further discussion the motion carried by roll call vote.

**RESULT:** APPROVED  
**MOVER:** Jay A. Musleh

**SECONDER:** Kristen M. Dreyer

**AYE:** Musleh, Dreyer, Hilty Sr, Mansfield, and Bethea Sr

**5b.** East Ocala Community Redevelopment Area Residential Property Improvement Grant for property located at 1030 NE Fifth Street, in an amount not to exceed \$5,370

Presentation By: Roberto Ellis

Economic Development Manager Roberto Ellis discussed a grant application for the property located at 1030 NE 5th Street. The grant funds will be allocated towards improvements. The requested grant amount is \$5,370.00; staff recommends approval.

There being no further discussion the motion carried by roll call vote.

**RESULT:** APPROVED

**MOVER:** James P. Hilty Sr

**SECONDER:** Barry Mansfield

**AYE:** Musleh, Dreyer, Hilty Sr, Mansfield, and Bethea Sr

**5c.** East Ocala Community Redevelopment Area Residential Property Improvement Grant for property located at 713 NE Fourth Street, in an amount not to exceed \$9,667

Presentation By: Roberto Ellis

Economic Development Manager Roberto Ellis discussed a grant application for the property located at 713 NE 4th Street. The grant funds will be allocated towards improvements. The requested grant amount is \$9,667.00; staff recommends approval.

There being no further discussion the motion carried by roll call vote.

**RESULT:** APPROVED

**MOVER:** Kristen M. Dreyer

**SECONDER:** James P. Hilty Sr

**AYE:** Musleh, Dreyer, Hilty Sr, Mansfield, and Bethea Sr

**5d.** East Ocala Community Redevelopment Area Residential Property Improvement Grant for property located at 719 NE Fourth Street, in an amount not to exceed \$6,292

Presentation By: Roberto Ellis

Economic Development Manager Roberto Ellis discussed a grant application for the property located at 719 NE 4th Street. The grant funds will be allocated towards improvements. The requested grant amount is \$6,292.00; staff recommends approval.

There being no further discussion the motion carried by roll call vote.

**RESULT:** APPROVED

**MOVER:** James P. Hilty Sr

**SECONDER:** Barry Mansfield

**AYE:** Musleh, Dreyer, Hilty Sr, Mansfield, and Bethea Sr

**5e.** East Ocala Community Redevelopment Area Residential Property Improvement Grant for property located at 206 NE 12th Avenue, in an amount not to exceed \$8,516

Presentation By: Roberto Ellis

Economic Development Manager Roberto Ellis discussed a grant application for the property located at 206 NE 12th Avenue. The grant funds will be allocated towards improvements. The requested grant amount is \$8,516.00; staff recommends approval.

There being no further discussion the motion carried by roll call vote.

**RESULT:** APPROVED

**MOVER:** Kristen M. Dreyer

**SECONDER:** Barry Mansfield

**AYE:** Musleh, Dreyer, Hilty Sr, Mansfield, and Bethea Sr

**5f.** East Ocala Community Redevelopment Area Residential Property Improvement Grant for property located at 903 NE Second Street, in an amount not to exceed \$20,000

Presentation By: Roberto Ellis

Economic Development Manager Roberto Ellis discussed a grant application for the property located at 903 NE 2nd Street. The grant funds will be allocated towards improvements. The requested grant amount is \$20,000.00; staff recommends approval.

There being no further discussion the motion carried by roll call vote.

**RESULT:** APPROVED

**MOVER:** Barry Mansfield

**SECONDER:** Jay A. Musleh

**AYE:** Musleh, Dreyer, Hilty Sr, Mansfield, and Bethea Sr

**5g.** East Ocala Community Redevelopment Area Residential Property Improvement Grant for property located at 1224 NE 12th Avenue, in an amount not to exceed \$8,781

Presentation By: Roberto Ellis

Economic Development Manager Roberto Ellis discussed a grant application for the property located at 1224 NE 12th Avenue. The grant funds will be allocated towards improvements. The requested grant amount is \$8,781.00; staff recommends approval.

There being no further discussion the motion carried by roll call vote.

**RESULT:** APPROVED

**MOVER:** James P. Hilty Sr

**SECONDER:** Kristen M. Dreyer

**AYE:** Musleh, Dreyer, Hilty Sr, Mansfield, and Bethea Sr

**5h.** East Ocala Community Redevelopment Area Residential Property Improvement Grant for property located at 937 NE Third Street, in an amount not to exceed \$6,374

Presentation By: Roberto Ellis

Economic Development Manager Roberto Ellis discussed a grant application for the property located at 937 NE 3rd Street. The grant funds will be allocated towards improvements. The requested grant amount is \$6,374.00; staff recommends approval.

There being no further discussion the motion carried by roll call vote.

**RESULT:** APPROVED

**MOVER:** Kristen M. Dreyer

**SECONDER:** Barry Mansfield

**AYE:** Musleh, Dreyer, Hilty Sr, Mansfield, and Bethea Sr

**5i.** East Ocala Community Redevelopment Area Residential Property Improvement Grant for property located at 837 NE Second Street, in an amount not to exceed \$20,000

Presentation By: Roberto Ellis

Economic Development Manager Roberto Ellis discussed a grant application for the property located at 837 NE 2nd Street. The grant funds will be allocated towards improvements. The requested grant amount is \$20,000.00; staff recommends approval.

There being no further discussion the motion carried by roll call vote.

**RESULT:** APPROVED

**MOVER:** Kristen M. Dreyer

**SECONDER:** Barry Mansfield

**AYE:** Musleh, Dreyer, Hilty Sr, Mansfield, and Bethea Sr

**5j.** East Ocala Community Redevelopment Area Residential Property Improvement Grant for property located at 214 NE 11th Avenue, in an amount not to exceed \$2,764

Presentation By: Roberto Ellis

Economic Development Manager Roberto Ellis discussed a grant application for the property located at 214 NE 11th Avenue. The grant funds will be allocated towards improvements. The requested grant amount is \$2,764.00; staff recommends approval.

There being no further discussion the motion carried by roll call vote.

**RESULT:** APPROVED

**MOVER:** Barry Mansfield

**SECONDER:** James P. Hilty Sr

**AYE:** Musleh, Dreyer, Hilty Sr, Mansfield, and Bethea Sr

**5k.** East Ocala Community Redevelopment Area Historic Building Improvement Grant for property located at 732 NE Second Street, in an amount not to exceed \$30,549

**Presentation By:** Roberto Ellis

Economic Development Manager Roberto Ellis discussed a grant application for the property located at 732 NE 2nd Street. The grant funds will be allocated towards improvements. The requested grant amount is \$30,549.00; staff recommends approval.

Council Member Dreyer abstained from the vote.

City Attorney Sexton and City Manager Pete Lee advised the Board that the grant does not include a restriction or condition regarding paint color.

There being no further discussion the motion carried by roll call vote.

**RESULT:** APPROVED

**MOVER:** Barry Mansfield

**SECONDER:** James P. Hilty Sr

**AYE:** Musleh, Hilty Sr, Mansfield, and Bethea Sr

**ABSTAIN:** Dreyer

**5l.** East Ocala Community Redevelopment Area Historic Building Improvement Grant for the property located at 721 NE Second Street, in an amount not to exceed \$40,000

**Presentation By:** Roberto Ellis

Economic Development Manager Roberto Ellis discussed a grant application for the property located at 721 NE 2nd Street. The grant funds will be allocated towards improvements. The requested grant amount is \$40,000.00; staff recommends approval.

There being no further discussion the motion carried by roll call vote.

**RESULT:** APPROVED

**MOVER:** Kristen M. Dreyer

**SECONDER:** Barry Mansfield

**AYE:** Musleh, Dreyer, Hilty Sr, Mansfield, and Bethea Sr

**5m.** East Ocala Community Redevelopment Area Commercial Property Improvement Grants for the property located at 605 East Silver Springs Boulevard, a two-phased grant award in an amount not to exceed \$50,000 in Fiscal Year 2025-26 and not to exceed \$50,000 in Fiscal Year 2026-27

**Presentation By:** Roberto Ellis

Economic Development Manager Roberto Ellis discussed a grant application for the property located at 605 East Silver Springs Boulevard. The grant funds will be allocated towards improvements. The requested grant amount for a two-phased project (Fiscal Years: 2025-26 and 2026-27) is \$50,000.00; staff recommends approval.

There being no further discussion the motion carried by roll call vote.

**RESULT:** APPROVED

**MOVED:** Kristen M. Dreyer

**SECONDER:** James P. Hilty Sr

**AYE:** Musleh, Dreyer, Hilty Sr, Mansfield, and Bethea Sr

**6. Public Comments**

**7. Adjournment**

**Adjourned at 3:51 pm**

**Minutes**

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Ire J. Bethea  
Chairperson

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Angel B. Jacobs  
City Clerk



# Ocala

## Legislation Text

110 SE Watula Avenue  
Ocala, FL 34471

[www.ocalafl.gov](http://www.ocalafl.gov)

**File #:** 2026-0686

**Agenda Item #:** 5a.

Submitted By: Charlita Whitehead

Presentation By: Roberto Ellis

Department: Growth Management

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### **FORMAL TITLE:**

West Ocala Community Redevelopment Area Residential Property Improvement Grant for property located at 1705 NW 16<sup>th</sup> Court, in an amount not to exceed \$15,635

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### **BACKGROUND:**

One of the statutory functions of a Community Redevelopment Agency (CRA) is to undertake activities that facilitate the redevelopment and improvement of properties. Incentive programs that encourage private investment in properties have proven successful in driving this redevelopment.

The CRA residential grant programs encourage homeowners to make improvements that enhance the CRA, increase safety, and reverse deteriorating trends in specific neighborhoods. Preserving and expanding the supply of well-maintained housing is crucial to improving affordability while reducing blight.

Each property owner can submit one application per fiscal year. The maximum grant amount is \$20,000, covering up to 75 percent of the project costs. Refer to the attached grant framework for a list of eligible improvements.

|                                  |   |
|----------------------------------|---|
| <b>Grant ID:</b>                 | CRA26-0004  |
| <b>Parcel ID:</b>                | 2195-029-000  |
| <b>Address:</b>                  | 1705 NW 16th Ct   |
| <b>Owner / Applicant:</b>        | Shelly Washington   |
| <b>Project Description:</b>      | Improvements include the replacement of exterior doors, installation of new fencing, landscaping, exterior painting, and termite treatment. |
| <b>High Quotes Total:</b>        | \$31,590.12   |
| <b>Low Quotes Total:</b>         | \$20,846.21   |
| <b>Recommended Grant Amount:</b> | \$15,635  |

### **FINDINGS AND CONCLUSIONS:**

- The property located at 1705 NW 16th Court is within the West Ocala Community Redevelopment Area and is eligible for CRA assistance.

- The applicant was awarded a CRA grant in October 2024. The applicant completed the reroofing, window replacement, and HVAC installation. The final project cost totaled \$29,775.50, and the applicant was reimbursed \$20,000.
- The proposed improvements include replacement of exterior doors to improve security and energy efficiency; installation of fencing to enhance site safety; landscaping to improve curb appeal; exterior painting to address weathering and deterioration; and termite treatment to remediate existing issues and protect structural integrity.
- The home was constructed in 1949. The first phase of improvements focused on the building itself. The upcoming phase will further strengthen the structure and enhance the property's overall appearance.

*West Ocala CRA Advisory Committee Recommendation*

- During its January 28, 2026, meeting, the West Ocala CRA Advisory Committee unanimously recommended approving the grant.

*Staff Recommendation*

Staff recommends approval.

**FISCAL IMPACT:**

There is adequate funding for the grants under consideration at this meeting in the West Ocala CRA grants account (623-016-560-559-55-82010). The payment will be made in the fiscal year when the project is completed.

**PROCUREMENT REVIEW:**

N/A

**LEGAL REVIEW:**

N/A

**ALTERNATIVE:**

- Approve
- Approve with Changes
- Table
- Deny

# Application Packet

CRA Subarea: West Ocala

Grant ID: CRA 26-0004

Parcel ID: 2195-029-000

Address: 1705 NW 16th Ct

Application Page(s) 2-6

Project Cost Summary Page(s) 8

Bids Page(s) 10-46

## Doors

New South Window Solutions \$6,629 Page(s) 10-11

RoMac Ocala \$2,641.36 Page(s) 12

## Fence

Fence Pro \$10,602.50 Page(s) 13-14

3 A's Fencing & More \$14,104 Page(s) 15

## Landscaping

Evans Outdoor Ops \$960 Page(s) 16-19

Marion Precision Lawn & Landscape \$1,900 Page(s) 20-21

## Painting

Mike's Painting & Pressure Washing Inc. \$3,520.25 Page(s) 22

Prodigy Painting Services \$5,310.12 Page(s) 23-24

## Termite Treatment

Orkin \$3,647 Page(s) 25-27

Terminix \$2,924 Page(s) 28-40

Before Photos Page(s) 41-48

Maps Page(s) 49-51

Marion County Property Appraiser Card Page(s) 52-55



City of Ocala  
Growth Management Department  
201 S.E. 3<sup>rd</sup> Street, 2<sup>nd</sup> Floor  
352-629-8421 | [www.ocalafl.gov](http://www.ocalafl.gov)

## Community Redevelopment Agency (CRA) Grant Application Instructions

This checklist is designed to assist you in completing your application thoroughly. For questions, contact the Growth Management Department at **352-629-8524** or [cra@ocalafl.gov](mailto:cra@ocalafl.gov)

|                                       |  |
|---------------------------------------|--|
| <b>GETTING STARTED</b>                | <ol style="list-style-type: none"><li>1. Confirm Property Eligibility - Determine whether the property is located within one of the four designated Community Redevelopment Areas (CRAs). To view the CRA subarea boundaries, use the <a href="#">Ocala Map Experience - Growth Management</a> to search by property address. You can also contact the Economic Development Division within Growth Management to verify eligibility.</li><li>2. Carefully read the Program Guide and the applicable Grant Framework to understand requirements, eligible work items, and evaluation criteria.</li><li>3. Fill out the grant application in full and include all required supporting documentation.</li></ol>   |
| <b>BUSINESS INFORMATION</b>           | This section must only be completed by applicants proposing improvements to non-residential property. All business must have an active City of Ocala Business license.   |
| <b>CRA SUBAREA &amp; PROGRAM TYPE</b> | Available programs vary depending on the CRA subarea and whether the property is residential or non-residential. <b>PLEASE REFER TO THE PROGRAM GUIDES FOR DETAILED INFORMATION ABOUT THE GRANTS AVAILABLE IN EACH CATEGORY.</b>   |
| <b>PROJECT DESCRIPTION</b>            | Failure to provide a comprehensive scope of work may result in the application being considered incomplete. If additional space is needed, you may submit an extra sheet or include further details in <b>Section 9: Supplemental Information</b> .  |
| <b>PROJECT COSTS</b>                  | All submitted quotes must reflect the full scope of work, including both materials and labor. The final quoted amount should represent the total cost to be paid by the property owner. <ul style="list-style-type: none"><li>• If a quote includes multiple product or pricing options, applicants must clearly indicate their selected option. Grants are calculated based on the lowest quotes provided.</li><li>• For each distinct eligible improvement (e.g., roof replacement, exterior painting), applicants are required to submit <b>two separate quotes from two different vendors</b>.</li></ul> <p><b>Example:</b><br/><i>Roof Replacement:</i> Submit two quotes from two roofing contractors.<br/><i>Repainting:</i> Submit two quotes from two painting service providers.</p> |
| <b>INCOMPLETE APPLICATIONS</b>        | Failure to provide the required information may result in the application being deemed incomplete and may potentially delay the grant review process.  |
| <b>APPLICATION DEADLINES</b>          | Application Deadlines and meeting dates are published on the City of Ocala website. Deadlines vary by the community redevelopment subarea. <b>Applications submitted after the deadline will be processed in the next review cycle. CRA Advisory Committee meeting dates are subject to change.</b>  |
| <b>SUBMITTING YOUR APPLICATION</b>    | <ol style="list-style-type: none"><li>1. <u>In-Person Submittal</u><br/>Drop off the application at:<br/>201 SE 3rd Street, 2nd Floor, Ocala, FL 34471</li><li>2. <u>By Mail or Email</u><br/><i>Email:</i> Scan and email the application to <a href="mailto:cra@ocalafl.gov">cra@ocalafl.gov</a><br/><i>Mail:</i> Send to:<br/>Economic Development Manager<br/>201 SE 3rd Street, 2nd Floor<br/>Ocala, FL 34471</li><li>3. <u>Online Portal Submission</u><br/>An online application form is provided within the portal and must be submitted directly through the system.<br/>Apply through Ocala's Economic Development Portal (CivicServe): <a href="https://ocalafl.civicserve.com/">https://ocalafl.civicserve.com/</a></li></ol>  |



City of Ocala  
Growth Management Department  
201 S.E. 3<sup>rd</sup> Street, 2<sup>nd</sup> Floor  
352-629-8421 | [www.ocalafl.gov](http://www.ocalafl.gov)

DATE SUBMITTED: \_\_\_\_\_

GRANT ID:  
(STAFF ONLY)

RESIDENTIAL  
 COMMERCIAL

## CRA GRANT APPLICATION

### 1. PROPERTY OWNER INFORMATION

Property Owner Name Shelly Mae Washington  
Property Owner Mailing Address 1705 N.W. 16 ct  
E-mail ShiWns4748@gmail.com Phone No. 352-512-2654  
Authorized Representative (If different from property owner) \_\_\_\_\_  
E-mail \_\_\_\_\_ Phone No. \_\_\_\_\_

### 2. BUSINESS INFORMATION

#### REQUIRED FOR COMMERCIAL GRANTS PROGRAMS ONLY

Business Name \_\_\_\_\_  
Type of Business \_\_\_\_\_  
Business Address \_\_\_\_\_  
Business E-mail \_\_\_\_\_ Business Phone No. \_\_\_\_\_  
Primary Contact (If different from applicant) \_\_\_\_\_  
How long has the business been at its current location? \_\_\_\_\_  
If the business is a tenant, what are the start and end date of the lease? \_\_\_\_\_

### 3. CRA SUBAREA

West Ocala  East Ocala  North Magnolia  Downtown

### 4. PROGRAM TYPE

Residential  Commercial  Historic Building  
 New Construction Incentive

APPLICANT MUST REVIEW PROGRAM GUIDE AND GRANT FRAMEWORK BEFORE SELECTING THE APPLICABLE PROGRAM TYPE

### 5. PROJECT DESCRIPTION

Project Site Address \_\_\_\_\_ Parcel ID 27 28 29  
Current Use of Property 1705 N.W. 16 ct Proposed Use \_\_\_\_\_  
Proposed Scope of Work (Attach additional sheets if needed)

Explain your need for grant assistance and the expected benefits of your project (Attach additional sheets if needed)

To Beautify the Look of my Home

#### RESIDENTIAL PROPERTIES ONLY

Rental Property  Yes  No

How long have you resided at the home? 23

Is this your primary residence?  Yes  No

What is the size of your household? 4

**6. PROJECT COSTS****APPLICANT MUST SUBMIT TWO QUOTES FOR EACH WORK ITEM**

Work Item 1 Fence  
 Work Item 2 Painting  
 Work Item 3 Termites

High Quote 1: \$ 14,104.00  
 High Quote 2: \$ 5,310.00  
 High Quote 3: \$ 3,647.00  
 Total: \_\_\_\_\_

Low Quote 1: \$ 11,480.00  
 Low Quote 2: \$ 3,520.25  
 Low Quote 3: \$ 2,924.00  
 Total: \_\_\_\_\_

\*IF MORE THAN 3 WORK ITEMS, ATTACH  
ADDITIONAL SHEET

**7. SCHEDULE**Start Date: January 7, 2026Estimated Time For Completion (Weeks/Months): 1 or 2 months**8. APPLICATION CHECKLIST**

- REVIEW OF APPROPRIATE GRANT PROGRAM FRAMEWORK (SEE PROGRAM GUIDE)
- COMPLETED APPLICATION
- APPLICANT/PROPERTY OWNER SIGNATURE AFFIXED
- PROOF OF PROPERTY OWNERSHIP
- PROOF OF CURRENT PROPERTY TAXES
- IMAGES OR SKETCHES OF PROPOSED DESIGNS, COLORS OR GRAPHICAL REPRESENTATIONS
- AT LEAST TWO QUOTES PROVIDED WITH AN ITEMIZED LIST OF COST ESTIMATES FROM VENDORS
- COLOR IMAGES OF EXISTING CONDITIONS OF THE BUILDING/PROJECT AREA

**9. SUPPLEMENTAL INFORMATION**

**USE THIS SECTION TO PROVIDE ANY ADDITIONAL INFORMATION THAT MAY ASSIST IN THE REVIEW OF  
YOUR APPLICATION**

## GENERAL TERMS AND CONDITIONS

It is expressly understood and agreed that the applicant shall be solely responsible for all safety conditions and compliance with all safety regulations, building codes, ordinances, and other applicable regulations.

It is expressly understood and agreed that the applicant will not seek to hold the City of Ocala, the Grant Review Committee (Committee) and/or its agents, employees, board members, officers and/or directors liable for any property damage, personal injury, or other loss relating in any way to the Program.

It is expressly understood and agreed that the applicant will hold harmless the City, its agents, officers, employees and attorneys for all costs incurred in additional investigation or study of, or for supplementing, redrafting, revising, or amending any document (such as an Environmental Impact Report, specific plan, or general plan amendment) if made necessary by said proceeding and if the applicant desires to pursue such approvals and/or clearances, after initiation of the proceeding, which are conditioned on the approval of these documents.

The applicant authorizes the City of Ocala to promote any approved project including but not limited to displaying a sign at the site, during and after construction, and using photographs and descriptions of the project in City of Ocala materials and press releases.

If the applicant fails to perform the work approved by the Community Redevelopment Agency Board, the City reserves the right to cancel the grant. The applicant also understands that any work started/completed before the application is approved by the Committee is done at their own risk, and that such work will jeopardize their grant award.

Completion of this application by the applicant DOES NOT guarantee that grant monies will be awarded to the applicant.

**I certify that all of the foregoing information is accurate and that the work will be performed in accordance with the Program Guide and all applicable construction and zoning laws.**

| APPLICANT<br>(PROPERTY OWNER/AUTHORIZED REPRESENTATIVE)   | OWNER APPROVAL FOR TENANT APPLICANT  |
|---|--|
| <p>I, <u>Shelly Mae Washington</u>, property owner/authorized representative of the property at <u>1705 N.W. 16 ct</u>, have read and understand the terms and conditions of the Program and agree to the general conditions and terms outlined in the application process and guidelines of the Program.</p> | <p>I, _____, owner of the property at _____ have read and understand the terms and conditions of the Program and agree to the general conditions and terms outlined in the application process and guidelines of the Program. I give my consent to the applicant to move forward with improvements on the property as outlined in the Project Description section of this application.</p> |
| <p>SIGNATURE: <u>Shelly M Washington</u><br/>DATE: <u>Nov 12, 2025</u></p>  | <p>SIGNATURE _____<br/>DATE _____</p>  |

**FOR STAFF USE ONLY**

Is the property fully exempt from Marion County property taxes?  Yes  No

Are property taxes paid and up to date?  Yes  No

Is the property currently in condemnation or receivership?  Yes  No

Is there an active City code enforcement case on the property?  Yes  No

Is the building listed on the National Register of Historic Places?  Yes  No  N/A

Is this the first application submitted for the Fiscal Year?  Yes  No

Is the property within the CRA subarea boundary?  Yes  No

Was the proof of ownership verified?  Yes  No

Is the applicant applying for the first time?  Yes  No

Is the property zoned correctly?  Yes  No

Does the business have an active business license?  Yes  No  N/A

Is the business/property owner registered in the State of Florida?  Yes  No  N/A

Date Received: 11/14/2025Signature (Staff Member): Christina R. Whitmore

# Project Cost Summary

**Ocala Community Redevelopment Agency  
Project Cost Summary**

**Application ID:** CRA26-0004

**Address:** 1705 NW 16th Ct

**CRA subarea:** West Ocala

**Program Type:** Residential

| <b>No.</b>   | <b>Eligible work item</b> | <b>High quote(s)</b> | <b>Low quote(s)</b> |
|--|---------------------------|----------------------|---------------------|
| 1  | Doors                     | \$ 6,629.00          | \$ 2,839.46         |
| 2  | Fencing                   | \$ 14,104.00         | \$ 10,602.50        |
| 3  | Landscaping               | \$ 1,900.00          | \$ 960.00           |
| 4  | Termite Treatment         | \$ 3,647.00          | \$ 2,924.00         |
| 5  | Painting                  | \$ 5,310.12          | \$ 3,520.25         |
| <b>Total</b>   |                           | <b>\$ 31,590.12</b>  | <b>\$ 20,846.21</b> |
| <b>Maximum CRA grant that can be awarded<br/>based on 75% match. \$ 15,635</b> |                           |                      |                     |

# Bids



Shelly Washington  
1705 NW 16th Ct  
Ocala FL 34475

352-512-2654  
shlwas4748@gmail.com

Date: 12/30/2025  
Rep: Don Infinger

|  |   |
|--|---|
| <b># of Windows</b>                                | 0 |
| <b># Sliding Glass Doors</b>                       | 0 |
| <b># of Entry Doors</b>                            | 3 |
| <b>Total # of Units</b>                            | 3 |
| <b>Permits, Taxes, Labor, &amp; Other Included</b> |   |

|  |                   |
|--|-------------------|
| <b>Manufacturer's Suggested List Price</b> | \$12,988.75       |
| <b>Current Promotion</b>                   | Buy 2, Get 1 Free |
| <b>Promotional Discount</b>                | -\$4,325          |
| <b>Additional Discount</b>                 | -\$1,299          |
| <b>New 30 Day Guaranteed Price</b>         | \$7,365           |
| <b>Initial Visit Incentive</b>             | -\$736            |
| <b>Final Price</b>                         | \$6,629           |
| <b>Finance Options</b>                     | No Finance Option |

NewSouth is a different kind of window manufacturer because we work directly with the homeowner, eliminating the middleman. This enables NewSouth to invest in our products with superior components, we call it the NewSouth Standard. Everything we make includes:

- Double pane, double strength insulated glass units (IGUs)
- The best performing Low-E glass on the market, eVantage™ Low-E Glass
- Argon gas in all IGUs
- An elite spacer system for optimum warm-edge performance
- Premium, extra thick uPVC vinyl lifetime structure
- Weather stripping mylar fin for additional energy efficiency
- Fusion welded mitered corners for protection from water intrusion
- Constant force balance system holds tension for consistent and dependable operation
- Energy Star rated and meets energy code for the entire state
- A non-prorated, transferable lifetime warranty that covers both the products and installation

We are determined to build a superior window to defend against Southern weather; we call it the Ultimate Window, you'll call it the last window you will ever buy.

This space intentionally left blank



## What's included with your NewSouth Window project!

- **Precise re-measurements by our professional project managers to  $\frac{1}{4}$ "**
- **All permits are procured by NewSouth Window Solutions\***
  - All FPA's are submitted
  - Any detailed drawings are provided
  - Any engineering required is provided for windows and door
    - \* Patio room enclosures may require special engineering
- **Manufactured in Florida specifically for Florida's climate!**
- **Comprehensive true lifetime warranty, no hidden charges, includes labor!**
  - Glass breakage **covered**
  - Seal failure **covered**
  - Non-prorated!
  - Transferable!
- **Highest quality installation from factory trained, certified installers**
- **High quality materials used for installation**
  - Composite trim material used, no rotting, better appearance
  - Low pressure foam, fills gaps to improve insulation
  - Composite shims
  - Sealant – lifetime premium polymer low VOC sealant vs silicon caulk
- **Windows manufactured to the highest standards:**
  - E-vantage patented glass
  - 12-point fusion welded frame
  - True slope sill with weep holes for efficient water removal
  - Memory fiberglass screens
  - Impact lamination of the highest quality
  - Metal reinforced interlocking meeting rail
  - Reinforced and foam filled frame
  - Dura Lite non-metallic spacer with heat bond technology
  - uPVC multi chamber vinyl frame
    - Vinyl thickness – .075 vs .055 – 38% thicker
  - 19 oz float glass / double strength
- **Applicable taxes**
- **Clean up & haul away of all debris**



**RoMac Ocala**  
1432 SW 15th Ave  
Ocala, Florida 34471  
Phone: 352-622-7099

**Quotation**

**367881**

11/06/2025

11/13/2025

OCCASH

**Invoice Address**

Cash Sale Ocala  
Cash Sale Ocala

**Delivery Address**

Cash Sale Ocala  
Cash Sale Ocala

**Quote No**

**367881**

**Quote Date**

11/06/2025

**Expiration Date**

11/13/2025

**Customer**

OCCASH

**Contact Name**

Shelly Washington

**Contact Number**

352-512-2654

**Job**

By 11/06/25

**Delivery**

Megan Merrifield

**Taken By**

Megan Merrifield

**Sales Rep**

Megan Merrifield



Page 1 of 1

| <b>Special Instructions</b> |                     | <b>Notes</b>   |                    |              |            |              |
|-----------------------------|---------------------|--|--------------------|--------------|------------|--------------|
| <b>Line</b>                 | <b>Product Code</b> | <b>Description</b>   | <b>Qty/Footage</b> | <b>Price</b> | <b>UOM</b> | <b>Total</b> |
| 1                           |                     | LINE: A<br>DOOR CODE:<br>DESC: 3/0 6/8 1 3/4 LH IS 6 PNL, SMOOTH COMPOSITE 4 9/16 JAMB, SINGLE BORE AND DEADBOLT 2 3/8, US15 SATIN NICKEL, MILL FINISH THREHSOLD WHITE WEATHERSTRIP CUT DOWN: NO                     |                    |              |            |              |
| 2                           | zz_SOEXTDOOR_47552  | 3'0" X 6'8" Sm Star 6 PNL RHIS Brush Nick US15 4-5/8" SComp AL Sill Brown Sweep DBL Bore BS 2-3/8" Hin Rad/SQ No Casing WS White   | 1 ea               | 706.37       | ea         | 706.37       |
| 3                           |                     |  |                    |              |            |              |
| 4                           |                     | LINE: B<br>DOOR CODE:<br>DESC: 2/6 6/8 1 3/4 RH OS 6 PNL, SMOOTH COMPOSITE 4 9/16 JAMB, SINGLE BORE AND DEADBOLT 2 3/8, US15 SATIN NICKEL, MILL FINISH THREHSOLD WHITE WEATHERSTRIP CUT DOWN: NO                     |                    |              |            |              |
| 5                           | zz_SOEXTDOOR_47553  | 2'6" X 6'8" Sm Star 6 PNL RH Outswing Brush Nick US15 4-5/8" SComp AL Sill Brown Sweep DBL Bore BS 2-3/8" Hin Rad/SQ No Casing WS White  | 1 ea               | 769.94       | ea         | 769.94       |
| 6                           |                     |  |                    |              |            |              |
| 7                           |                     | LINE: C<br>DOOR CODE:<br>DESC: 3/0 6/8 1 3/4 LH IS 1/2 RAINGLASS OVER 2 PNL, SMOOTH COMPOSITE 4 9/16 JAMB, SINGLE BORE AND DEADBOLT 2 3/8, US15 SATIN NICKEL, MILL FINISH THRESHOLD, WHITE WEATHERSTRIP CUT DOWN: NO |                    |              |            |              |
| 8                           | zz_SOEXTDOOR_47554  | 3'0" X 6'8" Sm Star 6 PNL 22X36 RAINGLASS LHIS Brush Nick US15 4-5/8" SComp AL Sill Brown Sweep DBL Bore BS 2-3/8" Hin Rad/SQ No Casing WS White   | 1 ea               | 1,165.05     | ea         | 1,165.05     |

By your signature below, you are agreeing to the Terms and Conditions set forth on back or attached.

Buyer \_\_\_\_\_ Date \_\_\_\_\_

Subject to our terms and conditions of sale. Further copies available on request.

|                        |                   |
|------------------------|-------------------|
| <b>Total Amount</b>    | \$2,641.36        |
| MARION 7.5%            | \$198.10          |
| <b>Quotation Total</b> | <b>\$2,839.46</b> |

**E S T I M A T E**

Fence Pro Of Mid Florida  
3522 SW 74th Ave  
Ocala, FL 34474  
(352) 789-8254

**Sales Representative**  
Jiancarlos Bares  
jiancarlos@Fencepromidfl.com



**Shelly Washington**  
**1705 Nw 16th Ct**  
**Ocala, FL 34475**

|                   |           |
|-------------------|-----------|
| <b>Estimate #</b> | 7801      |
| <b>Date</b>       | 10/8/2025 |

| Item                     | Description  | Qty    | Price      | Amount     |
|--------------------------|--|--------|------------|------------|
| Dura Fence bronze & Galv | Dura Fence in bronze Privacy<br>6' tall full privacy in 8' sections<br>6" wide galvanized fence picket powder coated in Bronze<br>1"x 2" galvanized rails (3 rail system)<br>2 1/2"x 2 1/2" galvanized posts<br>60 Lb of concrete around each post<br>All hardware | 429.00 | \$19.00    | \$8,151.00 |
| Dura Fence Walk Gate     | 6 Feet tall by 4 Feet wide single privacy gate<br>Gate colors to match fence panels<br>Premium gate latch system with double sided key lock<br>Adjustable hinges<br>300 Lb of concrete around gate post<br>Handle & all hardware                                   | 2.00   | \$300.00   | \$600.00   |
| Dura Fence Double Gate   | 6 Feet tall by 12 Feet wide double privacy gates<br>Gate colors to match fence panels<br>Premium gate latch system with double sided key lock<br>Adjustable hinges<br>300 Lb of concrete around gate posts<br>Double drop rods                                     | 1.00   | \$650.00   | \$650.00   |
| Fence Removal            | Taking down all fence panels and fence posts including concrete and organizing in a stack where customer would like it placed in property.   | 429.00 | \$3.50     | \$1,501.50 |
| Coupon                   | 1x Single Walk Gate Credit For Privacy Installs Over 200'+ Linear Feet<br>(Offer Ends 10/31/25)  | 1.00   | (\$300.00) | (\$300.00) |

|                  |             |
|------------------|-------------|
| <b>Sub Total</b> | \$10,602.50 |
| <b>Total</b>     | \$10,602.50 |

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C U S T O M E R   N O T E S

---

Dura Fence - GALVANIZED  
(UN-Painted Post & Rails)  
3\*-RAIL

**3 A's Fencing & More**

Summerfield, Fl

(352)454-8538

aaafencing3@gmail.com

**Proposal/Contract**Estimate Date: 10-18-25Valid for: 20 DaysPrepared by A.D

Residential or Commercial

CONTRACT NO. 1001

Customer Name Shelly

Home Ph:

Address 1705 N.W. 16th CourtCell Ph.: 352-512-2654City, St, Zip Ocala, FL 34475

Fax / Other:

Subdivision

Email: Shlwas4@gmail.com Vinyl

Lineal Feet:

415Yes or No Wood

Height:

6FT Chain Link

Color:

White Aluminum

Style:

Privacy Other

Caps:

Fence follow to contour of Ground.

Fence to top level.

Removal & Disposal of Existing Fence 203 Ft.

Clearing of Fence - Line Needed

Clearing to be done by: Customer or CompanyHOA Approval Required No

County

Permit Required

Marion NO**Gates:**Qty 1 Double Size: 10FTQty 2 Size: 5FT

Qty \_\_\_\_\_

Other \_\_\_\_\_

**SPECIAL NOTES:**One 50LB bag of mixed concrete on each post  
30 inches underground.Company Calls 811Includes Wood Fence RemovalDown Payment \$ 50%**Property / Fence Layout****TOTAL SUMMARY**Total Contract Amount: 13,120.00

Deposit/Down Payment: \_\_\_\_\_

Other Debit/Charge: \_\_\_\_\_

Sales Tax: 7.5%TOTAL DUE: 14,104.00**PAYMENT**

Cash

Check

Credit Card

Other

Name on CC: \_\_\_\_\_

CC Number: \_\_\_\_\_

Exp Date: \_\_\_\_\_

Fence Height Regulation  
Ady - R2 Site  
Manager's name AndrewA. K. Duran10-18-25

Customer Signature

Date

3 A's Fencing More

Date



## Evans outdoor ops

1170 Northwest 243rd Terrace | Newberry, Florida 32669  
3526824969 | evansoutdoorops@gmail.com | <https://evansoutdoor.com/>

**RECIPIENT:**

**Ms. Washington**

1705 Northwest 16th Court  
Ocala, Florida 34475

### Quote #8

Sent on

Jan 05, 2026

**Total**

**\$960.00**



## Evans outdoor ops

1170 Northwest 243rd Terrace | Newberry, Florida 32669  
3526824969 | evansoutdoorops@gmail.com | <https://evansoutdoor.com/>



## Evans outdoor ops

1170 Northwest 243rd Terrace | Newberry, Florida 32669  
3526824969 | evansoutdoorops@gmail.com | <https://evansoutdoor.com/>

| Product/Service                       | Description  | Qty. | Unit Price | Total    |
|---------------------------------------|--|------|------------|----------|
| Full yard refurbish / gravel driveway | 1. Travel & Mobilization<br><br>\$60<br>Covers drive time, fuel, loading/unloading equipment, and mobilization.  | 1    | \$960.00   | \$960.00 |
|                                       | 2. Hard Edging (Beds, Driveway, Walkways)<br><br>\$120<br>Defined, straight hard edges along lawn borders, rock beds, and transitions to give the yard a clean, intentional look.  |      |            |          |
|                                       | 3. Rock Bed Cleanout & Refresh<br><br>\$140<br>Hand removal of weeds, debris, and overgrowth from existing rock beds. Beds are reset and shaped for a cleaner appearance (no chemical weed control).   |      |            |          |
|                                       | 4. Mulch Installation – Front Tree<br><br>\$80<br>Install fresh mulch around one front tree, including light prep and shaping for a clean, finished look.  |      |            |          |
|                                       | 5. Final Blow, Detail & Walkthrough<br><br>\$60<br>Full cleanup of hard surfaces, turf, and beds. Final detailing to ensure the property looks sharp and well-maintained.  |      |            |          |
|                                       | <b>BASIC YARD REFRESH TOTAL: \$460</b>   |      |            |          |
|                                       | 6. Gravel Driveway Refresh (Top-Dress)<br><br>\$500<br>Add and spread new gravel over existing driveway to improve appearance and coverage. Includes light leveling and smoothing.<br>Note: Price assumes existing base is intact and accessible. Additional base work would be quoted separately if needed. |      |            |          |



## Evans outdoor ops

1170 Northwest 243rd Terrace | Newberry, Florida 32669  
3526824969 | evansoutdoorops@gmail.com | <https://evansoutdoor.com/>

**Total**

**\$960.00**

Your lawn deserves the best—and we're here to deliver. This quote includes everything you need to keep your yard looking sharp, clean, and healthy all season long.. Approve your quote today and let us take care of the rest. We'll get the job done right—no stress, no hassle.

Looking forward to working with you! This quote is valid for the next 30 days, after which values may be subject to change.

### Terms and Conditions

By approving this quote, you agree to the following:

- Services will be performed as outlined in the quote.
- Half Payment is due upfront and the last half upon completion unless otherwise agreed.
- Access to the property must be available on the scheduled service date.
- Additional charges may apply for overgrown lawns, debris removal, or unexpected conditions not listed in the quote.
- Cancellations require 24 hours notice to avoid a service fee.

Weather Disclaimer: Service dates may change due to weather conditions. We'll notify you of any delays and reschedule as soon as possible to keep your property in top shape.

We're committed to providing reliable, high-quality service every time.



FL. LIC. #CFC1433617

### **Estimate for Landscape Installation**

Beginning the *11/10/2025*, Marion Precision Lawn and Landscape LLC, will provide *1706 NW 16<sup>TH</sup> CT*, Ocala Fl with the following services.

Upon arrival Marion Precision will:

|  |                         |
|--|-------------------------|
| - Install (2) Cubic yards of White river stone | 2 x \$395.00 = \$790.00 |
| - Install (200) Sq Ft of Weed Barrier          | 200 x \$1.50 = \$300.00 |
| - Install (40) Ft of black steel edging        | 40 x \$6.00 = \$240.00  |
| - Install (5) Sunshine Ligustrum 3G            | 5 x \$25.00 = \$125.00  |
| - Site Prep, Clean up and disposal.            | \$445.00                |

**Total - \$1900.00**

**Project Notes** – Marion Precision will remove the current stone that is up against the house and to the left of the front door. Marion Precision will also remove the shrubs that are to the right of the front door. The new stone will go in the area where the old stone is removed and where the shrubs are removed. The black steel edging will be used where the stone is to keep it separate from the grass. The Sunshine Ligustrum will be placed where the new stone is being used. All old material will be hauled away and disposed of by Marion Precision.

### **Insurance/ Workman's Compensation/Licensing**

Marion Precision holds an active Florida Plumbing License for Irrigation (CFC1433617) issued by DBPR (Florida Department of Business and Professional Regulation). Marion Precision is insured in all aspects. Marion Precision carries a \$2,000,000 Aggregated policy along with a \$1,000,000 General Liability policy on all employees to include the owner. Workman's Compensation is also carried on all employees. All drivers employed with Marion Precision are approved by the company Auto Insurance Provider. Insurance Certificates can be produced upon request. Marion Precision is deemed qualified Per the city of Ocala/Marion County and the State of Florida regulations to operate in our field of work.

### **Terms and conditions**

The line-item quantity listed above is an estimation. If more material is required, it will be invoiced at the same cost as estimated. If the project does not require the estimated material, the invoice will be reduced at the same rate as estimated.

Due to the constant increase in supply/demand regarding materials, fuel and other supplies, any estimate older than (30) days will be subject to reevaluation. All materials are the property of the installer (Marion Precision) until the balance is paid. Marion Precision is not responsible for damage to the non-located underground. Any existing inground irrigation pipe damaged during the installation of new landscape will be fixed at the cost of labor and material only. Balance is due upon completion.

Preferred method of Payment (Please Initial One of the following)

Cash \_\_\_\_\_

Check \_\_\_\_\_

Credit/Debit \_\_\_\_\_ + 4% Fee from the processing company

Drafted by:

By: Derek Vitale

Print Name: Derek Vitale

Date: \_\_\_\_\_  
Marion Precision Lawn & Landscape

Approved by:

By: \_\_\_\_\_

Print Name: \_\_\_\_\_

Date: \_\_\_\_\_



# Mike's Painting & Pressure Washing, Inc.

www.ocalapaint.com  
13750 SW 61st Place Road  
Ocala, Fl. 34481

Phone # (352)489-2253

mikespaint@att.net

# Estimate

| Date      | Estimate # |
|-----------|------------|
| 11/3/2025 | 12018      |

|                 |
|-----------------|
| Project Address |
|-----------------|

Included

Labor & Materials

|   |
|---|
| Shelly Washington<br>1705 NW 16th Court<br>Ocala, Fl. 34475 |
|---|

|   |
|---|
| <b>Billing Name/Address</b>   |
| Shelly Washington<br>1705 NW 16th Court<br>Ocala, Fl. 34475<br>(352) 512-2654 |

| Item   | Description  | Total                      |
|--|--|----------------------------|
| 039 Ext  | <p>Exterior Paint (Main House Only)</p> <p>Clean: Chemical wash using a Hydro-Tek 250 degree hot water, 20% chlorine &amp; 80% water from fascia down on home to rid mold/mildew. Rinse using low pressure and 100% water.</p> <p>Prep: Dig a perimeter around home to reach down farther as needed. Remove gutter downspouts, light fixtures etc. as needed. Caulk all window and door frames as needed. Tape, caulk &amp; cut in window frames to achieve a straight line. Fill all cracks using a Elastomeric caulk. Scrape additional loose &amp; or flaking paint (There will still be areas that you will have paint overlapping). Cover, tarp all areas to be painted.</p> <p>Paint: Apply TWO COATS, sprayed, brushed and or rolled using Behr Premium Plus satin/semi-gloss finish.</p> <p>Painting includes the following substrates:</p> <p>Main House: Wood fascia, wood soffit, wood siding, block, including inside screen porches, wood surrounding screens in &amp; out of porches that are accessible without removing screens, wood window/door trim, window sills, 5 attached wood shutters, 1 front door &amp; frame, pre-painted handrailings/steps attached to house, pre-painted electrical/utility boxes, poles, wires.</p> <p>Painting excludes the following substrates:</p> <p>Metal flashing, inside garages, all additional areas and or items not listed under included.</p> <p>* NOTES: Rising does not include wood repair. Customer's daughter noted that they will remove faux stone skirting prior to service. There are numerous paint splatter/drips.</p> <p>Free color consultation with signed estimate. No deposit needed. Payment to be made in full upon completion of service. All coupon offers included.</p> <p>5% Papermint Coupon Discount Offer on Complete Exterior Paint</p> <p>Discount is offered only if in stock warehouse colors are used</p> | 4,495.00                   |
| 5% discount  |  | -224.75<br>-750.00         |
| Due to the economic impact of fuel costs, estimates are valid for 14 days. | Terms<br>upon completion of service  | <b>Total</b><br>\$3,520.25 |

|  |
|--|
| All bushes, shrubs etc. must be trimmed off of home prior to exterior services painting. Before & After pressure/chemical washing, customer is responsible to water bushes, hedges, grass etc. All light small objects such as; pictures, nic-nacs, breakables must be removed prior to interior painting. All work to be completed in a professional manner according to the standard practices. All services are weather permitting. There is no warranty and or guarantee on cracks reappearing as well as no warranty on the following substrates: floor surfaces, aluminum/metal as such items; fascia,soffit, gutters/downspouts etc. and doors. |
| Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders and will become an extra charge over and above the estimate. By signing the estimate, customer is compliant with the terms and conditions of said service by Mike's Painting & Pressure Washing, Inc.  |
| All credit card payments will incur a 3.5% charge.   |

|   |
|---|
| Any area that is not free and clear of (bushes, shrubs, trees etc.being trimmed and or items in the way) for accessibility, that area may not get cleaned and or painted, Mike's will not come back at a later date to do area. |
|---|

Signature \_\_\_\_\_

Date \_\_\_\_\_

Cancellation of service will incur a charge for all work completed and or in progress, materials, color consults and for office costs and time for scheduling. Cancellation charges are 10% of the estimate total or \$100.00 which ever is greater plus \$150.00 for color consultation cost and any materials and or labor used.



## Prodigy Painting Services

529 SE 35th Ave

Ocala, FL 34471-2959

+13522168501

prodigypaintingestimates@gmail.com

<http://wwwwelovetopaint.com>

## Estimate

### ADDRESS

Shelly Howard  
1705 NW 16th CT  
Ocala, FL

ESTIMATE # 2350

DATE 10/14/2025

### JOBSITE ADDRESS

Exterior

| ACTIVITY  | QTY   | RATE   | AMOUNT   |
|---|-------|--------|----------|
| House and 3 sheds, Wood Siding will be caulked and then painted 2 coats SW Super paint up to 2 colors, Windows, concrete, plants, and fixture will be covered/ protected from overspray and paint drops. All paint and materials are included in price. (priced per sqft) | 4,096 | 0.85   | 3,481.60 |
| Chalky paint, primed with Lox On Conditioner Clear. Warrantee voided if declined. Any raw stucco will get spot primed with surface specific primer Wood or Masonry (priced per sqft)  | 4,096 | 0.25   | 1,024.00 |
| Exterior Doors sanded and painted (price per door, doors may be miscounted)   | 1     | 100.00 | 100.00   |
| Exterior Garage/ carport ceilings painted 2 coats with Sherwin Williams Super Paint in Flat or Satin Sheen. Fans, Fixtures, concrete, and screens covered. (priced per SqFt)  | 720   | 0.95   | 684.00   |
| Pressure wash house thoroughly. Warrantee voided if declined (add driveway and or inside gutters for a few bucks more.)   | 1     | 300.00 | 300.00   |

Thank you for your business! We accept Check, Bank Transfer, Zelle app, and Credit Cards (Credit Cards add 3% transaction fee) Prior to painting, whole house will be pressure washed thoroughly. Any cracks or small holes will be repaired. All plants, concrete, windows, and fixtures will be covered/protected from any overspray or paint drips. Walls (stucco) will be primed with Lox On conditioner then painted 2

|              |                   |
|--------------|-------------------|
| SUBTOTAL     | 5,589.60          |
| DISCOUNT 5%  | -279.48           |
| TAX          | 0.00              |
| <b>TOTAL</b> | <b>\$5,310.12</b> |

coats Sherwin Williams Super paint up to 2 colors. 3 layers of coverage. Exterior front and back porch ceilings will be painted. Soffit, fascia and/or gutters will be spray painted white or same color. Exterior metal doors will be painted. No Doors on house will be painted (getting replaced). All paint and materials included in price. Job will take up to 3 days to complete. Warrantee expires 5 years from Invoice date.

Thank you for your time meeting me and going over your project. We would love to work with you!

Accepted By

Accepted Date



## RESIDENTIAL RETREAT AGREEMENT FOR NATIVE SUBTERRANEAN AND FORMOSAN TERMITE BAIT TREATMENT AND FOR DRYWOOD TERMITE SPOT TREATMENT (BV)

Prevention of Subterranean & Formosan Termites  Control of Drywood Termites

1. **ORKIN LIMITED RETREATMENT SERVICE ("Service"):**
  - A. Orkin shall perform a spot treatment of Customer's structure for Drywood Termites and a treatment for Native Subterranean or Formosan termites using the treatment specified in the Treatment Report for the control of Drywood Termites and for the prevention of Native Subterranean or Formosan Termites. This treatment does not include fumigation. Orkin does not guarantee that termites will never return to the treated structure ("Treated Premises"). If termites do return as indicated by evidence of a live Drywood, Native Subterranean, or Formosan termite infestation, Orkin will retreat that area in a manner that may include liquid treatments as specified by Orkin. **This Service does not cover any damage to the structure or its contents.**
  - B. **IMPORTANT:** Service includes Bait System installation and monitoring as specified by Orkin and liquid treatments as specified by Orkin. If, Orkin, for whatever reason, changes the type of bait being used or ceases to offer a bait program in this area, an appropriate alternative treatment method will be determined by and performed by Orkin at no charge to the Customer. The bait stations and all components are not owned by the Customer and may be removed by Orkin at its discretion, at any time, for replacement with an alternative treatment method, upon the termination of this Agreement or if Orkin ceases to offer a bait program in this area. The Service coverage of this Agreement will remain in effect through any pre-paid period of coverage. Thereafter, Orkin will provide a Service identical to the Service set forth in this Agreement for a renewal fee not to exceed the Annual Monitoring Fee as set by this Agreement.
  - C. **This service shall expire one (1) year from the date of initial treatment; however, it may be renewed annually by payment of the renewal fee as set forth in Paragraph 3. Following the first year of service, either party may terminate the Service at the end of a service year by giving written notice at or before the end of a service year.**
  - D. Customer is required to make the Treated Premises accessible to Orkin for any inspections and treatments as Orkin deems necessary. This may include removing floor coverings, wall coverings and fixtures, for which the responsibility and costs rest exclusively with Customer. If the Customer fails to comply with these obligations, Orkin may, at its option, terminate the Agreement.
  - E. **The Customer agrees to be solely responsible for maintaining the Treated Premises free from any conditions conducive to termite infestation ("Conditions Conducive," see paragraph 9 for explanation).** If any Conditions Conducive exist but is not visible at the time of the execution of this Agreement, then Orkin shall not be responsible for treating or retreating areas of the Premises where termite activity resulted from such Condition Conducive. The Customer agrees to be solely responsible for identifying and correcting Conditions Conducive. This responsibility rests exclusively with the Customer, not with Orkin. The existence of any Condition Conducive shall relieve Orkin of responsibility for treating or retreating areas of the Premises where termite activity resulted from the Condition Conducive. In addition, the existence of a Condition Conducive that was not timely corrected will permit Orkin, at its sole discretion, to terminate the Agreement or to require Customer to purchase any additional treatment required.
  - F. Prior to making any structural modification or alteration (to include installation of spray foam insulation) or disturbing the soil in, adjacent to or under the Treated Premises, Customer must notify Orkin in writing and purchase any additional treatment required by the changes. The failure of Orkin to notice any such change does not release Customer from this obligation. If Customer fails to do so, Orkin will not be responsible for damages occurring after the modification, alteration or disturbance, and, at its option, Orkin may terminate the Agreement.
  - G. **Customer agrees not to remove, tamper with, or cover the bait stations.**
  - H. **Orkin is performing a service and expressly disclaims any guarantee of any kind, whether expressed or implied, for any injury or damage related to the service performed. Customer expressly releases Orkin from any claim for termite damage or repair.**
2. **OTHER INFESTATIONS:** Customer waives and releases Orkin from any liability for any claim or damages to the structure or its contents caused by an infestation of Wood Destroying Fungi, Wood-boring Beetles or any other Wood Destroying Insects not specified herein.
3. **A. PAYMENTS:** The initial payment covers any necessary spot treatment(s) that Orkin deems necessary for the control of Drywood Termites, the installation of the bait stations for the prevention of Native Subterranean and Formosan Termites, and the first year's monitoring service, and is due at the time the initial treatment is performed. After the first year, the Monitoring Fee will be assessed on an annual or quarterly basis. By payment of the Monitoring Fee, this Agreement may be renewed on an annual or quarterly basis. As long as Customer keeps the Monitoring Fee current, Orkin will monitor Customer's structure and maintain the Service under this Agreement.
- B. **MONITORING RENEWAL FEE PRICE PROTECTION:** In order to maintain this Agreement and the Service, Customer shall pay a Monitoring Fee. The Annual Monitoring Fee for year two (2) of the Agreement will be **\$396**, plus tax where applicable. Thereafter, for the Service period, Orkin shall have the right to increase the Annual Monitoring Fee by an amount not to exceed the consumer price index or by an amount not to exceed ten percent (10%), whichever is greater. If Orkin does not increase the Annual Monitoring Fee in any one or more years, at any subsequent increase Orkin may cumulatively include any amount it would have been permitted to increase in that prior year or period of years.
4. **REINSPECTION:** Orkin shall reinspect the treated structure as deemed necessary by Orkin or once a year, if requested by Customer. An annual inspection will be made by Orkin if required by applicable State law or regulations. Any reinspection is separate from and independent of Customer's obligation to pay the annual renewal.
5. **CUSTOMER INITIALS: DISPUTE RESOLUTION:** (A.) **Mediation/Arbitration:** Any controversy or claim arising out of or relating to this agreement, or the services performed by Orkin under this agreement or any other agreement, regardless of whether the controversy or claim arose before or after the execution, transfer or acceptance of this agreement, including but not limited to any tort and statutory claims, and any claims for personal or bodily injury or damage to real or personal property, shall be settled by binding arbitration. Unless the parties agree otherwise, the arbitration shall be administered under the rules of the American Arbitration Association ("AAA") and shall be conducted by AAA. If administered under the AAA rules, a claim shall be determined under the AAA supplementary procedures for consumer related disputes in cases where such procedures are applicable. Any other controversy or claim shall be determined under the AAA Commercial arbitration rules. The customer and Orkin agree that the arbitrator shall follow the substantive law, including the terms and conditions of this agreement. Either party has the right to require a panel of three (3) arbitrators, but in the absence of the parties' Agreement, the requesting party shall be responsible for the cost of the additional arbitrators. Either party may request at any time prior to the hearing that the award be accompanied by a reasoned opinion. The award rendered by the arbitrator(s) shall be final and binding on all parties, except that a party may within 30 days of the original award request an arbitral appeal to an appeal tribunal, constituted in the same number and by the same process as the initial arbitrator(s). The appealing party shall be responsible for the filing fee and other arbitration fees and costs subject to award by the appeal tribunal under applicable law. The appeal tribunal shall review all questions of law and fact under a clearly erroneous standard. The award of the appeal tribunal shall be final and binding. Judgment may be entered on the award in any court having jurisdiction thereof. Customer and Orkin acknowledge and agree that this arbitration provision is made pursuant to a transaction involving interstate commerce and shall be governed by the federal arbitration act. Before having recourse to arbitration, Customer and Orkin each agrees to try in good faith to settle any controversy or claim by at least four (4) hours of mediation administered under the AAA commercial mediation rules with Orkin agreeing to pay the costs of the mediation. The AAA may be contacted at the toll-free number 800.778.7879, or through the following website: <http://www.adr.org>. (B.) **Class Action Waiver:** any legal proceeding of any nature must be brought in the party's individual capacity, and not as a plaintiff or class member in any purported class action, collective action, private attorney general action, or multiple plaintiff or similar representative proceeding.
6. **LIMITATION OF LIABILITY:** Customer expressly waives any claim for economic, compensatory, or consequential damages relating to the existence of termites or termite damage, including without limitation claims for increased costs, loss of use, business interruption, diminution of value, or any "stigma" damage due to the presence of termites or termite damages. The Customer acknowledges that Orkin is performing a service and except for any damage to the structure caused by Orkin in the performance of its services, Customer waives any claim for damages, including property damage. Customer agrees that under no circumstances shall Orkin be held liable for any amount greater than the amount paid by the Customer to Orkin for the termite service to be provided. **Nothing in this Agreement shall be construed as depriving the customer of remedies available under applicable state consumer protection laws.**
7. **LIMITED ASSIGNABILITY:** This Agreement is assignable to the new owner of the property under the following conditions: (a) the new owner presents the Orkin branch office written notice requesting that the Agreement be assigned; b) Orkin conducts, at its discretion, an inspection of the property, the results of which must be satisfactory to Orkin; (c) Orkin consents in writing to the assignment of the Agreement; and (d) the new owner pays any outstanding renewal fees.
8. **CHEMICAL INFORMATION WARNING:** Customer shall notify all persons on the premises that Orkin will be applying pesticides in and around the premises, and that virtually all pesticides have some odor which may be present for a short time after application. If Customer knows of any person on the premises who believes they have a sensitivity to pesticides or who has a medical condition affected by pesticides, then Customer shall so notify Orkin in writing. At Customer's request, Orkin will provide information about the chemicals to be used in treating the premises.
9. **CONDITIONS CONDUCIVE:** Conditions Conducive include, but are not limited to: roof leaks, improper ventilation, faulty plumbing, and water leaks or intrusions in or around the structure; inherent structural problems, including, but not limited to, wood to ground contact, masonry failures, spray foam insulation and settlement of the foundation; other foam insulation, stucco construction, expanded polystyrene or styrofoam molded foundation systems, siding (including vinyl, wood and metal) in contact with the ground, mulch, or other protective ground covering; and firewood, trash, lumber, wood, mulch, shrubs, vines, and other protective ground covering in contact with structure.
10. **ENTIRE AGREEMENT:** This Agreement and the attached Treatment Report shall be the entire Agreement between Customer and Orkin. Customer warrants and acknowledges that Customer has not relied on or been induced by any other agreements, understandings or representations, whether written or oral, in signing this Agreement. The terms of the Agreement stated herein may not be amended or altered, unless a written change is approved and signed by a Corporate Officer of Orkin. No other employees or agents of Orkin have authority to amend or alter any part of this Agreement. As to paragraph 5, **MEDIATION/ARBITRATION**, if the sentence precluding the arbitrator from conducting an arbitration proceeding as a class, representative or private attorney general action is found to be invalid or unenforceable then the entirety of paragraph 5 shall be deemed to be deleted from this Agreement.
11. **APPLICABLE LAW:** This Agreement shall be governed by and construed under the laws of the State of Georgia, without regard to its conflicts of laws principles.
12. **FORCE MAJEURE (Circumstances beyond Orkin's control):** Orkin's obligations under this Agreement shall be cancelled if Orkin cannot perform its responsibilities due to Acts of God, including, earthquakes, storms, fires, floods, pandemics, or because of a material change in circumstances including but not limited to acts of war, inaccessibility of the property, strikes, unavailability of termiteicide, baits or other supplies from ordinary sources.
13. **TERMINATION BY ORKIN:** Orkin may terminate this Agreement, without notice, if the obligations set forth in this Agreement are not met by Customer, or in the event of a change in state or federal law or regulation that materially affects Orkin's obligations under this Agreement.
14. **MONEY BACK GUARANTEE: ORKIN GUARANTEES THAT IF CUSTOMER IS NOT COMPLETELY SATISFIED WITH ORKIN'S TREATMENT, ORKIN WILL REFUND CUSTOMER'S INITIAL TREATMENT CHARGE AND ANY PREPAID MONITORING FEES IF CUSTOMER CONTACTS ORKIN IN WRITING AT THE BRANCH ADDRESS BELOW WITHIN 30 DAYS AFTER CUSTOMER'S INITIAL TREATMENT, AND ORKIN FAILS TO RESOLVE CUSTOMER'S PROBLEM WITHIN 30 DAYS AFTER RECEIVING IT. A REFUND BY ORKIN OF CUSTOMER'S INITIAL TREATMENT CHARGE AND ANY PREPAID MONITORING FEES WILL RESULT IN CANCELLATION OF THIS AGREEMENT.**

**CANCELLATION: CUSTOMER MAY CANCEL THIS AGREEMENT AT ANY TIME PRIOR TO MIDNIGHT OF THE THIRD BUSINESS DAY AFTER THE DATE OF THIS TRANSACTION.**

**Shelly Washington** **10/24/25**

Customer Date

**1705 NW 16th Court**

Street Address (Treated Premises)

**Ocala** **Florida** **34475**

City State Zip Code

**(352) 512-2654**

Home Phone Work Phone

County Name Is this within the City Limits? Yes No

**Shelly Washington**

Billing Name (if different)

**1705 NW 16th Court**

Billing Address (if different)

**Ocala** **Florida** **34475**

City State Zip Code

Type of structure to be treated

**Daniel Marshall** **7000057**

Inspector Name (PRINT) Applicator's License #

**(352) 812-9182**

Branch Telephone Number

**10/24/25**

Branch Manager's Signature Date

AG1875APP (rev 9.25) Florida

|  |                    |
|--|--------------------|
| 1. Service Purchased:  |                    |
| a. Initial Treatment Cost  | \$ <b>1,667.00</b> |
| b. Initial Monitoring Cost                                       | \$ <b>396.00</b>   |
| c. Minus Adjustments   | \$ ( )             |
| d. Additional Annual Monitoring Fees <b>396</b> x <b>4</b> years | \$ <b>1,584.00</b> |
| Subtotal (sum a + b - c + d)                                     | \$ <b>3,647.00</b> |
| 2. Other Items:  |                    |
| a. Sales Taxes   | \$ <b>0.00</b>     |
| b. Other Fees  | \$ <b>0.00</b>     |
| Subtotal (sum a + b)   | \$ <b>0</b>        |
| 3. TOTAL: Price (sum 1 + 2)                                      | \$ <b>3,647.00</b> |
| 4. LESS: Down Payment  | \$ <b>0.00</b>     |
| 5. Unpaid Balance (3 minus 4)                                    | \$ <b>3,647.00</b> |

**METHOD OF PAYMENT:**

FINANCED - See Separate Finance Agreement

CASH - BALANCE DUE UPON COMPLETION OF WORK

CHECK # \_\_\_\_\_

PAYMENT OPTION FORM

**811 NE 16th St, STE 101**

Branch Street Address

**Ocala** **Florida** **34475**

City State Zip Code

**10/24/25**

Customer's Signature Date

Customer Email: shlwash4748@gmail.com

OFFICE COPY

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Customer Name: \_\_\_\_\_ Date of Transaction: **10/24/25**  
Customer Address: **1705 NW 16th Court** Ocala Florida 34475

## NOTICE OF CANCELLATION

You may cancel this transaction, without any penalty or obligation, within three business days from the above date.

If this Agreement was solicited at or near your residence and you do not want the goods or services, you may cancel this Agreement by mailing a notice to the seller. The notice must say that you do not want the goods or services and must be mailed before midnight of the third business day after you signed this Agreement. This notice must be mailed to the address below.

If you cancel, the seller may not keep any of your cash down payment. Moreover, any property traded in, any payments made by you under the Agreement or sale, and any negotiable instrument executed by you will be returned within 10 business days following receipt by the seller of your cancellation notice, and any security interest arising out of the transaction will be cancelled.

If you cancel, you must make available to the seller at your residence, in substantially as good condition as when received, any goods delivered to you under this Agreement or sale; or you may, if you wish, comply with the instructions of the seller regarding the return shipment of the goods at the seller's expense and risk.

If you do make the goods available to the seller and the seller does not pick them up within 20 days of the date of your notice of cancellation, you may retain or dispose of the goods without any further obligation. If you fail to make the goods available to the seller, or if you agree to return the goods to the seller and fail to do so, then you remain liable for performance of all obligations under the Agreement.

To cancel this transaction, mail or deliver a signed and dated copy of this cancellation notice or any other written notice, or send a telegram, to Orkin, LLC.

At **811 NE 16th St, STE 101** Ocala FL 34470  
(Address of Seller's place of business – Orkin office)

no later than midnight of \_\_\_\_\_  
(Date – Three Business Days After Date of Transaction)

I hereby cancel this transaction.

Date: **10/24/25** Buyer's Signature: \_\_\_\_\_

Buyer's Name (Print): **Shelly Washington**

Orkin can begin work as soon as possible. Permission, however, shall not be construed as a waiver of any of my rights under this notice of cancellation.

Yes  NO Buyer's Signature: \_\_\_\_\_ Date: **10/24/25**

OFFICE COPY

Shelly Washington



Customer Name: Shelly Washington Date of Transaction: 10/24/25  
Customer Address: 1705 NW 16th Court Ocala, Florida 34475

## NOTICE OF CANCELLATION

You may cancel this transaction, without any penalty or obligation, within three business days from the above date.

If this Agreement was solicited at or near your residence and you do not want the goods or services, you may cancel this Agreement by mailing a notice to the seller. The notice must say that you do not want the goods or services and must be mailed before midnight of the third business day after you signed this Agreement. This notice must be mailed to the address below.

If you cancel, the seller may not keep any of your cash down payment. Moreover, any property traded in, any payments made by you under the Agreement or sale, and any negotiable instrument executed by you will be returned within 10 business days following receipt by the seller of your cancellation notice, and any security interest arising out of the transaction will be cancelled.

If you cancel, you must make available to the seller at your residence, in substantially as good condition as when received, any goods delivered to you under this Agreement or sale; or you may, if you wish, comply with the instructions of the seller regarding the return shipment of the goods at the seller's expense and risk.

If you do make the goods available to the seller and the seller does not pick them up within 20 days of the date of your notice of cancellation, you may retain or dispose of the goods without any further obligation. If you fail to make the goods available to the seller, or if you agree to return the goods to the seller and fail to do so, then you remain liable for performance of all obligations under the Agreement.

To cancel this transaction, mail or deliver a signed and dated copy of this cancellation notice or any other written notice, or send a telegram, to Orkin, LLC.

At 811 NE 16th St, STE 101 Ocala, FL 34470  
(Address of Seller's place of business – Orkin office)

no later than midnight of \_\_\_\_\_  
(Date – Three Business Days After Date of Transaction)

I hereby cancel this transaction.

Date: 10/24/25 Buyer's Signature: \_\_\_\_\_

Buyer's Name (Print): Shelly Washington

Orkin can begin work as soon as possible. Permission, however, shall not be construed as a waiver of any of my rights under this notice of cancellation.

Yes  NO Buyer's Signature: \_\_\_\_\_ Date: 10/24/25

OFFICE COPY



OCALA  
425 SW 33RD AVE # A  
OCALA, FL 34474  
3524013004

Contract #: 71262-102525200440-7877  
Inspection Date: 10/25/2025  
Inspector: AVIS, BLAKE

Homeowner Name: SHELLY WASHINGTON  
Address: 1705 NW 16TH CT  
City State Zip: OCALA, FL,34475  
Home Phone: 3525122654  
Work Phone:

## Ultimate Protection Home Pest Inspection

Please pay special attention to findings and comments below as these may indicate conditions that can lead to termite and pest problems.

| EXTERIOR INSPECTION  |                                     |   |                                     |                  |
|--|-------------------------------------|---|-------------------------------------|------------------|
| PROPERTY DETAILS   |                                     |   |                                     |                  |
| Linear Feet:   | 289                                 | Built Pre 1985:                                       | <input checked="" type="checkbox"/> | Primary Use:     |
| # of Stories:  | 1                                   | Roof Type:  | Shingle Roof                        | Foundation Type: |
| Construction Type:   | Accessible Crawlspace               | Siding:   | Wood                                | Industry Type:   |
| Square Footage:  | 2154                                | Lot Size:   |                                     | # of Gas Meters: |
| Cubic Feet:  |                                     | Eave Height:  |                                     | Peak Height:     |
| PROPERTY HAS A:  |                                     |   |                                     |                  |
| Cistern:   |                                     | French Drain:   |                                     | Well:            |
| Visible Pond, Lake, Stream, or Waterway:   |                                     | Sprinkler System Present:                             |                                     |                  |
| Exterior Slab (False Porch) Over Basement Area:                                    |                                     | Gas Meter Have 3' Clearance:                          |                                     |                  |
| CONDUCIVE CONDITIONS   |                                     |   |                                     |                  |
| Indications of pests, rodents, termites, wildlife, or other wood-destroying pests? | <input checked="" type="checkbox"/> | Live Subterranean Termites Found?                     | <input checked="" type="checkbox"/> |                  |
| Damage Found?  | <input checked="" type="checkbox"/> | Trees/shrubs on or against home?                      | <input type="checkbox"/>            |                  |
| Conditions on or around foundation conducive to termite attack?                    | <input checked="" type="checkbox"/> | Foundation slab/wall visible?                         | <input checked="" type="checkbox"/> |                  |
| Conditions allowing water to collect around structure?                             | <input type="checkbox"/>            | Openings large enough for pest/rodent/wildlife entry? | <input checked="" type="checkbox"/> |                  |
| Gutters and downspouts clear of debris and standing water?                         | <input checked="" type="checkbox"/> | Siding Less Than 6" From Grade:                       | <input type="checkbox"/>            |                  |
| Styrofoam Insulation or "DRI-VIT" Below Grade?                                     | <input type="checkbox"/>            | Wood embedded in concrete?                            | <input type="checkbox"/>            |                  |
| Breeding Sites:  | None                                |   |                                     |                  |



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3524013004

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Inspection Date: 10/25/2025  
Inspector: AVIS, BLAKE

## INTERIOR INSPECTION

### PROPERTY DETAILS

Sump Pump: A/C - Heat Ducts in or Below Slab:

Plenum A/C - Heat System: Radiant Heat:

### CONDUCIVE CONDITIONS

Indications Of Pests, Rodents, Termites, Wildlife, Or Other Wood-Destroying Pests?  Live Subterranean Termites Found?

Damage Found?  Obvious Signs Of Leaks?

Musky Odors?  Bath Traps Installed Where Applicable?

Wall Separation/Cracks?  Sagging Or Bouncing Floors?

### ATTIC

Number Of Attics: Attic Access Location: None

Indications Of Pests, Rodents, Termites, Wildlife, Or Other Wood-Destroying Pests?

Adequate Ventilation? Adequate Insulation R-Value? Obvious Signs Of Leaks?

Attic Vents Screened? Asbestos Present?

### CRAWL SPACE

Number Of Crawl Spaces: 1 Crawl Space Access Location: Outside

Height Of Crawl Space: 24 High Point Of Crawl Space: 24 Low Point Of Crawl Space: 24

Distance Between Joists: 15 Depth Of Joists: 6 # of electrical connections: \_\_\_\_\_

Indications of pests, rodents, termites, wildlife, fungi, or other wood-destroying pests?

Wood debris, stored material or structure/ground contact?

Excessive Moisture?  Visible Plumbing Leaks?  Cracked foundation walls/supports?

Sagging Or Cracked Floor Joists?  Wood-Earth Contact?  Wood Debris In Crawl Space?

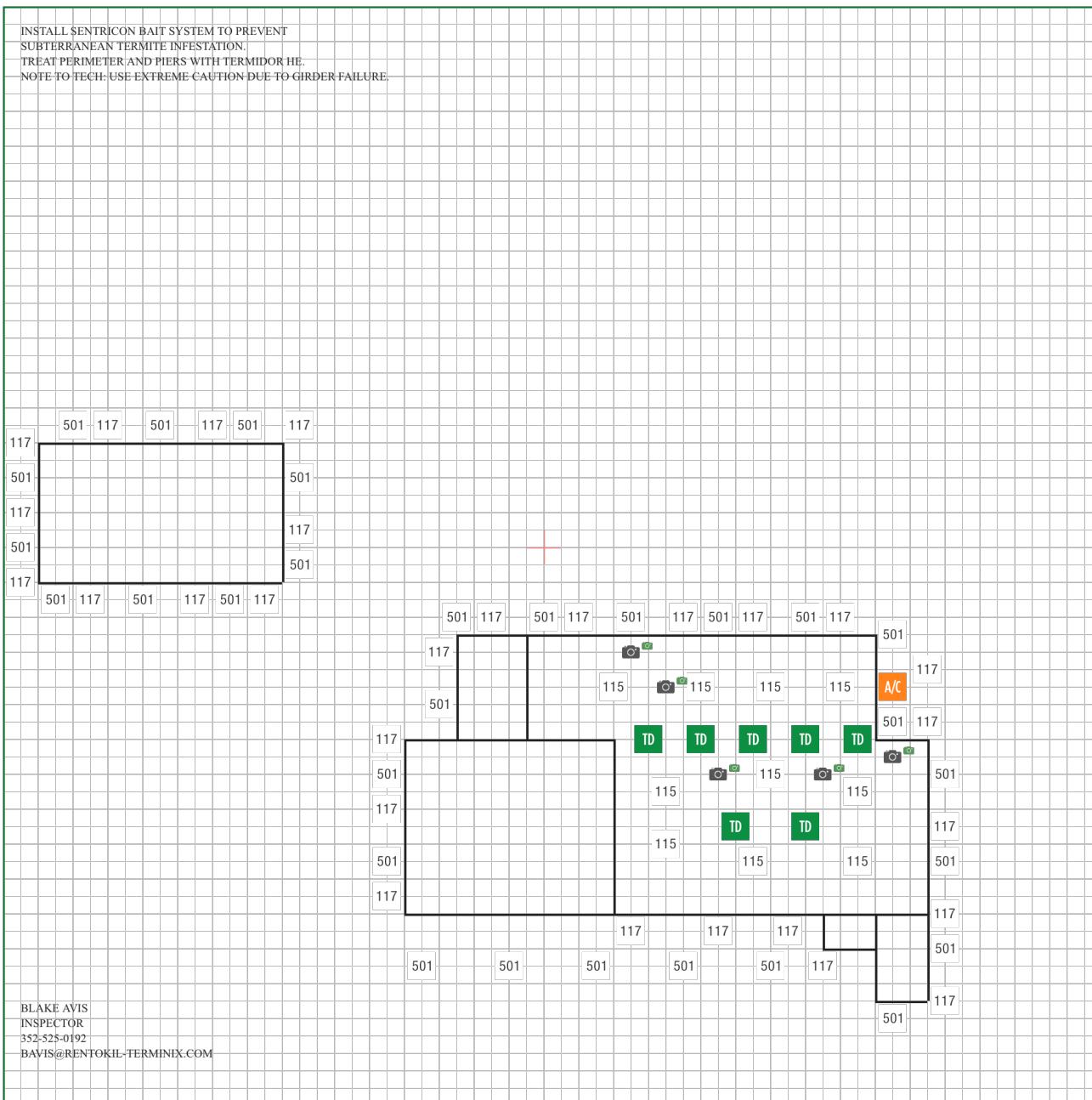
Inadequate Ventilation In Crawl Space?  Wood Embedded In Concrete?  Entire Crawl Space Accessible?

### INSPECTOR'S STATEMENT OF VISIBLE DAMAGE

Damage throughout crawl space. Date: 10/25/2025

### TECHNICIAN'S STATEMENT OF VISIBLE DAMAGE

Date: \_\_\_\_\_



### Scale 1:

This graph is a record of a visual, non-destructive inspection by Terminix of certain readily accessible areas of the identified property for visible termite infestation/damage. Terminix is not responsible for repairs to damages disclosed above. In addition, hidden damage may exist in concealed, obstructed or inaccessible areas. No attempt to remove siding, plastic or sheetrock insulation, carpeting, paneling, etc. to search for hidden damage was made. Terminix cannot guarantee that the damage disclosed by visual inspection of the premises shown above represents the entirety of the damage which may exist as of the date of the initial control application. Terminix shall not be responsible for repair of any existing damage including without limitation, any damage which existed in areas or in structural members which were not accessible for visual inspection as of the date of this graph.

## FLOOR PLAN LEGEND

| PROPERTY ELEMENTS |                                  |  |   |  |   |
|-------------------|----------------------------------|--|---|--|---|
|                   | Exterior Gas Grill               |  | Water Shut-Off                                  |  | Sprinkler Shut-Off                          |
|                   | Air Conditioner                  |  | Cistern   |  | Exterior Slab Over Basement Area            |
|                   | Sump Pump                        |  | Visible Waterway                                |  | Gas Meter                                   |
| KEY TO EVIDENCE   |                                  |  |   |  |   |
|                   | Access Holes Allowing Pest Entry |  | Ant Activity                                    |  | Bed Bug Activity                            |
|                   | Carpenter Ants                   |  | Cellulose Debris                                |  | Dampwood Termites                           |
|                   | Earth Contact                    |  | Existing Damage                                 |  | Excessive Moisture                          |
|                   | Faulty Grade                     |  | Flies   |  | Formosan Termites                           |
|                   | Large Gaps                       |  | Mice  |  | Mosquitoes                                  |
|                   | Possible Hidden Damage           |  | Powder Post Beetles                             |  | Powder Post Beetle Damage                   |
|                   | Roaches                          |  | Rigid Board / Foam Insulation at or Below Grade |  | Rodents                                     |
|                   | Rodent Droppings                 |  | Rodent Tunneling In Insulation                  |  | Rodent Tunneling Under Slab Or Concrete Pad |
|                   | Siding Less Than 6" From Grade   |  | Spiders   |  | Styrofoam Insulation Or DRI-Vit Below Grade |
|                   | Termite Damage                   |  | Active Termites                                 |  | Wood Boring Beetles                         |
|                   | Wood Embedded In Concrete        |  |   |  | Gas Meter                                   |



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## FLOOR PLAN LEGEND

### MOSQUITO REPELLENT SYSTEM



10 ft. Cable



24 ft. Cable



Controller



Deck Mount



Ground Stake



Hardscape Base



Repeller



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## FLOOR PLAN LEGEND

### GENERAL TREATMENT SPECIFICATIONS

|      |   |      |   |
|------|---|------|---|
| 117  | Trench or trench/rod soil adjacent to exterior foundation walls   | 117A | Vertically drill exterior attached slabs and treat soil beneath along point of attachment   |
| 118  | Excavate soil beneath dirt-filled porch slab at point(s) of attachment to the structure and treat soil beneath  | 120  | Vertically drill the dirt-filled porch slab and treat the soil beneath the slab along the point(s) of attachment to the structure |
| 121A | Drill the exterior foundation wall of a crawl space or basement from the inside and treat the soil immediately beneath the dirt-filled porch slab by short-rodding along the point(s) of attachment to the structure              |      |   |
| 121B | Drill through each side of the dirt-filled porch foundation wall per product label specifications and treat the soil immediately beneath the dirt-filled porch slab by short-rodding along the entire inside perimeter of the DFP |      |   |
| 121C | Drill foundation walls of the dirt-filled porch and treat the soil immediately beneath the slab by long-rodding adjacent to the entire inside perimeter of the DFP  |      |   |
| 128  | Trench, remove, and treat soil by the Backfill Method (see label)   | 129  | Drill and treat voids of a double brick foundation wall per product label specifications  |
| 130  | Drill and treat voids of a stone foundation wall per product label specifications   | 131  | Drill and treat voids of a triple brick foundation wall per product label specifications  |
| 132  | Drill and treat voids of a hollow block foundation wall per product label specifications  | 133  | Drill and treat voids of a brick veneer foundation wall per product label specifications  |
| 134  | Drill and treat all voids of a chimney per product label specifications   | 138  | Drill and treat a subterranean termite infested wooden sill or plate  |
| 140  | Drill and treat a subterranean termite infested wooden joist/s  | 145  | Drill into voids of termite infested wood and inject product into inaccessible voids, termite galleries and nests                 |
| 146  | Make small openings into termite shelter tubes and inject product inside  | 147  | Make multiple openings into carton nests in building voids or in trees and make multiple injections of products to varying depths |
| 160  | Trench, trench and rod, or rod soil of planter box adjacent to the exterior foundation wall according to state specific treatment standards or to label directions, whichever apply   |      |   |
| 501  | Install In-ground Monitoring Station  |      |   |

### NON-CHEMICAL TREATMENT SPECIFICATIONS

|      |  |     |  |
|------|--|-----|--|
| 101  | Provide at least 14" clearance between wood and soil in the crawl space        | 102 | Install access to ceiling of basement for inspection and/or treatment  |
| 104  | Install door/s to provide access for treating soil adjacent to plumbing        | 105 | Install crawl space access door  |
| 106  | Install Automatic Vents  | 109 | Remove cellulose debris and/or any other debris that would interfere with inspection or treatment in the crawl space |
| 109A | Remove form boards   | 110 | Scrape off termite tunnels   |
| 111  | Set wooden supports on concrete pads to properly insulate wood to soil contact | 135 | Cut off stucco at least 3" above grade and remove stucco below grade   |
| 149  | Remove wood to ground contacts   | 152 | Break ground contact on step stringers   |
| 161  | Prepare floor surface for drilling   | 205 | Install a vapor barrier over the soil of a crawl space   |
| 206  | Install floor supports to provide additional support                           |     |  |



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## FLOOR PLAN LEGEND

### BASEMENT TREATMENT SPECIFICATIONS

|     |  |     |                                      |
|-----|--|-----|--------------------------------------|
| 122 | Vertically drill basement concrete slab floor and treat the soil beneath | 144 | Drill and treat basement door frames |
|-----|--|-----|--------------------------------------|

### CRAWL SPACE TREATMENT SPECIFICATIONS

|     |   |     |  |
|-----|---|-----|--|
| 114 | Trench or trench/rod soil adjacent to the inside of the foundation walls of a crawl space | 115 | Trench or trench and rod soil adjacent to the piers of a crawl space |
| 116 | Trench or trench and rod soil adjacent to soil pipes of a crawl space                     | 119 | Trench or trench and rod soil adjacent to a chimney of a crawl space |

### EXCLUSION/WILDLIFE TREATMENT SPECIFICATIONS

|     |                                       |     |   |
|-----|---------------------------------------|-----|---|
| 900 | Trap - Wildlife                       | 901 | Install Mushroom/Turbine Vent Cage - Roof |
| 902 | Seal Mushroom/Termite Vent - In Attic | 903 | Install Plumbing Vent Cap - Roof          |
| 904 | Screen Gable Vent                     | 905 | Screen Foundation Vent                    |
| 906 | Screen Soffit Vent                    | 907 | Repair Roof Return                        |
| 908 | Seal Pipe Penetration                 | 909 | Seal Hole In Wall/Foundation, Floor, Etc. |
| 910 | Install One-Way Door Exclusion Cage   | 911 | Install Garage Door Seal                  |
| 912 | Install Dryer Vent Cover - Wall       | 913 | Install Oven Vent Cover - Wall            |
| 914 | Install Oven Vent Cage - Roof         | 915 | Install Chimney Cap                       |

### PRE-CONSTRUCTION TREATMENT SPECIFICATIONS

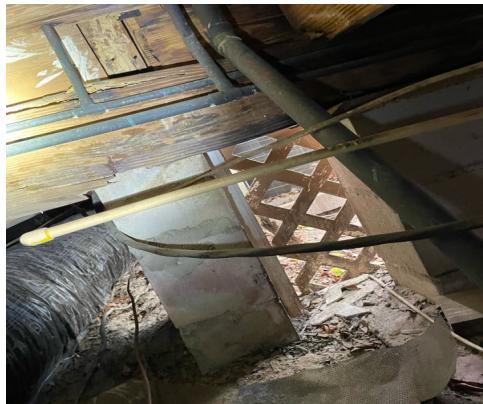
|     |  |     |  |
|-----|--|-----|--|
| 171 | Vertical treatment zone - trench or trench and rod soil adjacent to pillars and other interior foundation elements such as chimneys and soil pipes | 172 | Vertical treatment zone - trench or trench/rod soil adjacent to utility pipes, plumbing lines, and conduits that will penetrate through the slab (1 gallon/sqft)   |
| 173 | Horizontal treatment zone - make a horizontal treatment to the entire surface area of soil or substrate to be covered beneath the concrete slab    | 174 | Vertical treatment zone - upon completion of grading along the outside of the exterior foundation wall, treat the backfill by trenching or trenching/rodding the soil adjacent to the exterior foundation wall |

### SLAB TREATMENT SPECIFICATIONS

|      |   |       |  |
|------|---|-------|--|
| 122A | Drill the slab per product label specifications along the expansion joint where two slabs meet and treat soil underneath  | 123   | Treat soil adjacent to plumbing penetrations   |
| 123A | Drill the slab along one side of the partition wall per product label specifications and treat the soil beneath   | 123AA | Drill the slab along both sides of a load-bearing wall per product label specifications and treat the soil beneath |
| 124  | Drill through the exterior foundation wall immediately below the slab per product label specifications and treat the soil beneath by short-rodding from the outside | 126   | Vertically drill the slab along the inside perimeter of the foundation walls and treat the soil beneath the slab   |



Other



Other



Other



Other



Other



**SUBTERRANEAN TERMITE TREATMENT AGREEMENT**  
**TEN-YEAR PLAN**

**THIS CONTRACT PROVIDES FOR RETREATMENT OF THE INFESTED AREAS OF THE COVERED STRUCTURE(S) BUT SUBJECT TO THE EXCLUSIONS AND LIMITATIONS ON PAGE 2, DOES NOT PROVIDE FOR THE REPAIR OF DAMAGE CAUSED BY SUBTERRANEAN TERMITES.**

Purchaser: SHELLY WASHINGTON Home Phone: 3525122654 Work Phone: \_\_\_\_\_  
 Purchaser Mailing Address: ,  
 Property Address: 1705 NW 16TH CT, OCALA, FL 34475  
 Description of Structure(s) Covered: Detached Garage, House Email: shlwash4748@gmail.com

**SERVICE / PAYMENT TERMS**

|  |    |         |
|--|----|---------|
| <b>INITIAL CHARGES* (Initial Treatment and Initial Term Fee)</b> ..... | \$ | 2924.00 |
| <b>ANNUAL RENEWAL CHARGE*</b> .....                                    | \$ | 395.84  |
| <b>TRANSFER FEE*</b> .....   | \$ |         |
| <b>BILLING FREQUENCY</b> .....   |    | Annual  |

\*Excludes tax (if applicable)

**NOTICE: YOU, THE PURCHASER, MAY CANCEL THIS TRANSACTION AT ANY TIME PRIOR TO MIDNIGHT OF THE THIRD BUSINESS DAY AFTER THE DATE OF THIS TRANSACTION. SEE THE ATTACHED NOTICE OF CANCELLATION FOR AN EXPLANATION OF THIS RIGHT.**

**NOTICE: TERMINIX MAY CANCEL THIS TRANSACTION AT ANY TIME PRIOR TO MIDNIGHT OF THE THIRD BUSINESS DAY AFTER THE EFFECTIVE DATE.**

**Purchaser acknowledges, accepts and agrees that:**

Terminix has provided the Purchaser with any state-required documents for the Services, which will be used to treat the above-named property.

Terminix will provide the Purchaser with a record of initial application and an Inspection Graph, as described in Section 3-Inspection Graph of the Terms and Conditions on page 2 of this Agreement, which shall be incorporated into this Agreement by reference.

Purchaser accepts and agrees to the Terms and Conditions on pages 1-2 of this Agreement, including the MANDATORY ARBITRATION and CLASS ACTION WAIVER provisions in Sections 19 and 20 of the Terms and Conditions on page 2 of this Agreement.

|  |                                      |             |
|--|--------------------------------------|-------------|
| Purchaser Name: <u>SHELLY WASHINGTON</u>                             | Purchaser<br>(Signature): _____      | Date: _____ |
| Representative Name: <u>AVIS, BLAKE</u>                              | Representative<br>(Signature): _____ | Date: _____ |
| Terminix Branch Phone: <u>3524013004</u>                             | Terminix Branch Charter No.: _____   |             |
| Terminix Branch Address: <u>425 SW 33RD AVE # A, OCALA, FL 34474</u> |                                      |             |

In the event you have any compliments, questions or complaints, you may contact a Terminix representative by calling 1.800.TELLMX (1.800.835.5869).

# TERMS AND CONDITIONS

1. **INITIAL TERM; RENEWAL.** The term of this Agreement shall commence on the effective date and shall continue for one year (the "Initial Term"), unless terminated earlier as set forth herein. For nine (9) years following the Initial Term, Customer has the right to extend the Initial Term for additional one-year periods (each a "Renewal Term") by paying the renewal fee before the expiration of the Initial Term or any Renewal Term. At the end of that nine-year period, this Agreement ends and may not be renewed.
2. **FEES.** Purchaser shall pay all fees for the Initial Term and any prepaid Renewal Term as selected by Purchaser on Page 1 of this Agreement. If renewed, Purchaser shall pay all fees for any subsequent Renewal Term in the form of check, credit card, money order or any other payment form acceptable to Terminix.
3. **INSPECTION GRAPH.** This Inspection Graph, prepared by Terminix and provided to Purchaser, shall be incorporated into this Agreement by reference. This Inspection Graph is a record of a visual, non-destructive inspection by Terminix of certain readily accessible areas of the identified property for visible termite infestation/damage. Terminix is not responsible for repairs to damages identified on the Inspection Graph. In addition, hidden damage may exist in concealed, obstructed or inaccessible areas. No attempt to remove siding, plastic or sheetrock insulation, carpeting, paneling, etc., to search for hidden damage was made. Terminix cannot guarantee that the damage disclosed by visual inspection of the premises depicted in the Inspection Graph represents the entirety of the damage which may exist as of the date of the initial control application. Terminix shall not be responsible for repair of any damages to the Structures including, without limitation, any damage which existed in areas or in structural members which were not accessible for visual inspection as of the date of the Inspection Graph. If X (circled or not) appears on the Inspection Graph, it is advisable that a qualified building expert inspect the property to determine what effect, if any, the infestation/damage has upon the structural integrity of the property.
4. **LIMITED PLAN SERVICES; NO COVERAGE FOR DAMAGES. THIS AGREEMENT DOES NOT COVER AND TERMINIX SHALL HAVE NO OBLIGATION WHATSOEVER, WHETHER EXPRESS OR IMPLIED, TO REPAIR ANY DAMAGE CAUSED BY SUBTERRANEAN TERMITES, REGARDLESS OF WHETHER SUCH DAMAGE OCCURS PRIOR TO OR SUBSEQUENT TO THE EFFECTIVE DATE OR THE DATE OF THE INITIAL TREATMENT.** The sole obligations of Terminix will be to perform the following services during the Initial Term or any Renewal Term, as applicable, of this Agreement (hereinafter the "Services"): (a) Install the Terminix Subterranean Termite Baiting System (the "Baiting System") and/or apply a treatment, consisting of any chemical and/or non-chemical products as deemed necessary by Terminix to provide mitigation against subterranean termites to certain areas in and around the Structure(s) as identified by Terminix, in its sole discretion; (b) On an annual basis, or as deemed necessary by Terminix, inspect the Structures identified on the Inspection Graph and the installed Baiting System for termite activity, and if necessary, service the Baiting System, including replacement of termite bait and other components of the Baiting System at no additional charge to Purchaser, as deemed necessary by Terminix in its sole discretion.
5. **PROTECTION AGAINST SUBTERRANEAN TERMITES.** THE SERVICES ONLY MITIGATE AGAINST INFESTATION FROM SUBTERRANEAN (IN-GROUND) TERMITES (*RETICULITERMES SSP.*, *HETEROTERMES SSP.*) AND FORMOSAN TERMITES (*COPTOTERMES SSP.*) (COLLECTIVELY "SUBTERRANEAN TERMITES") INFESTATIONS. THE SERVICES DO NOT CONTROL OR PROTECT THE STRUCTURES FROM AERIAL (ABOVE-GROUND) INFESTATION OF ANY KIND, INCLUDING DRYWOOD TERMITES (*KALOTERMES SSP.*, *INCISITERMES SSP.*, *CRYPTOTERMES SSP.*), OR ANY OTHER SPECIES OF TERMITES AND ANY WOOD-DESTROYING ORGANISMS INCLUDING, BUT NOT LIMITED TO, CARPENTER ANTS, POWDER-POST BEETLES OR WOOD-DECAY FUNGI.
6. **ACCESS TO PROPERTY.** Purchaser must allow Terminix access to the exterior perimeter and interior of the Structures for any purpose contemplated by this Agreement including, but not limited to, re-inspections (whether the inspections were requested by the Purchaser or considered necessary by Terminix), appraisals and repair of Covered Damage. The failure to allow Terminix such access will terminate this Agreement without further notice and Terminix shall have no further obligations of any kind.
7. **PURCHASER COOPERATION.** Purchaser's cooperation is important to ensure the most effective results from Services. Whenever conditions conducive to the breeding and harborage of pests covered by this contract are reported in writing by Terminix to the Purchaser, and are not corrected by Purchaser, Terminix cannot ensure effective Services. If Purchaser fails to correct the conditions noted by Terminix within a reasonable time period, all guarantees as to the effectiveness of the Services in this Agreement shall automatically terminate. Further, additional treatments in areas of such conditions that are not corrected as required shall be paid for by Purchaser as an extra charge.
8. **PURCHASER SATISFACTION.** Subject to Purchaser's Cooperation (as defined below), if Purchaser is not satisfied with the services rendered, upon the request of Purchaser and as Purchaser's sole and exclusive remedy, at no additional cost(s) to Purchaser Terminix shall reapply and/or retreat pesticides to the Structure(s) as is reasonably necessary to control for and mitigate against acute infestations of Standard Pests and/or Premium Pests, as the case may be.
9. **LIMITATION OF LIABILITY; LIMITED WARRANTY.** EXCEPT AS OTHERWISE PROHIBITED BY LAW, TERMINIX DISCLAIMS AND SHALL NOT BE RESPONSIBLE FOR ANY LIABILITY FOR INDIRECT, SPECIAL, INCIDENTAL, CONSEQUENTIAL, EXEMPLARY, PUNITIVE AND/OR LOSS OF ENJOYMENT DAMAGES. THE OBLIGATIONS OF TERMINIX SPECIFICALLY STATED IN THIS AGREEMENT ARE GIVEN IN LIEU OF ANY OTHER OBLIGATION OR RESPONSIBILITY, EXPRESS OR IMPLIED, INCLUDING ANY REPRESENTATION OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE. THIS AGREEMENT DOES NOT PROVIDE FOR THE REPAIR OF ANY DAMAGE CAUSED BY SUBTERRANEAN TERMITES. THIS AGREEMENT DOES NOT GUARANTEE, AND TERMINIX DOES NOT REPRESENT, THAT TERMITES WILL NOT RETURN FOLLOWING ANY TREATMENTS. IN CONSIDERATION OF SUMS CHARGED BY TERMINIX HEREUNDER AND AS A LIQUIDATED DAMAGE AND NOT AS A PENALTY, AND NOTWITHSTANDING ANY CONTRACT, TORT, OR OTHER CLAIM THAT TERMINIX FAILED TO PERFORM ITS OBLIGATIONS HEREUNDER, THE SOLE RESPONSIBILITY OF TERMINIX IN THE EVENT OF A CLAIM SHALL BE TO PROVIDE FURTHER SERVICES FOUND NECESSARY BY TERMINIX FREE OF CHARGE. IN THE EVENT OF A CLAIM BY PURCHASER RELATING TO THE SERVICES PERFORMED AT THE ADDRESS REFERENCED ABOVE, THE PARTIES AGREE THAT IN NO EVENT SHALL THE LIABILITY OF TERMINIX EXCEED \$5,000 (FIVE THOUSAND DOLLARS) OR TWO TIMES THE FEES PAID BY PURCHASER TO TERMINIX DURING THE INITIAL TERM OR ANY RENEWAL TERM, AS APPLICABLE, FOR THE SERVICES, WHICHEVER IS LESS.
10. **WATER LEAKAGE.** Water leakage in treated areas, in interior areas or through the roof or exterior walls of the Structures may destroy the effectiveness of treatment by Terminix and is conducive to new infestation. Purchaser is responsible for making timely repairs as necessary to stop the leakage. Purchaser's failure to make timely repairs will terminate this Agreement automatically without further notice. Terminix shall have no responsibility for repairs with respect to water leakage.
11. **ADDITIONS OR ALTERATIONS TO STRUCTURES.** This Agreement covers the Structures described on the Inspection Graph as of the date of the installation of the Baiting System. In the event the premises are structurally modified, altered or otherwise changed, including but not limited to the addition of spray foam insulation, or other similar building materials, or if soil is removed or added around the foundation, or if Baiting System stations are removed or disturbed (collectively "Alterations"), Purchaser must provide Terminix with written notice of such Alterations within thirty (30) days of the occurrence of such Alterations. Purchaser's failure to provide such notice to Terminix shall provide Terminix the exclusive option, without providing notice to Purchaser, to terminate the Agreement and/or discharge Terminix's obligation to repair Covered Damage resulting from such Alteration. The failure of Terminix to discover such Alterations does not release Purchaser from the obligations to provide written notice to Terminix of the same. Purchaser shall pay Terminix's then-current charges for a service call to evaluate the Alterations and provide additional Bait Station treatment as a result of the Alterations. Terminix reserves the right to increase the Annual Renewal Term Fee as a result of the Alterations.
12. **OWNERSHIP TRANSFER.** Upon transfer of ownership of the Structures, Services may be continued, for the remainder of the term limitation, upon request of the new owner and upon payment of the Ownership Transfer Fee set forth on page 1 of this Agreement. Regardless of ownership transfer, in no event shall the term of this Agreement extend past the sixth Renewal Term, as determined by the Effective Date, above. In addition, Terminix reserves the right to revise the Annual Renewal Term Fee upon transfer of ownership. In the event the new owner fails to request continuation of this Agreement or does not agree to pay the transfer fee of the revised Annual Renewal Term Fee, this Agreement will terminate automatically as of the date of the change of ownership.
13. **FORCE MAJEURE.** Terminix shall not be liable to Purchaser for any failure to perform or delay in the performance under this Agreement attributable in whole or in part to any cause beyond its reasonable control and without its fault or negligence including, but not limited to, acts of God, fires, floods, earthquakes, strikes, unavailability of necessary utilities, blackouts, government actions, war, civil disturbance, insurrection or sabotage. Additionally, Terminix shall not be liable to Purchaser and this Agreement shall be automatically terminated in the event the Structure(s) are destroyed or substantially damaged due to an event beyond Terminix's reasonable control including, but not limited to, acts of God, fires, storms, hurricanes, floods or earthquakes.
14. **ADDITIONAL DISCLAIMERS.** This Agreement does not cover, and Terminix will not be responsible for, damage resulting from or services required for: (a) any and all damage resulting from termites and/or any other wood-destroying organisms, except as specifically provided herein; (b) moisture conditions including, but not limited to, fungus damage and/or water leakage caused by faulty plumbing, roofs, gutters, downspouts and/or poor drainage; (c) masonry failure or grade alterations; (d) inherent structural problems including, but not limited to, wood-to-ground contacts; (e) termites entering any rigid foam, wooden or cellulose-containing components in contact with the earth and the Structures, regardless of whether the component is a part of the Structures; (f) termites entering any spray foam insulation, or other similar building materials, regardless of whether such insulation was present on the Effective Date or determined to be an Alteration (as defined above) to the Structures and (g) the failure of Purchaser to properly cure at Purchaser's expense any condition that prevents proper treatment or inspection or is conducive to termite infestation.
15. **CHANGE IN LAW.** Terminix performs its services in accordance with the requirements of law. In the event of a change in existing law as it pertains to the services herein, Terminix reserves the right to revise the Annual Renewal Term Fee or terminate this Agreement.
16. **NON-PAYMENT; DEFAULT.** In case of non-payment or default by the Purchaser, Terminix has the right to immediately terminate this Agreement without notice to Purchaser. Further, in the event that payment is not received by Terminix prior to the expiration of the Initial Term or any Renewal Term, as applicable, Terminix shall have the exclusive option, without providing notice to Purchaser, to terminate the Agreement and shall have no further obligations of any kind. In addition, cost of collection, including reasonable attorney's fees, shall be paid by the Purchaser, whether suit is filed or not. In addition, interest at the highest legal rate will be assessed for the period of delinquency.
17. **CHANGE IN TERMS.** At the time of any renewal of this Agreement, Terminix may change this Agreement by adding, deleting or modifying any provision. Terminix will notify the Purchaser in advance of any such change, and Purchaser may decline to accept such a change by declining to renew this Agreement. Renewal of this Agreement will constitute acceptance of any such changes.
18. **SEVERABILITY.** If any part of this Agreement is held to be invalid or unenforceable for any reason, the remaining terms and conditions of this Agreement shall remain in full force and effect.
19. **MANDATORY ARBITRATION.** Any claim, dispute or controversy, regarding any contract, tort, statute or otherwise ("Claim"), arising out of or relating to this Agreement or the relationships among the parties hereto, shall be resolved by one arbitrator through binding arbitration administered by the American Arbitration Association ("AAA"), under the AAA Commercial or Consumer, as applicable, Rules in effect at the time the Claim is filed ("AAA Rules"). Copies of the AAA Rules and forms can be located at [www.adr.org](http://www.adr.org), or by calling 1.800.778.7879. The arbitrator's decision shall be final, binding and non-appealable. Judgment upon the award may be entered and enforced in any court having jurisdiction. This clause is made pursuant to a transaction involving interstate commerce and shall be governed by the Federal Arbitration Act. Neither party shall sue the other party other than as provided herein or for enforcement of this clause or of the arbitrator's award; any such suit may be brought only in Federal District Court for the District or, if any such court lacks jurisdiction, in any state court that has jurisdiction. The arbitrator, and not any federal, state or local court, shall have exclusive authority to resolve any dispute relating to the interpretation, applicability, unconscionability, arbitrability, enforceability or formation of this Agreement, including any claim that all or any part of the Agreement is void or voidable. However, the preceding sentence shall not apply to the clause entitled "Class Action Waiver." Venue for arbitration hereunder shall be within the state where the customer's property, that is the subject of the services provided, is located.
20. **CLASS ACTION WAIVER.** Any Claim must be brought in the parties' individual capacity, and not as a plaintiff or class member in any purported class, collective, representative, multiple plaintiff or similar proceeding ("Class Action"). The parties expressly waive any ability to maintain any Class Action in any forum. The arbitrator shall not have authority to combine or aggregate similar claims or conduct any Class Action nor make an award to any person or entity not a party to the arbitration. Any claim that all or part of this Class Action Waiver is unenforceable, unconscionable, void or voidable may be determined only by a court of competent jurisdiction and not by an arbitrator. THE PARTIES UNDERSTAND THAT THEY WOULD HAVE HAD A RIGHT TO LITIGATE THROUGH A COURT, TO HAVE A JUDGE OR JURY DECIDE THEIR CASE AND TO BE PARTY TO A CLASS OR REPRESENTATIVE ACTION. HOWEVER, THE PARTIES UNDERSTAND AND CHOOSE TO HAVE ANY CLAIMS DECIDED INDIVIDUALLY, THROUGH ARBITRATION.
21. **GOVERNING LAW.** Except for the Mandatory Arbitration Clause in Section 19 of this Agreement which is governed by and construed in accordance with federal law and the Federal Arbitration Act, this Agreement shall be governed by, and construed in accordance with, the laws of the state in which the dispute arises without regard to the conflict of laws provisions.
22. **ENTIRE AGREEMENT.** This Agreement, a record of initial application and an Inspection Graph, together with all exhibits thereto, constitutes the entire agreement between the parties, supersedes all proposals, oral or written, and all other communications between the parties relating to such subject matter, and no other representations or statements will be binding upon the parties. This Agreement may not be modified or amended in any way without the written consent of both parties.



### Summary of Charges

|                     | <b>Product</b>        | <b>Renewals</b> | <b>Amount</b> | <b>Tax</b> | <b>Discount</b> | <b>Total Amount</b> |
|---------------------|-----------------------|-----------------|---------------|------------|-----------------|---------------------|
| Initial Term        | Dual-Defense Curative |                 | \$2924.00     | \$0.00     | \$0.00          | \$2924.00           |
| <b>Grand Total:</b> |                       |                 |               |            |                 | <b>\$2924</b>       |

| <b>Product</b> | <b>Merchandise</b> | <b>Quantity</b> |
|----------------|--------------------|-----------------|
|                |                    |                 |

### Purchaser Payments

By signing below, I, the cardholder, have authorized Terminix to process this one-time payment without further signature or authorization from me.

\$

### Authorization

SHELLY  
WASHINGTON

Purchaser Name: **Purchaser (Signature):** \_\_\_\_\_ Date: \_\_\_\_\_

**AUTOPAY:** Purchaser authorizes Terminix and affiliates including SMAC to automatically debit Purchaser's checking account or credit card, as indicated below, in an amount equal to any recurring service charges due to Terminix under this Agreement within five (5) days of the date such charge becomes due. This authorization will remain in effect until the fifth business day following Terminix's receipt from Purchaser of a written notice to cancel such authorization. Purchaser understands that cancellation of this authorization does not cancel Purchaser's obligations under this Agreement.

### Terminix Authorization

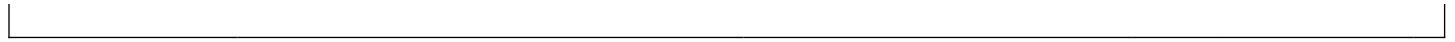
SHELLY  
WASHINGTON

Purchaser Name: **Purchaser (Signature):** \_\_\_\_\_ Date: \_\_\_\_\_

### SMAC Authorization

SHELLY  
WASHINGTON

Purchaser Name: **Purchaser (Signature):** \_\_\_\_\_ Date: \_\_\_\_\_





OCALA  
425 SW 33RD AVE # A  
OCALA, FL 34474  
3524013004

Contract #: 71262-102525200440-7877  
Inspection Date: 10/25/2025  
Inspector: AVIS, BLAKE

## Product Labels & Safety Data Sheets

Product Labels & Safety Data Sheets, please visit: [https://licensed.com/orgs/terminix/public/chemical\\_documents](https://licensed.com/orgs/terminix/public/chemical_documents)  
For NY customers, please select 'NY' as your locale

## BEING A TERMINIX CUSTOMER HAS ITS BENEFITS.

### MANAGE YOUR ACCOUNT 24/7.



Manage your Terminix account around the clock on your computer, tablet or smartphone. Just sign up and [Terminix.com/my-account](https://terminix.com/my-account).

- **MOBILE-FRIENDLY ACCESS:**  
Access your account from anywhere
- **MANAGE UPCOMING APPOINTMENTS:**  
View and schedule service visits
- **UPDATE YOUR PROFILE:**  
Update your payment and contact info
- **SIMPLE PROTECTION PLAN RENEWALS:**  
Maintain your plan without the hassle

### MAKE PAYMENTS WORRY-FREE.



Save time and money with **AutoPay**. Payments are automatically charged to your preferred payment method when they're due so there's no need to worry about another bill.

### HAPPY WITH YOUR SERVICE? PASS THE WORD ALONG.



Want to earn a credit on your next service? Recommend Terminix to your friends and family. Ask your technician for more details.

### FIND OUT WHAT PEOPLE ARE SAYING.

**CONSUMERAFFAIRS**



Find reviews and ratings by other customers.  
[consumeraffairs.com/homeowners/terminix](https://consumeraffairs.com/homeowners/terminix)



## Before Photos

## 1705 NW 16<sup>th</sup> St. Before Photos



Front of the property from NW 16<sup>th</sup> Street



Side of the property

## 1705 NW 16<sup>th</sup> St. Before Photos



Side of the property



Back of the property

## 1705 NW 16<sup>th</sup> St. Before Photos



Portion of current fence



Back of the property

1705 NW 16<sup>th</sup> St. Before Photos



Front door

1705 NW 16<sup>th</sup> St. Before Photos



Back door

1705 NW 16<sup>th</sup> St. Before Photos



Porch back door 1

1705 NW 16<sup>th</sup> St. Before Photos



Porch back door 2

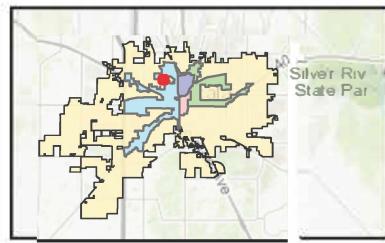
# Maps

# CRA GRANT REQUEST MAP

**Address:** 1705 NW 16TH CT

**Parcel:** 2195-029-000

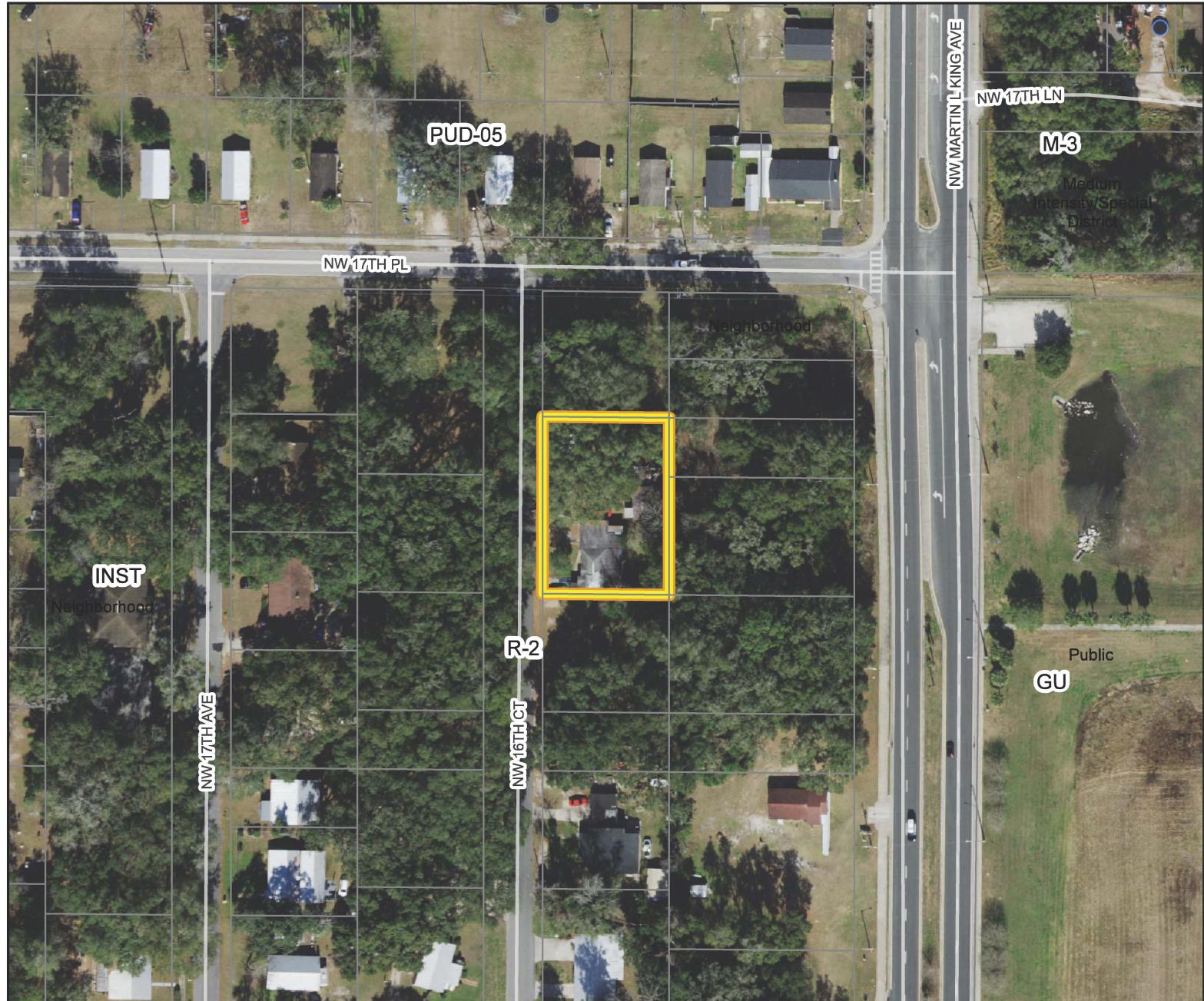
## Location Map



**Property Size:** Approximately 0.37 acres

**CRA Location:** West Ocala

**Proposal:** A request for CRA fund use



Subject Property



Parcels

0

300 Feet



**OCALA**

Prepared by the City of Ocala Growth Management Department by kwirthlin 61  
9/13/2026

edited by CWhitehead 01/27/2026

## CASE MAP

Address: 1705 NW 16TH CT

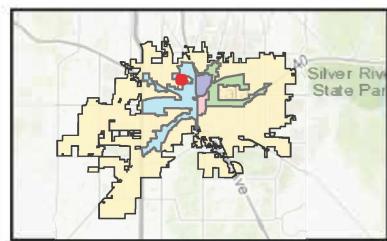
Parcel: 2195-029-000

Property Size: Approximately 0.37 acres

West Ocala

A request for CRA fund use

### Location Map



Subject Property

M-3:Heavy Industrial

Parcels

PUD-05:Planned Unit Development-5 Units

GU:Governmental Use

R-2:Two-Family Residential

INST:Institutional



# Marion County Property Appraiser Card

Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser



501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2026 Property Record Card

2195-029-000

[GOOGLE Street View](#)

Prime Key: 554553

[MAP IT+](#)

Current as of 1/27/2026

### Property Information

WASHINGTON SHELLY  
1705 NW 16TH CT  
OCALA FL 34475-4981

Taxes / Assessments:

Map ID: 161

M.S.T.U.

PC: 01

Acres: .37

Millage: 1001 - OCALA

Situs: 1705 NW 16TH CT OCALA

### 2025 Certified Value

|                      |            |  |  |  |  |  |
|----------------------|------------|--|--|--|--|--|
| Land Just Value      | \$22,838   |  |  |  |  |  |
| Buildings            | \$98,717   |  |  |  |  |  |
| Miscellaneous        | \$2,041    |  |  |  |  |  |
| Total Just Value     | \$123,596  |  |  |  |  |  |
| Total Assessed Value | \$46,833   |  |  |  |  |  |
| Exemptions           | (\$25,000) |  |  |  |  |  |
| Total Taxable        | \$21,833   |  |  |  |  |  |

Impact  
Ex Codes: 01 38

(\$76,763)

### History of Assessed Values

| Year | Land Just | Building | Misc Value | Mkt/Just  | Assessed Val | Exemptions | Taxable Val |
|------|-----------|----------|------------|-----------|--------------|------------|-------------|
| 2025 | \$22,838  | \$98,717 | \$2,041    | \$123,596 | \$46,833     | \$25,000   | \$21,833    |
| 2024 | \$16,965  | \$70,541 | \$1,458    | \$88,964  | \$45,513     | \$25,000   | \$20,513    |
| 2023 | \$19,575  | \$58,279 | \$1,458    | \$79,312  | \$43,756     | \$25,000   | \$18,756    |

### Property Transfer History

| Book/Page                 | Date    | Instrument          | Code                   | Q/U | V/I | Price    |
|---------------------------|---------|---------------------|------------------------|-----|-----|----------|
| <a href="#">UNRE/INST</a> | 05/2024 | 71 DTH CER          | 0                      | U   | I   | \$100    |
| <a href="#">7591/1328</a> | 10/2021 | 61 FJDGMNT          | 0                      | U   | I   | \$100    |
| <a href="#">6707/0471</a> | 01/2018 | 61 FJDGMNT          | 0                      | U   | I   | \$100    |
| <a href="#">6011/0452</a> | 03/2014 | 61 FJDGMNT          | 0                      | U   | I   | \$100    |
| <a href="#">3181/1015</a> | 05/2002 | 07 WARRANTY         | 9 UNVERIFIED           | Q   | I   | \$59,500 |
| <a href="#">3049/1459</a> | 09/2001 | 06 SPECIAL WARRANTY | 2 V-SALES VERIFICATION | U   | I   | \$10,500 |
| <a href="#">2991/1443</a> | 07/2001 | 31 CERT TL          | 0                      | U   | I   | \$100    |
| <a href="#">2627/0470</a> | 02/1999 | 07 WARRANTY         | 2 V-SALES VERIFICATION | Q   | I   | \$33,500 |
| <a href="#">0744/0555</a> | 05/1976 | 02 DEED NC          | 0                      | U   | I   | \$7,600  |

### Property Description

SEC 12 TWP 15 RGE 21  
PLAT BOOK C PAGE 098

**BUNCHE HEIGHTS  
LOTS 27.28.29**

### Land Data - Warning: Verify Zoning

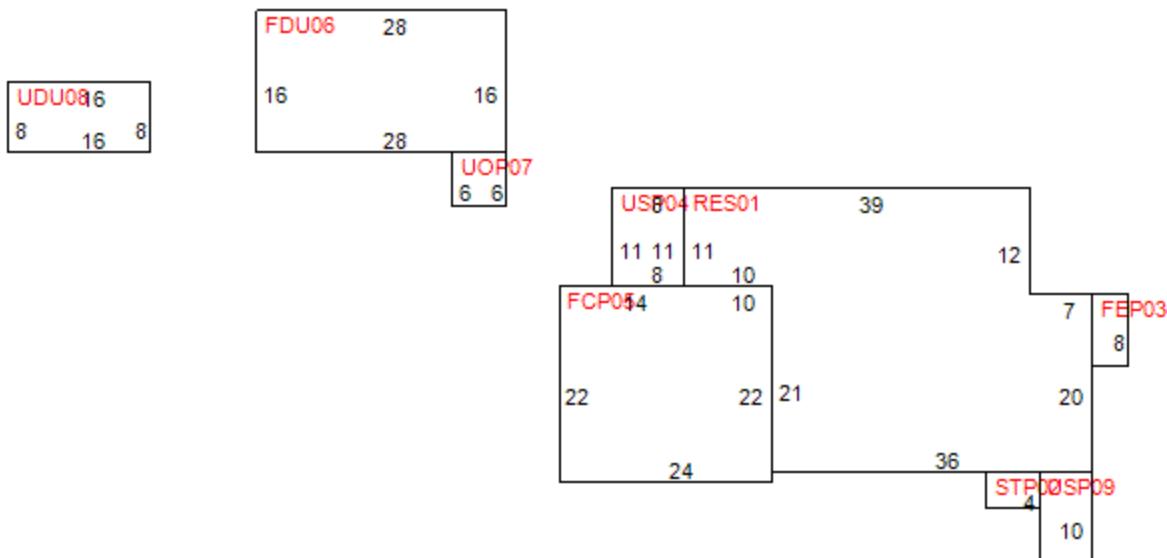
| Use  | CUse | Front | Depth | Zoning | Units  | Type | Rate | Loc | Shp | Phy | Class | Value | Just | Value |
|------|------|-------|-------|--------|--------|------|------|-----|-----|-----|-------|-------|------|-------|
| 0100 |      | 150.0 | 107.0 | R2     | 150.00 | FF   |      |     |     |     |       |       |      |       |

Neighborhood 4523  
Mkt: 8 70

## Traverse

## Building 1 of 1

RES01=U20L7U12L39D11R10D21R36.L6  
STP02=D4L6U4R6.U20R6  
FEP03=R4D8L4U8.L7U12L39  
USP04=D11L8U11R8.D11  
FCP05=R10D22L24U22R14.U15L20  
FDU06=U16L28D16R28.  
UOP07=D6L6U6R6.L12L28  
UDU08=U8L16D8R16.R106D36  
USP09=D10L6U10R6.



## Building Characteristics

|                      |                           |                                 |                           |
|----------------------|---------------------------|---------------------------------|---------------------------|
| <b>Improvement</b>   | 1F - SFR- 01 FAMILY RESID | <b>Year Built</b>               | 1949                      |
| <b>Effective Age</b> | 7 - 30-34 YRS             | <b>Physical Deterioration</b>   | 0%                        |
| <b>Condition</b>     | 3                         | <b>Obsolescence: Functional</b> | 0%                        |
| <b>Quality Grade</b> | 400 - FAIR                | <b>Obsolescence: Locational</b> | 0%                        |
| <b>Inspected on</b>  | 2/15/2024 by 197          | <b>Architecture</b>             | 0 - STANDARD SFR          |
|                      |                           |                                 | <b>Base Perimeter</b> 156 |

| Type ID                   | Exterior Walls | Stories | Year Built | Finished | Attic | Bsmt Area | Bsmt Finish | Ground Floor Area | Total Flr Area |
|---------------------------|----------------|---------|------------|----------|-------|-----------|-------------|-------------------|----------------|
| RES 0126 - SIDING-NO SHTG | 1.00           | 1949    |            | N        | 0 %   | 0 %       |             | 1,178             | 1,178          |
| STP 0201 - NO EXTERIOR    | 1.00           | 1949    |            | N        | 0 %   | 0 %       |             | 24                | 24             |
| FEP 0326 - SIDING-NO SHTG | 1.00           | 1949    |            | N        | 0 %   | 0 %       |             | 32                | 32             |
| USP 0401 - NO EXTERIOR    | 1.00           | 1987    |            | N        | 0 %   | 0 %       |             | 88                | 88             |
| FCP 0501 - NO EXTERIOR    | 1.00           | 1962    |            | N        | 0 %   | 0 %       |             | 528               | 528            |
| FDU 0626 - SIDING-NO SHTG | 1.00           | 1962    |            | N        | 0 %   | 0 %       |             | 448               | 448            |
| UOP 0726 - SIDING-NO SHTG | 1.00           | 2002    |            | N        | 0 %   | 0 %       |             | 36                | 36             |
| UDU 0838 - WD SIDING-SHTG | 1.00           | 1962    |            | N        | 0 %   | 0 %       |             | 128               | 128            |
| USP 0901 - NO EXTERIOR    | 1.00           | 2010    |            | N        | 0 %   | 0 %       |             | 60                | 60             |

### Section: 1

|                                      |                                      |                           |                             |
|--------------------------------------|--------------------------------------|---------------------------|-----------------------------|
| <b>Roof Style:</b> 12 HIP            | <b>Floor Finish:</b> 24 CARPET       | <b>Bedrooms:</b> 4        | <b>Blt-In Kitchen:</b> Y    |
| <b>Roof Cover:</b> 08 FBRGLASS SHNGL | <b>Wall Finish:</b> 16 DRYWALL-PAINT | <b>4 Fixture Baths:</b> 0 | <b>Dishwasher:</b> N        |
| <b>Heat Meth 1:</b> 22 DUCTED FHA    | <b>Heat Fuel 1:</b> 10 ELECTRIC      | <b>3 Fixture Baths:</b> 2 | <b>Garbage Disposal:</b> N  |
| <b>Heat Meth 2:</b> 00               | <b>Heat Fuel 2:</b> 00               | <b>2 Fixture Baths:</b> 0 | <b>Garbage Compactor:</b> N |
| <b>Foundation:</b> 3 PIER            | <b>Fireplaces:</b> 0                 | <b>Extra Fixtures:</b> 2  | <b>Intercom:</b> N          |
| A/C: Y                               |                                      |                           | <b>Vacuum:</b> N            |

### Miscellaneous Improvements

| Type               | Nbr Units | Type | Life | Year In | Grade | Length | Width |
|--------------------|-----------|------|------|---------|-------|--------|-------|
| 105 FENCE CHAIN LK | 427.00    | LF   | 20   | 1980    | 1     | 0.0    | 0.0   |
| 159 PAV CONCRETE   | 204.00    | SF   | 20   | 1980    | 3     | 0.0    | 0.0   |
| 114 FENCE BOARD    | 420.00    | LF   | 10   | 2002    | 4     | 0.0    | 0.0   |

### Appraiser Notes

UDU N/A

### Planning and Building \*\* Permit Search \*\*

| Permit Number | Date Issued | Date Completed | Description                          |
|---------------|-------------|----------------|--------------------------------------|
| BLD25-1052    | 5/7/2025    | -              | WASHINGTON 18 WINDOW CHANGE OUT      |
| HAR25-0162    | 2/26/2025   | 3/4/2025       | WASHINGTON HVAC CHANGE OUT           |
| BLD24-2877    | 11/19/2024  | 1/10/2025      | SHINGLE TEAR OFF SHINGLE RE-ROOF SFR |
| BLD23-0423    | 7/14/2023   | 7/17/2023      | WASHINGTON / SHED                    |
| BLD23-0302    | 2/8/2023    | 7/17/2023      | WASHINGTON / SHED DEMO               |
| B011751       | 11/1/2001   | 5/1/2002       | REMODELING                           |
| OC01442       | 9/1/2000    | -              | RES RE ROOF                          |
| OC02185       | 12/1/1987   | 9/1/1988       | BLDG01= ADD SCRN ROOM                |



## CRA Subarea: West Ocala

### Framework

### Residential Property Improvement Grant

#### ELIGIBLE AREA

Neighborhoods within the West Ocala CRA boundary.

#### ELIGIBLE APPLICANT

Property owner, or tenant with property owner's approval.

#### ELIGIBLE PROPERTIES

- Taxable ad valorem properties – Property taxes must be current and fully paid.
- Property must be used for residential purposes.
- Single family and duplex homes within the CRA subarea. This includes owner occupied and rental units.

#### ELIGIBLE WORK

##### Improvements Eligible for Grant Funding Include:

- Exterior painting (colors must be approved by the Committee)
- Pressure washing and related work to repair and prepare surfaces for painting
- Repair or replacement of windows and doors (exterior improvements only)
- Demolition of irreparably damaged houses or structures
- Installation of new landscaping visible from the street or sidewalk
- Fencing installation or replacement
- Roofing repairs or upgrades
- Weatherization improvements (HVAC & Insulation)
- New construction
- Termite tenting

#### MAXIMUM GRANT

**\$20,000** (Reimbursement)

#### REQUIRED MATCH

The City covers 75%, the applicant covers 25%. To receive the maximum grant, the total project cost for eligible improvements must be no less than \$26,667.



# Ocala

## Legislation Text

110 SE Watula Avenue  
Ocala, FL 34471

[www.ocalafl.gov](http://www.ocalafl.gov)

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**File #:** 2026-0689

**Agenda Item #:** 5b.

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**Submitted By:** Roberto Ellis

**Presentation By:** Roberto Ellis

**Department:** Growth Management

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**FORMAL TITLE:**

North Magnolia Community Redevelopment Area Residential Property Improvement Grant for property located at 130 NW 17<sup>th</sup> Street, in an amount not to exceed \$4,221

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**OCALA'S RELEVANT STRATEGIC GOALS:**

Quality of Place, Economic Hub

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**PROOF OF PUBLICATION:**

N/A

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**BACKGROUND:**

The North Magnolia Community Redevelopment Area (CRA) Residential Property Improvement Grant was established to encourage property owners in Marion Heights and surrounding neighborhoods to make lasting improvements to their homes and property. This grant supports efforts to maintain the existing housing stock in good repair and ensure that utilities and infrastructure remain up to date. Strengthening and preserving existing housing conditions will also help stimulate new residential construction in the area.

The grant framework is attached, detailing the eligible work items and the required grant match. Please refer to the attached framework for complete information. Conversion from septic to the City's sanitary sewer system qualifies for reimbursement of 100 percent of the project costs.

Grant Application ID #: CRA26-0005

Applicant: Jack Eason - Kimberly Jack Homes LLC

Address: 130 NW 17<sup>th</sup> Street

Parcel ID: 25827-001-00

Project Description: Conversion from septic to City sanitary sewer.

High Quote: \$7,500

Low Quote: \$4,221

Recommended Grant Amount: \$4,221

**FINDINGS AND CONCLUSIONS:**

City staff processed the application in accordance with the established grant program guidelines. The attached packet includes the application, cost estimates, and photographs of existing conditions. The key findings are outlined below.

- In 2023, the CRA improved water and sewer infrastructure in the Marion Heights community. Adequate infrastructure is now in place; residents are encouraged to take advantage of the 100 percent reimbursement available for converting to City sanitary sewer services upon project completion.
- The property is currently operating as a short-term rental, providing temporary accommodation for visitors.
- On September 3, 2024, the applicant was awarded a CRA grant in the amount of \$17,690.21 to complete reroofing, fencing, attic insulation, and HVAC installation with associated electrical work. The project was completed.
- According to program guidelines, applicants must agree to maintain improvements funded through the CRA for a minimum of five years. The applicant has not completed any similar improvements in the last five years.
- This project aligns with the housing goal stated in the North Magnolia Redevelopment Plan, which supports a balanced mixed-use neighborhood by encouraging diverse housing options in appropriate areas, including the cleanup and rehabilitation of existing housing.

*North Magnolia CRA Advisory Committee Recommendation*

The North Magnolia CRA Advisory Committee met on January 29, 2026, and unanimously recommended approval of the grant.

*Staff Recommendation*

Staff recommends approval.

**FISCAL IMPACT:**

There is sufficient funding in the North Magnolia Ocala CRA grants account (622-016-553-559-55-82010). Payments will be made in the fiscal year in which the project is completed.

**PROCUREMENT REVIEW:**

N/A

**LEGAL REVIEW:**

N/A

**RECOMMENDATION:**

- Approve
- Approve with Changes
- Table
- Deny

# CRA26-0005 - 130 NW 17TH ST

## SUMMARY REPORT

**Parcel Id:** 25827-001-00

**Parcel Address:** 130 NW 17TH ST,  
OCALA, FL 34471

### FUNDING REQUEST

**Description:** Reimbursement

**Eligible Cost Total:** \$4,221.00

**Total Estimated Project Cost:**  
\$4,221.00

**Total Funding Requested:**

\$4,221.00

**Funding Requested Ratio:** 1

### PROJECT DETAILS

**Project Name:** CRA26-0005 - 130  
NW 17TH ST

**Description:** Conversion from septic  
to City sewer

**Applicant Type:**

**Applicant Name:**

### PROJECT TIMELINE

● **Anticipated completion date**  
17 Feb 2027

● **CRA Board - Final Review**  
17 Feb 2026

● **Anticipated start date**  
17 Feb 2026

● **Advisory Committee Meeting**  
29 Jan 2026

● **Application Started**  
27 Jan 2026

# CRA26-0005 - 130 NW 17TH ST -

## Summary Report

### Project Details

| Project Name                | Description                          |
|-----------------------------|--------------------------------------|
| CRA26-0005 - 130 NW 17TH ST | Conversion from septic to City sewer |
| Applicant Type              | Applicant Name                       |
|                             | N/A                                  |

### Parcels

| Parcel ID    | Address                                  |
|--------------|--|
| 25827-001-00 | 130 NW 17TH ST, MARION, OCALA, FL, 34471 |

### Relationship To City

| Relationship To City - Intention |
|----------------------------------|
| N/A                              |

### Funding Request

|                                     |                                       |
|-------------------------------------|---------------------------------------|
| <b>Description</b>                  | <b>Eligible Costs Total</b>           |
| Reimbursement                       | \$4,221.00                            |
| <b>Total Estimated Project Cost</b> | <b>Total Funding Amount Requested</b> |
| \$4,221.00                          | \$4,221.00                            |
| <b>Recommended Funding Amount</b>   |                                       |
| \$4,221.00                          |                                       |

## Timeline

|                             |                     |
|-----------------------------|---------------------|
| <b>Phase 1 Name</b>         | <b>Phase 1 Date</b> |
| Anticipated start date      | February 17, 2026   |
| <b>Phase 2 Name</b>         | <b>Phase 2 Date</b> |
| CRA Board - Final Review    | February 17, 2026   |
| <b>Phase 3 Name</b>         | <b>Phase 3 Date</b> |
| Anticipated completion date | February 17, 2027   |

## KPI Compliance

| Title | KPI Type | Recurrence Type | Compliance Status |
|-------|----------|-----------------|-------------------|
|-------|----------|-----------------|-------------------|

No data

## Developer Info

## Applicant / Primary Contact Information

|                       |             |
|-----------------------|-------------|
| <b>Applicant Type</b> | <b>Name</b> |
| ns                    | N/A         |

## Business Profile

|                        |                          |
|------------------------|--------------------------|
| <b>Business Name</b>   | <b>Phone</b>             |
| No Information Entered | No Information Entered   |
| <b>Email</b>           | <b>Physical Address</b>  |
| No Information Entered | No Information Entered   |
| <b>Mailing Address</b> | <b>Years In Business</b> |
| No Information Entered | N/A                      |

## Relationship To City

**Intention**  
No Information Entered

## Property Information

### Proposed Changes

**Estimated Future Assessed Value**  
\$0.00

## Parcels

130 NW 17TH ST

|   |   |
|---|---|
| Parcel ID                                       | Address   |
| 25827-001-00                                    | 130 NW 17TH ST                                  |
| <b>Current Key Details</b>                      | <b>Rennovations Construction Activities</b>     |
| Last Assessment:2022 - \$45,402.00              | Exterior - Other                                |
| <b>Rennovations Construction Activities</b>     | <b>New Construction Construction Activities</b> |
| No Information Entered                          | No Information Entered                          |
| <b>New Construction Construction Activities</b> | <b>New Construction Construction Activities</b> |
| No Information Entered                          | No Information Entered                          |

## Eligible Costs

### Exterior Painting

No Information Entered

|                         |        |
|-------------------------|--------|
| Estimated cost of Paint | \$0.00 |
|-------------------------|--------|

|                  |               |
|------------------|---------------|
| <b>Sub Total</b> | <b>\$0.00</b> |
|------------------|---------------|

### Repair/repalcement of exterior windows and/or doors

No Information Entered

|                           |        |
|---------------------------|--------|
| Estimated cost of windows | \$0.00 |
|---------------------------|--------|

|                         |        |
|-------------------------|--------|
| Estimated cost of doors | \$0.00 |
|-------------------------|--------|

|       |        |
|-------|--------|
| Other | \$0.00 |
|-------|--------|

|                  |               |
|------------------|---------------|
| <b>Sub Total</b> | <b>\$0.00</b> |
|------------------|---------------|

### Demolition

No Information Entered

|   |        |
|---|--------|
| Estimated cost of demoliton and cleanup | \$0.00 |
|---|--------|

|                  |               |
|------------------|---------------|
| <b>Sub Total</b> | <b>\$0.00</b> |
|------------------|---------------|

## New landscaping (only include areas visible from the street/sidewalk)

No Information Entered

|                               |        |
|-------------------------------|--------|
| Estimated cost of landscaping | \$0.00 |
|-------------------------------|--------|

|                  |               |
|------------------|---------------|
| <b>Sub Total</b> | <b>\$0.00</b> |
|------------------|---------------|

## Fencing (sides and rear only)

No Information Entered

|                           |        |
|---------------------------|--------|
| Estimated cost of fencing | \$0.00 |
|---------------------------|--------|

|                  |               |
|------------------|---------------|
| <b>Sub Total</b> | <b>\$0.00</b> |
|------------------|---------------|

## Reroofing

No Information Entered

|                             |        |
|-----------------------------|--------|
| Estimated cost of reroofing | \$0.00 |
|-----------------------------|--------|

|                  |               |
|------------------|---------------|
| <b>Sub Total</b> | <b>\$0.00</b> |
|------------------|---------------|

## Weatherization (HVAC and Insulation)

No Information Entered

|                        |        |
|------------------------|--------|
| Estimated cost of HVAC | \$0.00 |
|------------------------|--------|

|   |        |
|---|--------|
| Estimated cost of insulation improvements | \$0.00 |
|---|--------|

|       |            |
|-------|------------|
| Other | \$4,221.00 |
|-------|------------|

|                  |                   |
|------------------|-------------------|
| <b>Sub Total</b> | <b>\$4,221.00</b> |
|------------------|-------------------|

## New Construction

No Information Entered

|                                    |        |
|------------------------------------|--------|
| Estimated cost of new construction | \$0.00 |
|------------------------------------|--------|

|                  |               |
|------------------|---------------|
| <b>Sub Total</b> | <b>\$0.00</b> |
|------------------|---------------|

## Financial Details

### Fund Request

| Fund Request                           | Reimbursement        |
|--|----------------------|
| Eligible Costs Total                   | \$4,221.00           |
| Total Estimated Project Cost           | \$4,221.00           |
| Total Funding Amount Requested         | \$4,221.00           |
| Recommended Funding Amount             | \$4,221.00           |
| Up Front Funding Amount Requested      | Not Specified        |
| <b>Pay Go Funding Amount Requested</b> | <b>Not Specified</b> |

**Funding Source** - Indicate how you intend to fund the project. Note - Applicant will cover all upfront costs; the incentive will be provided as a reimbursement after project completion.

Indicate how you intend to fund the project.

**Note** - Applicant will cover all upfront costs; the incentive will be provided as a reimbursement after project completion.

Grants

Personal Savings

Loan / Credit Card

Other \$4,221.00

**Sub Total** \$4,221.00

### Additional Notes / Comments

No Information Entered

## Estimated Timeline

February 17, 2026

|  |                   |
|--|-------------------|
| Anticipated start date                     | Responsible Party |
| Estimated date of the start of the project | Developer         |

February 17, 2026

|                          |                   |
|--------------------------|-------------------|
| CRA Board - Final Review | Responsible Party |
| Approval/Denial          | Governing Body    |

February 17, 2027

|   |                   |
|---|-------------------|
| Anticipated completion date                     | Responsible Party |
| Estimated date of the completion of the project | Developer         |

## Parties

### Authorized Representative

|               |                        |
|---------------|------------------------|
| Business Name | Business EIN           |
|               | No Information Entered |
| Contact Name  | Address                |
|               | ,                      |
| Phone Number  |                        |

## Declarations

### Conflict of Interest Disclosures:

Is any owner of the business and / or land / building, or any tenant, or any of the project developers an elected official or appointed official or related to an elected official or appointed official, or routinely contracts to provide goods or services to the governing body (North Magnolia Residential Improvement Grant)

**Applicant Answer:** No

**Declarations:**

**General Conditions** It is expressly understood and agreed that the applicant shall be solely responsible for all safety conditions and compliance with all safety regulations, building codes, ordinances, and other applicable regulations. It is expressly understood and agreed that the applicant will not seek to hold the City of Ocala, the Grant Review Committee (Committee) and/or its agents, employees, board members, officers and/or directors liable for any property damage, personal injury, or other loss relating in any way to the Program. It is expressly understood and agreed that the applicant will hold harmless the City, its agents, officers, employees and attorneys for all costs incurred in additional investigation or study of, or for supplementing, redrafting, revising, or amending any document (such as an Environmental Impact Report, specific plan, or general plan amendment) if made necessary by said proceeding and if the applicant desires to pursue such approvals and/or clearances, after initiation of the proceeding, which are conditioned on the approval of these documents. The applicant authorizes the City of Ocala to promote any approved project including but not limited to displaying a sign at the site, during and after construction, and using photographs and descriptions of the project in City of Ocala materials and press releases. If the applicant fails to perform the work approved by the Committee, the City reserves the right to cancel the grant. The applicant also understands that any work started/completed before the application is approved by the Committee is done at their own risk, and that such work will jeopardize their grant award. Completion of this application by the applicant DOES NOT guarantee that grant monies will be awarded to the applicant.

**Applicant Answer:** Yes

I have read and understand the terms and conditions of the Program and agree to the general conditions and terms outlined in the application process and guidelines of the Program.

**Applicant Answer:** Yes

**Ocala Community Redevelopment Agency  
Project Cost Summary**

**Application ID:** CRA26-0005

**Address:** 130 NW 17th Street

**CRA subarea:** North Magnolia

| No. | Eligible work item            | High quote(s)      | Low quote(s)       |
|-----|-------------------------------|--------------------|--------------------|
| 1   | Septic to City sanitary sewer | \$ 7,500.00        | \$ 4,221.00        |
|     | <b>Total</b>                  | <b>\$ 7,500.00</b> | <b>\$ 4,221.00</b> |

**Maximum CRA grant that can be awarded based  
on 100% match. \$ 4,221.00**



Hefner Plumbing Company, Inc.  
PO Box 1291  
Ocala, FL 34478

Phone: (352) 620-2883  
hefnerplumbinginc@gmail.com  
hefnerplumbing.com

Bill to  
**Jack Eason**  
130 NW 17th St  
Ocala, FL 34475

**Quote #:** q1142

Quote Expires in 30 days from date received

| Description                                | Quantity | Price      | Amount     |
|--|----------|------------|------------|
| Scope of Work: New Sewer Line Installation | 1        | \$7,500.00 | \$7,500.00 |

Description:

Excavate trench from house to city sewer tap at property line using a track hoe.

Install new 4" sewer line from house to city connection.

Install one two-way cleanout near the building for maintenance access.

Backfill trench and regrade disturbed area to rough grade upon completion.

*Includes obtaining required permits and coordinating all inspections.*

Notes:

All work will be performed in accordance with applicable local codes and regulations. Hefner Plumbing is not responsible for proper abandonment of existing septic tank.

Total: \$7,500.00

All Deposits are Non-Refundable

Credit Card Payments have a 3% Bank Fee



**Miller and Sons Plumbing INC.**  
 3700 SW 7th Street  
 Ocala, FL 34474  
 352-433-6525  
 CFC1429711

**Estimate 130350772**  
**Estimate Date 10/10/2025**

**Billing Address**

Jack Eason  
 130 Northwest 17th Street  
 Ocala, FL 34475 USA

**Job Address**

Jack Eason  
 130 Northwest 17th Street  
 Ocala, FL 34475 USA

| Service # | Description   | Quantity | Your Price | Total      |
|-----------|---|----------|------------|------------|
| Sales     | <p>This estimate is to crush and abandon septic tank and connect it to the existing sewer</p> <p>Miller and sons to supply all necessary hook up material- PVC/DWV pipe and fittings</p> <p>Permit</p> <p>Excavator</p> <p>This job has an allowance of 40 feet of sewer piping and fittings if more than 40 feet of piping is used the additional material and labor will be added to the total of the estimate</p> <p>During this time we will also install a new two way clean out at the home and city tap for future service and maintenance</p> <p>Miller and sons will begin work once the new city sewer line has been located by the business or home owner and or the city for miller and sons to tie on to</p> <p>We will begin by digging up and exposing the septic tank so it can be pumped once pumped miller and sons will crush in the septic tank Once septic tank has been crushed and abandoned we will adapt onto the existing sewer line exiting the home and route it from the front of the home over to the new city tap</p> <p>Once installed miller and sons will call in for inspection We will leave the new sewer line exposed so it can be inspected by the city Once inspection passes we will make a return trip to back fill the trench</p> <p>If any fill dirt is needed at the time of the job the additional cost for providing fill dirt will be added to the total of the job</p> <p>In the event the existing sewer line coming from the city is not deep And we won't have enough fall to create a proper pitch to gravity feed the sewer line to the city a lift station will need to be installed at an additional cost of 2800.00</p> <p>The lift station will require a 110v outlet it will be the business owners responsibility to coordinate an electrician to have the appropriate power installed</p> <p>During this time miller and sons will be using an excavator to dig up and expose the septic tank to be crushed in</p> <p>miller and sons is not responsible for sod, or soil replacement</p> <p>Miller and sons is not responsible for existing plumbing, buried lines in the ground, electrical, concrete, asphalt or any unforeseen circumstances</p> | 1.00     | \$2,650.00 | \$2,650.00 |
| Sales     | Return to back fill   | 1.00     | \$450.00   | \$450.00   |
| Deposit   | Once deposit has been collected we will then schedule job.  | 1.00     | \$0.00     | \$0.00     |

**Stipulation - 50%** If For any reason after deposit is collected and job needs to be canceled due to county/city/other than Miller And Sons Plumbing ,we will collect \$250 from the deposit to cover processing and administration fees.

Once job has been completed ,We will then collect the remainder 50% of project

**Service- Stipulations** Miller and sons plumbing is not responsible for any of the following: Existing plumbing, drywall repair/replacement/patching, painting, cabinetry, countertops, flooring, electrical work, tile, any customer decoration ,landscaping, sod, rock bed, mulch etc..

If job has permit pulled by miller and sons or if miller and sons plumbing is attached to an existing or new permit,

Miller and sons is to fully complete this job. From start to finish. If any plumbing related work is completed by any other than Miller and sons plumbing the permit will be canceled and all warranty will be voided.

Any failed inspections due to customer/contractor installed plumbing miller and sons is not responsible for re inspection cost.

Miller and sons plumbing is not responsible for any additional work outside the scope of this job.

Miller and sons will not be responsible for any owner supplied or contractor supplied material.

If any additional trips are needed for any reason outside of miller and sons fault, there will be a charge for an additional material and or labor.

Miller and sons is not responsible for any broken stucco when drilling through block wall. Miller and sons is also not responsible for any paint on interior or exterior of home.

Miller and sons is not responsible for any buried lines and will not be responsible for any private locates. If private communications, gas, water, irrigation, internet lines etc.. is broken and was not marked by private locating company miller and sons will not be liable.

Miller and sons is not responsible for any customer belongings in closets or on wall, Miller and sons will help move if needed but is not responsible if anything is broken.

**Permit Level 1** Permit 1.00 \$0.00 \$0.00

**Sales** This portion of the estimate is to run a new kitchen sink drain line 1.00 \$1,121.00 \$1,121.00

Miller and sons is to run a new kitchen sink drain line and tie it onto the new sewer line

Miller and sons is to ensure the new line has the proper pitch to meet code

Miller and sons is to ensure the line is properly strapped and supported to meet code

Allowance to run up to 20 feet of pvc/dvw piping and fittings

---

|                            |            |
|----------------------------|------------|
| <b>Sub-Total</b>           | \$4,221.00 |
| <b>Tax</b>                 | \$0.00     |
| <b>Total Due</b>           | \$4,221.00 |
| <b>Deposit/Downpayment</b> | \$0.00     |
| <b>Est. Financing</b>      | \$78.17    |

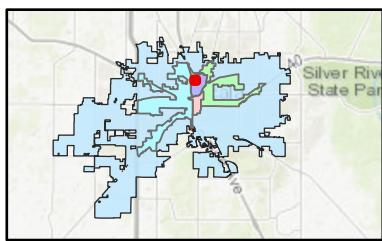
# CRA GRANT REQUEST MAP

CRA Meeting: 2/17/2026

Address: 130 NW 17th St

Parcel: 25827-001-00

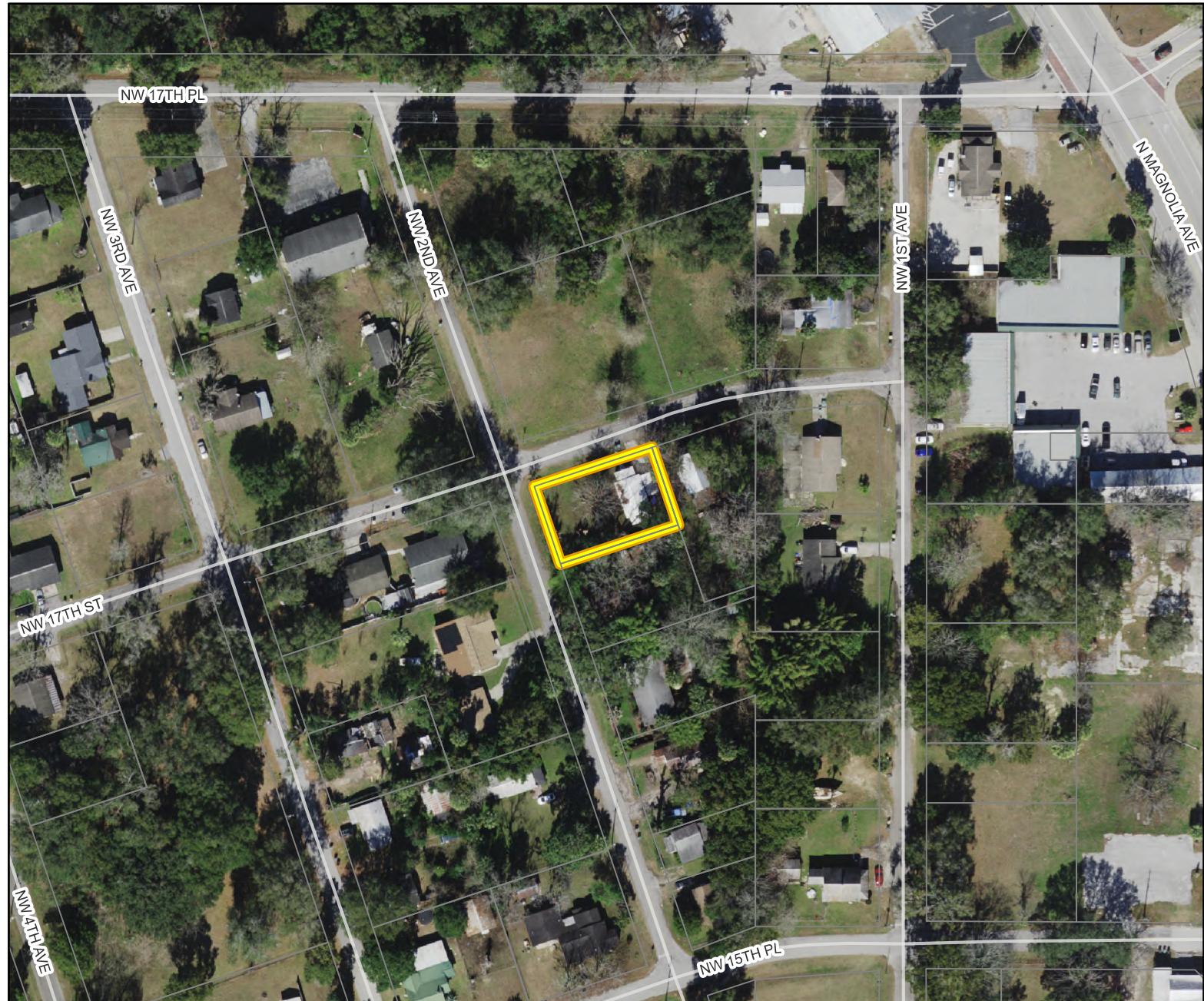
## Location Map



Property Size: Approximately 0.17 acres

CRA Location: North Magnolia

Proposal: A request for CRA Grant funding for reroofing, HVAC, fencing, and attic insulation.



 Subject Property

 Parcels

 City Limits



0

500 Feet

**OCALA**

Prepared by the City of Ocala  
Growth Management Department  
by kwirthlin on 7/24/2024

# CRA GRANT REQUEST MAP

CRA Meeting: 2/17/2026

**Address:** 130 NW 17th St

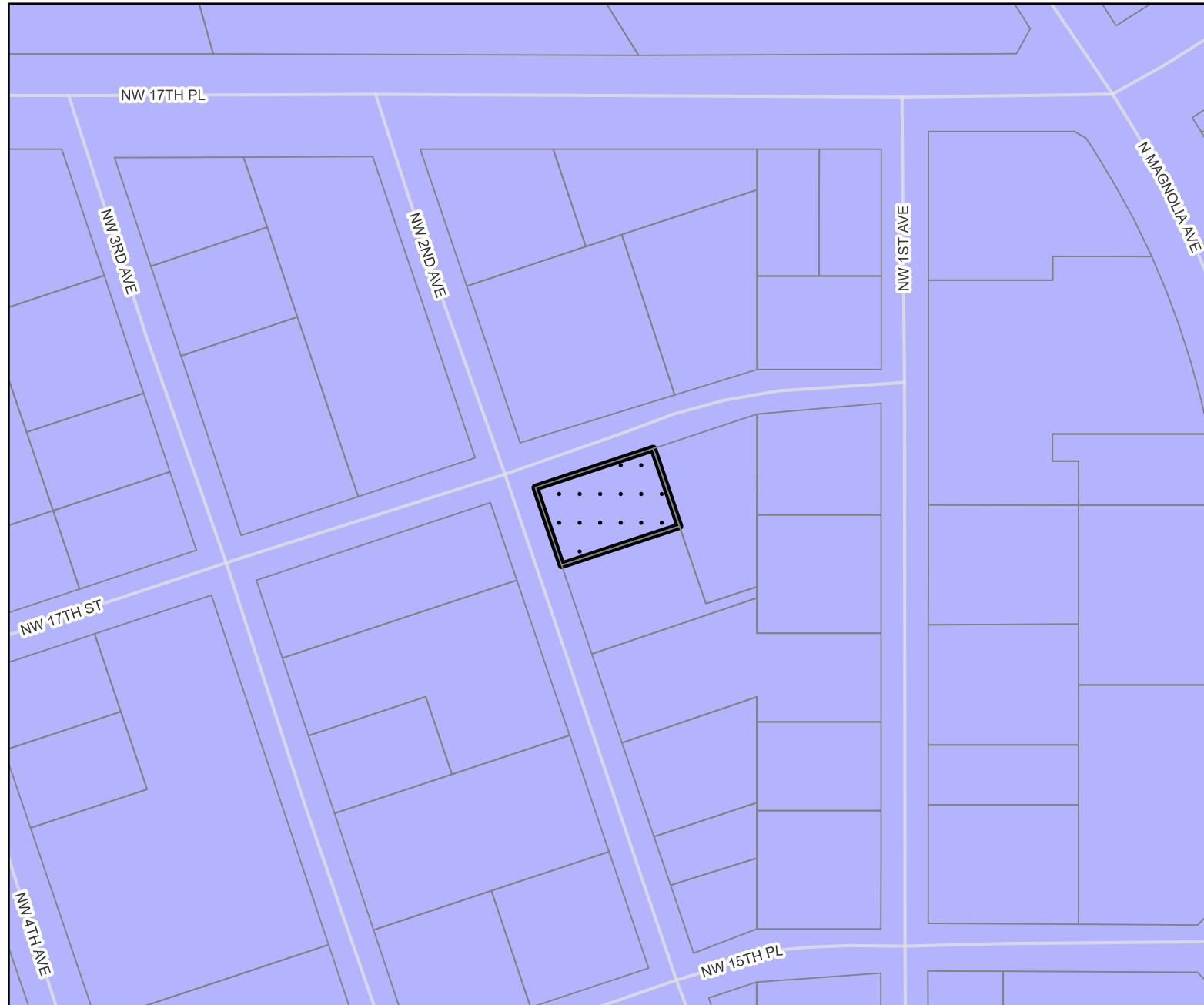
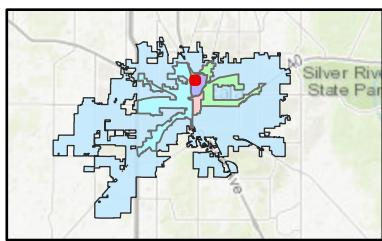
**Parcel:** 25827-001-00

**Property Size:** Approximately 0.17 acres

**CRA Location:** North Magnolia

**Proposal:** A request for CRA Grant funding for reroofing, HVAC, fencing, and attic insulation.

## Location Map



 **Subject Property**

 **North Magnolia CRA**

 **Parcels**

 **City Limits**



0

500 Feet



Prepared by the City of Ocala  
Growth Management Department  
by kwirthlin on 7/24/2024

84



## *City of Ocala*

GROWTH MANAGEMENT DEPARTMENT  
201 SE 3<sup>RD</sup> STREET, 2<sup>ND</sup> FLOOR  
OCALA, FLORIDA 34471

September 12, 2024

Jack Eason  
Kimberly Jack Homes LLC  
130 NW 17th St.  
Ocala, FL 34475

RE: North Magnolia CRA Residential Property Improvement Grant CRA24-45764 – 130 NW 17<sup>th</sup> St.

Dear Mr. Eason,

This is to inform you that on September 3, 2024, the Ocala Community Redevelopment Agency Board approved your CRA grant (CRA24-45764) for the improvement project to be done at 130 NW 17th Street. The grant is approved as follows:

| Grant #     | Project  | Project Cost | CRA Grant   |
|-------------|--|--------------|-------------|
| CRA24-45764 | Reroofing, fencing, attic insulation, and HVAC installation with associated electrical work. | \$23,586.95  | \$17,690.21 |

As part of the grant match, you are eligible to be reimbursed up to the above specified grant amount, provided the project meets all requirements outlined in the Grant Program application. Your completed application packet serves as the grant agreement and all terms and conditions in the application document must be followed.

Please let me know when the project is complete so that the CRA can inspect the work for grant compliance. Reimbursement will occur after you have submitted copies of:

1. invoices signed as paid in full by contractors and/or vendors,
2. proof of payment (copies of cancelled checks, credit card receipts, etc.) for eligible work items, and
3. completed vendor forms (attached).

I look forward to working with you. Please let me know if you have questions.

Sincerely,

*Roberto Ellis*

Roberto Ellis  
Economic Development Manager

Jimmy H. Cowan, Jr., CFA

# Marion County Property Appraiser



501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

## 2026 Property Record Card

25827-001-00

[GOOGLE Street View](#)

Prime Key: 621111

[MAP IT+](#)

Current as of 1/27/2026

### [Property Information](#)

KIMBERLY JACK HOMES LLC  
315 NE 9TH AVE  
OCALA FL 34470-5334

[Taxes / Assessments:](#)

Map ID: 178

[M.S.T.U.](#)

PC: 01

Acres: .17

[Millage:](#) 1001 - OCALA

Situs: 130 NW 17TH ST OCALA

### [2025 Certified Value](#)

|                      |          |                           |            |
|----------------------|----------|---------------------------|------------|
| Land Just Value      | \$31,972 |                           |            |
| Buildings            | \$35,141 |                           |            |
| Miscellaneous        | \$294    |                           |            |
| Total Just Value     | \$67,407 | Impact                    |            |
| Total Assessed Value | \$54,936 | <a href="#">Ex Codes:</a> | (\$12,471) |
| Exemptions           | \$0      |                           |            |
| Total Taxable        | \$54,936 |                           |            |
| School Taxable       | \$67,407 |                           |            |

### [History of Assessed Values](#)

| Year | Land Just | Building | Misc Value | Mkt/Just | Assessed Val | Exemptions | Taxable Val |
|------|-----------|----------|------------|----------|--------------|------------|-------------|
| 2025 | \$31,972  | \$35,141 | \$294      | \$67,407 | \$54,936     | \$0        | \$54,936    |
| 2024 | \$31,972  | \$32,514 | \$276      | \$64,762 | \$49,942     | \$0        | \$49,942    |
| 2023 | \$24,360  | \$20,830 | \$212      | \$45,402 | \$45,402     | \$0        | \$45,402    |

### [Property Transfer History](#)

| Book/Page                 | Date    | Instrument    | Code                   | Q/U | V/I | Price    |
|---------------------------|---------|---------------|------------------------|-----|-----|----------|
| <a href="#">7947/0632</a> | 12/2022 | 07 WARRANTY   | 2 V-SALES VERIFICATION | Q   | I   | \$85,000 |
| <a href="#">7398/0016</a> | 03/2021 | 07 WARRANTY   | 4 V-APPRAISERS OPINION | Q   | I   | \$31,500 |
| <a href="#">6769/0237</a> | 02/2018 | 08 CORRECTIVE | 0                      | U   | I   | \$100    |
| <a href="#">6739/1267</a> | 02/2018 | 05 QUIT CLAIM | 2 V-SALES VERIFICATION | U   | I   | \$10,000 |
| <a href="#">5926/1656</a> | 09/2013 | 05 QUIT CLAIM | 0                      | U   | I   | \$100    |
| <a href="#">5859/1405</a> | 09/2004 | 05 QUIT CLAIM | 0                      | U   | I   | \$100    |
| <a href="#">2940/0556</a> | 12/2000 | 51 AGR-DED    | 5 V-OTHER MLSAGENT     | U   | I   | \$22,900 |
| <a href="#">2958/1887</a> | 09/2000 | 05 QUIT CLAIM | 0                      | U   | I   | \$100    |
| <a href="#">1304/1601</a> | 09/1985 | 07 WARRANTY   | 0                      | Q   | I   | \$15,000 |
| <a href="#">1271/1360</a> | 03/1985 | 64 SJDMNT     | 0                      | U   | I   | \$100    |
| <a href="#">1271/1359</a> | 02/1985 | 71 DTH CER    | 0                      | U   | I   | \$100    |

### [Property Description](#)

SEC 07 TWP 15 RGE 22  
 PLAT BOOK A PAGE 166  
 THE CENTRAL LAND CO'S REVISED PLAT OF MARION HEIGHTS  
 BLK 9 LOT 2

Land Data - Warning: Verify Zoning

| Use               | CUse | Front | Depth | Zoning | Units | Type | Rate | Loc | Shp | Phy | Class | Value | Just Value |
|-------------------|------|-------|-------|--------|-------|------|------|-----|-----|-----|-------|-------|------------|
| 0100              |      | 70.0  | 105.0 | R1A    | 70.00 | FF   |      |     |     |     |       |       |            |
| Neighborhood 1034 |      |       |       |        |       |      |      |     |     |     |       |       |            |
| Mkt: 8 70         |      |       |       |        |       |      |      |     |     |     |       |       |            |

Traverse

**Building 1 of 1**

RES01=L20D30R20U30.L2

UST02=L4U6R4D6.L18D12

FCP03=L11D16R11U16.D18R3

FOP04=R14D8L14U8.U30L1

USP05=U6R12D6L12.



Building Characteristics

|                      |                           |   |
|----------------------|---------------------------|---|
| <b>Improvement</b>   | 1F - SFR- 01 FAMILY RESID | <b>Year Built</b> 1928  |
| <b>Effective Age</b> | 7 - 30-34 YRS             | <b>Physical Deterioration</b> 0%                                  |
| <b>Condition</b>     | 3                         | <b>Obsolescence: Functional</b> 0%                                |
| <b>Quality Grade</b> | 300 - LOW                 | <b>Obsolescence: Locational</b> 0%                                |
| <b>Inspected on</b>  | 3/28/2023 by 118          | <b>Architecture</b> 0 - STANDARD SFR<br><b>Base Perimeter</b> 100 |

| Type                      | ID   | Exterior Walls | Stories | Year Built | Finished | Attic | Bsmt Area | Bsmt Finish | Ground Floor Area | Total Flr Area |
|---------------------------|------|----------------|---------|------------|----------|-------|-----------|-------------|-------------------|----------------|
| RES 0126 - SIDING-NO SHTG | 1.00 | 1928           | N       | 0 %        | 0 %      |       |           |             | 600               | 600            |
| UST 0226 - SIDING-NO SHTG | 1.00 | 1928           | N       | 0 %        | 0 %      |       |           |             | 24                | 24             |
| FCP 0301 - NO EXTERIOR    | 1.00 | 1928           | N       | 0 %        | 0 %      |       |           |             | 176               | 176            |
| FOP 0401 - NO EXTERIOR    | 1.00 | 1928           | N       | 0 %        | 0 %      |       |           |             | 112               | 112            |
| USP 0501 - NO EXTERIOR    | 1.00 | 1828           | N       | 0 %        | 0 %      |       |           |             | 72                | 72             |

**Section: 1**

|                                      |  |                           |                             |
|--------------------------------------|--|---------------------------|-----------------------------|
| <b>Roof Style:</b> 10 GABLE          | <b>Floor Finish:</b> 28 SOFTWD ON WOOD | <b>Bedrooms:</b> 2        | <b>Blt-In Kitchen:</b> Y    |
| <b>Roof Cover:</b> 16 GALVANIZED MTL | <b>Wall Finish:</b> 10 WALLBOARD       | <b>4 Fixture Baths:</b> 0 | <b>Dishwasher:</b> N        |
| <b>Heat Meth 1:</b> 06 CONVECTION    | <b>Heat Fuel 1:</b> 06 GAS             | <b>3 Fixture Baths:</b> 1 | <b>Garbage Disposal:</b> N  |
| <b>Heat Meth 2:</b> 00               | <b>Heat Fuel 2:</b> 00                 | <b>2 Fixture Baths:</b> 0 | <b>Garbage Compactor:</b> N |
| <b>Foundation:</b> 3 PIER            | <b>Fireplaces:</b> 0                   | <b>Extra Fixtures:</b> 2  | <b>Intercom:</b> N          |
| A/C: N                               |  |                           | <b>Vacuum:</b> N            |

Miscellaneous Improvements

| Type               | Nbr Units | Type | Life | Year In | Grade | Length | Width |
|--------------------|-----------|------|------|---------|-------|--------|-------|
| 105 FENCE CHAIN LK | 175.00    | LF   | 20   | 1928    | 1     | 0.0    | 0.0   |

Appraiser Notes

Planning and Building

\*\* Permit Search \*\*

| Permit Number | Date Issued | Date Completed | Description           |
|---------------|-------------|----------------|-----------------------|
| BLD24-2405    | 9/25/2024   | 11/7/2024      | JACK EASON REROOF     |
| ELE24-1002    | 9/5/2024    | 11/18/2024     | KIMBERLY METER REPAIR |

**NORTH MAGNOLIA REDEVELOPMENT AREA  
MARION HEIGHTS RESIDENTIAL PROPERTY  
IMPROVEMENT GRANT APPLICATION**

(Completed application and all required attachments must be submitted)

**PROJECT INFORMATION**

Project Name: \_\_\_\_\_

Project Address: 130 NW 17<sup>th</sup> ST Ocala Fl 34475

Parcel Number: 25827-001-00

**APPLICANT INFORMATION**

Applicant's Name: Jack Eason

Name of person to receive all correspondence if different from applicant:  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Agent's Name (if applicable): ✓

Agent's Mailing Address: \_\_\_\_\_

City: Ocala State: FL Zip: 34475

Phone number: 352-239-6614 Fax: \_\_\_\_\_

E-mail address: jackieeason 1961 @ Yahoo.com

How long have you owned / lived at the current location? 2 years 10 months

### **PROJECT DESCRIPTION:**

If necessary, attach additional sheets addressing the following

Explain the purpose of and need for the proposed improvements. Conversion from  
septic to sanitary sewer

Would the proposed improvements be made without the assistance of the grant program? If not, please explain. eventually

## **PROJECT COSTS & SCHEDULE**

Estimated cost of project based on attached submitted low bid(s). \$4221.00

**Required -- Attach itemized bid sheets.**

How much funding assistance are you requesting?

Anticipated start date: When CRA is approved Anticipated completion date: \_\_\_\_\_

Applicant

I, Jack Eason, owner/occupant of building at 130 NW 17<sup>th</sup> Str, have read and understand the terms and conditions of the Program and agree to the general conditions and terms outlined in the application process and guidelines of the Program.

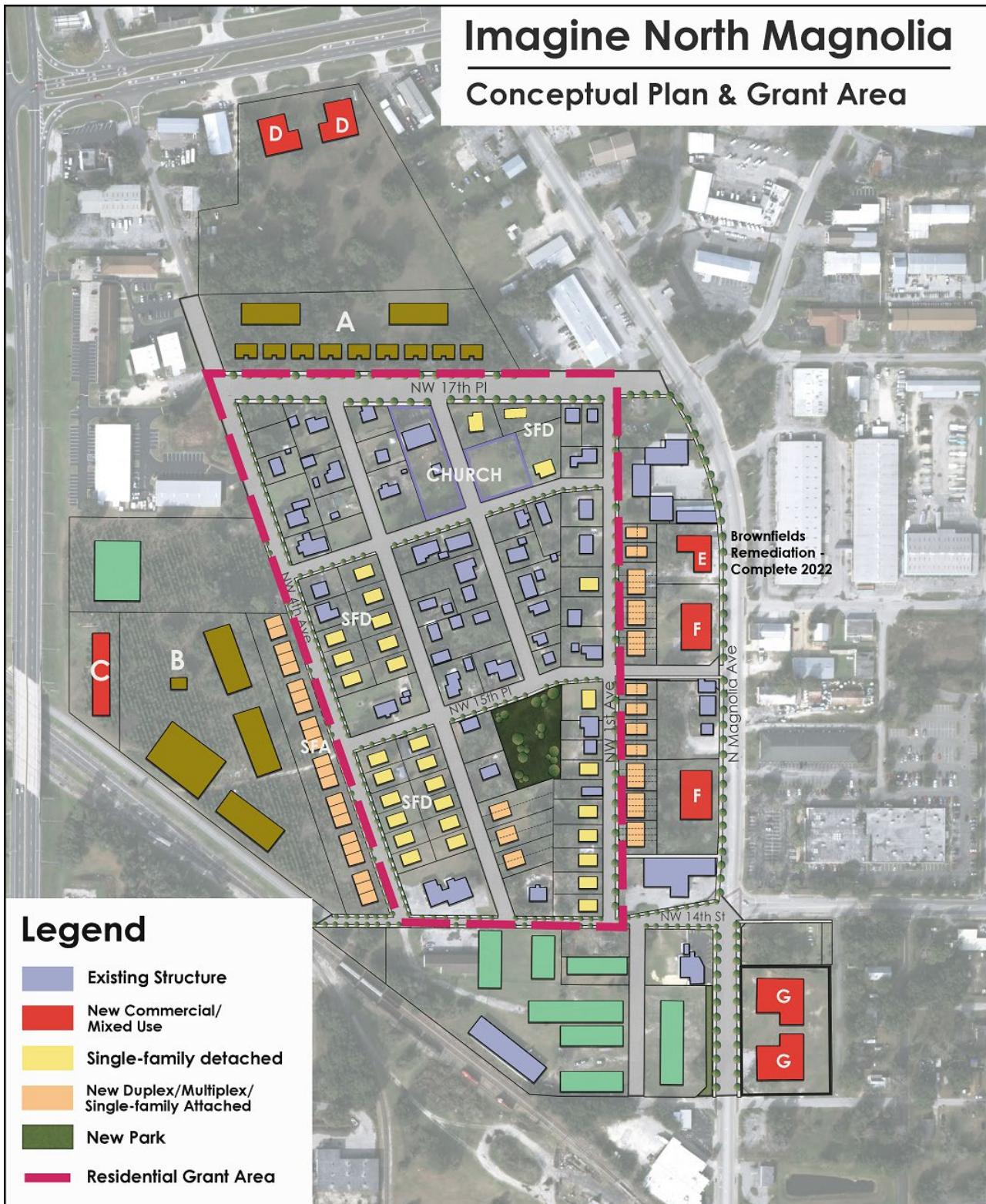
Signature Jack Eason  
Date 10/15/25

Property Information – For staff use only

|  |       |
|--|-------|
| Is the property assessed Marion County property taxes?         | Y / N |
| Are property taxes paid up to date?                            | Y / N |
| Is the property in condemnation or receivership?               | Y / N |
| Is there an active City code enforcement case on the property? | Y / N |

# Imagine North Magnolia

## Conceptual Plan & Grant Area



**Site Conditions – 130 NW 17<sup>th</sup> Street**



**Image 1- View of the property looking south from NW 17<sup>th</sup> Street**



**Image 2- Location of the septic tank.**



# CRA Subarea: North Magnolia

## Framework Residential Property Improvement Grant

### ELIGIBLE AREA

Neighborhoods within the North Magnolia CRA boundary.

### ELIGIBLE APPLICANT

Property owner, or tenant with property owner's approval.

### ELIGIBLE PROPERTIES

- Taxable ad valorem properties – Property taxes must be current and fully paid.
- Property must be used for residential purposes.
- Single family and duplex homes within the CRA subarea. This includes owner occupied and rental units.

### ELIGIBLE WORK

#### Improvements Eligible for Grant Funding Include:

- Exterior painting (colors must be approved by the Committee)
- Pressure washing and related work to repair and prepare surfaces for painting
- Repair or replacement of windows and doors (exterior improvements only)
- Demolition of irreparably damaged houses or structures
- Installation of new landscaping visible from the street or sidewalk
- Fencing installation or replacement
- Roofing repairs or upgrades
- Weatherization improvements (HVAC & Insulation)
- New construction (on vacant property)
- Conversion from septic system to City sanitary sewer service\*

### MAXIMUM GRANT

**\$20,000** (Reimbursement)

### REQUIRED MATCH

The City covers 75%, the applicant covers 25%. To receive the maximum grant, the total project cost for eligible improvements must be no less than \$26,667.

\*Reimburses 100% of costs.



# Ocala

## Legislation Text

110 SE Watula Avenue  
Ocala, FL 34471

[www.ocalafl.gov](http://www.ocalafl.gov)

---

**File #:** 2026-0691

**Agenda Item #:** 5c.

---

Submitted By: Roberto Ellis

Presentation By: Roberto Ellis

Department: Growth Management

---

### **STAFF RECOMMENDATION (Motion Ready):**

Appointment of Linda Wilkerson to an unexpired term ending March 1, 2029, on the West Ocala Redevelopment Advisory Committee

---

### **OCALA'S RELEVANT STRATEGIC GOALS:**

Operational Excellence

---

### **PROOF OF PUBLICATION:**

N/A

---

### **BACKGROUND:**

The Community Redevelopment Agency (CRA) and Ocala City Council adopted resolutions on November 1, 2016, establishing the West Ocala Redevelopment Advisory Committee (Advisory Committee), and nine members were appointed. Staff is proposing that the CRA Board appoint Linda Wilkerson to an unexpired term expiring on March 1, 2029.

### **FINDINGS AND CONCLUSIONS:**

The West Ocala Redevelopment Advisory Committee members also serve on other boards, committees, and organizations that represent West Ocala. Advisory Committee members shall serve four-year terms and may be reappointed. If a term is vacated, the candidate will serve the remainder of the term. Long-serving member Dr. Barbara Brooks resigned from the Advisory Committee, resulting in a vacancy.

Linda Wilkerson is a member of the Poinciana Heights Homeowners and Renters Task Force. Please refer to the attached application for further information. If the CRA Board approves the appointment, the candidate will be presented at the next scheduled Ocala City Council meeting for confirmation.

### **FISCAL IMPACT:**

N/A

### **PROCUREMENT REVIEW:**

N/A

**LEGAL REVIEW:**

N/A

**ALTERNATIVE:**

- Approve
- Approve with Changes
- Table
- Deny

**Application Form****Profile**

Linda  
Prefix First Name

Wilkerson  
Last Name

lagirls3@yahoo.com  
Email Address

2351 SW 2nd St.  
Home Address

Suite or Apt

Ocala  
City

FL  
State

34471  
Postal Code

**Business Name and Address**

Retired  
Occupation

Mobile: (352) 804-5211  
Primary Phone

Home: (352) 368-7058  
Alternate Phone

**Are you a resident of Marion County?**

Yes  No

**If you are a resident, state length of time in years:**

75

**Do you own property within the City Limits?**

Yes  No

**Do you reside within the City Limits?**

Yes  No

**Do you own a business within the City Limits?**

Yes  No

**Do you hold a public office?**

Yes  No

**Are you a registered City voter?**

---

Yes  No

**Are you employed by the City?**

---

Yes  No

**At the present time, do you serve on a City Board, Commission, Authority, or Committee?**

---

Yes  No

---

*Please Note: A board/commission member shall not serve on more than one City board/commission at a time, unless that board/commission is an interim Ad Hoc Committee.*

**Which Boards would you like to apply for?**

---

West Ocala Redevelopment Advisory Committee: Submitted

***Please note this application is effective for one year from date of submission.***

**Until such time as you are selected for the board/commission of your choice, can we submit your application when vacancies occur without contacting you each time?**

---

Yes  No

---

**Interests & Experiences**

Please tell us about yourself and why you want to serve.

**Why do you think you are qualified to serve on this board/commission?**

I have lived on the west side since 1970 and I care about how our community looks and who needs assistance from the city and how to go about getting it. I serve as a director on the board with the "Poinciana Heights Homeowners and Renters Task Force Meeting." I enjoy talking to the people in the neighborhood about improvements that need to be done to enhance our community, as well as making it a safe place for our children to walk and play. I would be delighted to work with the city to see some of these changes take place on the west side.

## **Brief Resume of Education and Experience:**

---

LINDA WILKERSON lagirls3@yahoo.com 352-804-5211 Ocala, FL 34471 Bold Profile SKILLS Quality control• Continuous improvement• Production management• Training and mentoring• Schedule management• Health and safety compliance• Worker training• Assembly and production• Production planning• Manufacturing• Waste reduction• Audit management• Housekeeping oversight• 6S implementation• EDUCATION United Theological Seminary Monroe, LA• 06/2006 Master Theology: Theological Studies CFCC Ocala, FL• 01/1989 No Degree: Business PROFESSIONAL SUMMARY Dynamic Production Supervisor with extensive experience at Lockheed Martin, excelling in quality control and continuous improvement. Proven track record in training and mentoring teams, enhancing workflow efficiency, and implementing waste reduction strategies. Skilled in production management and committed to maintaining health and safety compliance while achieving operational excellence. Experienced production leader knowledgeable about industrial practices and regulatory requirements. Directs and motivates employees to accomplish challenging performance and quality objectives. Successful at keeping costs low and employee job satisfaction high while promoting safety and compliance. WORK HISTORY Lockheed Martin - Production Supervisor Ocala, FL• 08/1981 - 09/2015 • • • • • Oversaw daily production operations to ensure efficiency and adherence to quality standards. Trained and mentored team members on best practices and safety protocols. Implemented process improvements that enhanced workflow and reduced waste. Managed inventory levels, coordinating with supply chain for timely materials delivery. Conducted performance evaluations to promote employee development and accountability. Facilitated cross-departmental communication to streamline production schedules and resolve issues. Oversaw employee training initiatives to ensure all team members were proficient in company procedures, safety regulations, and job-specific tasks. Improved product quality by monitoring production processes, conducting inspections, and initiating corrective actions as needed. Managed team of up to 50 production associates, overseeing productive production processes and meeting all deadlines. Managed internal operational standards and productivity targets. • Lockheed Martin - Production Worker Ocala, FL• 02/1970 - 08/1981 • • Operated machinery to assemble products efficiently and accurately. Followed safety protocols to maintain a secure work environment. Assisted in quality control by inspecting finished goods for defects. Collaborated with team members to meet production deadlines consistently. Maintained cleanliness and organization of work area to enhance productivity. Learned and utilized various tools and equipment effectively for assembly tasks. Adapted quickly to new processes and changes in production. • • • schedules. Resolved issues quickly to maintain productivity goals. Took on additional shifts during peak work periods to keep projects on schedule. Participated in continuous improvement initiatives, implementing best practices to enhance overall



Upload a Resume

**By submitting this application, you hereby confirm that you have read and understand the application, that all information furnished by yourself is true and accurate and that, to the best of your knowledge, you meet the criteria for serving on the board(s)/commission(s) for which you are applying.**

**If you have any questions, please call the Office of the City Clerk at (352) 629-8266.**



Slate of Directors and Officers

2025- 2026

| <u>Name</u>         | <u>Director</u> | <u>Officer</u>  |
|---------------------|-----------------|-----------------|
| Tara Morgan-Johnson | X               |                 |
| Angela McCants      | X               | President       |
| Carolyn Farmer      | X               | Secretary       |
| Lisa Coleman        | X               | Treasurer       |
| Harvey Leo Sermon   | X               | Vice President  |
| Linda Wilkerson     |                 |                 |
| Vernon Braddock     | X               | Asst. Secretary |

## **CRA RESOLUTION CRA-2017-1**

A RESOLUTION OF THE COMMUNITY REDEVELOPMENT AGENCY OF THE CITY OF OCALA, FLORIDA, RELATING TO COMMUNITY REDEVELOPMENT; APPOINTING AN ADVISORY COMMITTEE TO THE COMMUNITY REDEVELOPMENT AGENCY FOR THE WEST OCALA REDEVELOPMENT SUBAREA; PROVIDING FOR MEMBERSHIP; PROVIDING FOR TERMS AND INITIAL APPOINTMENTS; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS:

- A. City Council adopted Resolution No. 99-01 on June 22, 1999, designating City Council as the Community Redevelopment Agency pursuant to Section 163.357, Florida Statutes;
- B. City Council adopted Resolution No. 2013-42 on May 7, 2013, finding the existence of one or more blighted areas in the City of Ocala referred to as the "West Ocala Redevelopment Area," finding the conditions in the area meet the criteria described in Section 163.340(8), Florida Statutes, for a blighted area; and
- C. City Council adopted Resolution No. 2016-10 on November 17, 2015, modifying the Community Redevelopment Plan to include the "West Ocala Redevelopment Subarea and Plan.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF OCALA, FLORIDA:

1. That the West Ocala Redevelopment Advisory Committee is hereby appointed as an advisory board to the Community Redevelopment Agency for the area defined as the West Ocala Redevelopment Subarea. The committee shall advise the Community Redevelopment Agency on redevelopment efforts of the established subarea pursuant to Chapter 163, Part III, Florida Statutes.
2. The West Ocala Redevelopment Advisory Committee shall consist of nine members appointed by the Community Redevelopment Agency from boards, committees and organizations representing West Ocala (e.g., West Ocala Business Alliance, Governor's West Ocala Neighborhood Revitalization Council (GWONRC) and West Ocala Steering Committee). The committee shall meet at least two times a year and adopt by-laws governing voting, officers and procedures. Such by-laws shall be approved by the Agency.
3. West Ocala Redevelopment Advisory Committee members shall serve four year terms and may be reappointed. Any vacancy occurring during any terms shall be filled by the Agency for the duration of the unexpired term. The initial terms shall be as follows; three members to serve until March 1, 2021; two members to serve until March 1, 2020; two members to serve until March 1, 2019 and two members to serve until March 1, 2018.

The initial members shall be as follows:

| <u>Name</u>        | <u>Representing</u>           | <u>Term</u>   |
|--------------------|-------------------------------|---------------|
| Jimmy Griffin      | West Ocala Business Alliance  | March 1, 2021 |
| Elgin Carelock     | West Ocala Business Alliance  | March 1, 2021 |
| Dr. Barbara Brooks | GWONRC                        | March 1, 2021 |
| Scott Hackmyer     | GWONRC                        | March 1, 2020 |
| Dr. Edward Bland   | West Ocala Business Alliance  | March 1, 2020 |
| Henry DeGeneste    | West Ocala Business Alliance  | March 1, 2019 |
| Ruth Reed          | West Ocala Steering Committee | March 1, 2019 |
| Carolyn Adams      | GWONRC                        | March 1, 2018 |
| Lori Boring        | West Ocala Business Alliance  | March 1, 2018 |

4. Effective Date: This Resolution shall take effect immediately upon its adoption.

This resolution adopted this 1 day of November, 2016.

**CITY OF OCALA**

By: James P. Hiltz  
James P. Hiltz, Sr.  
Chairman

**ATTEST:**

By: Angel B. Jacobs  
Angel B. Jacobs  
City Clerk

Approved as to form and legality:

By: Patrick G. Gilligan  
Patrick G. Gilligan  
City Attorney