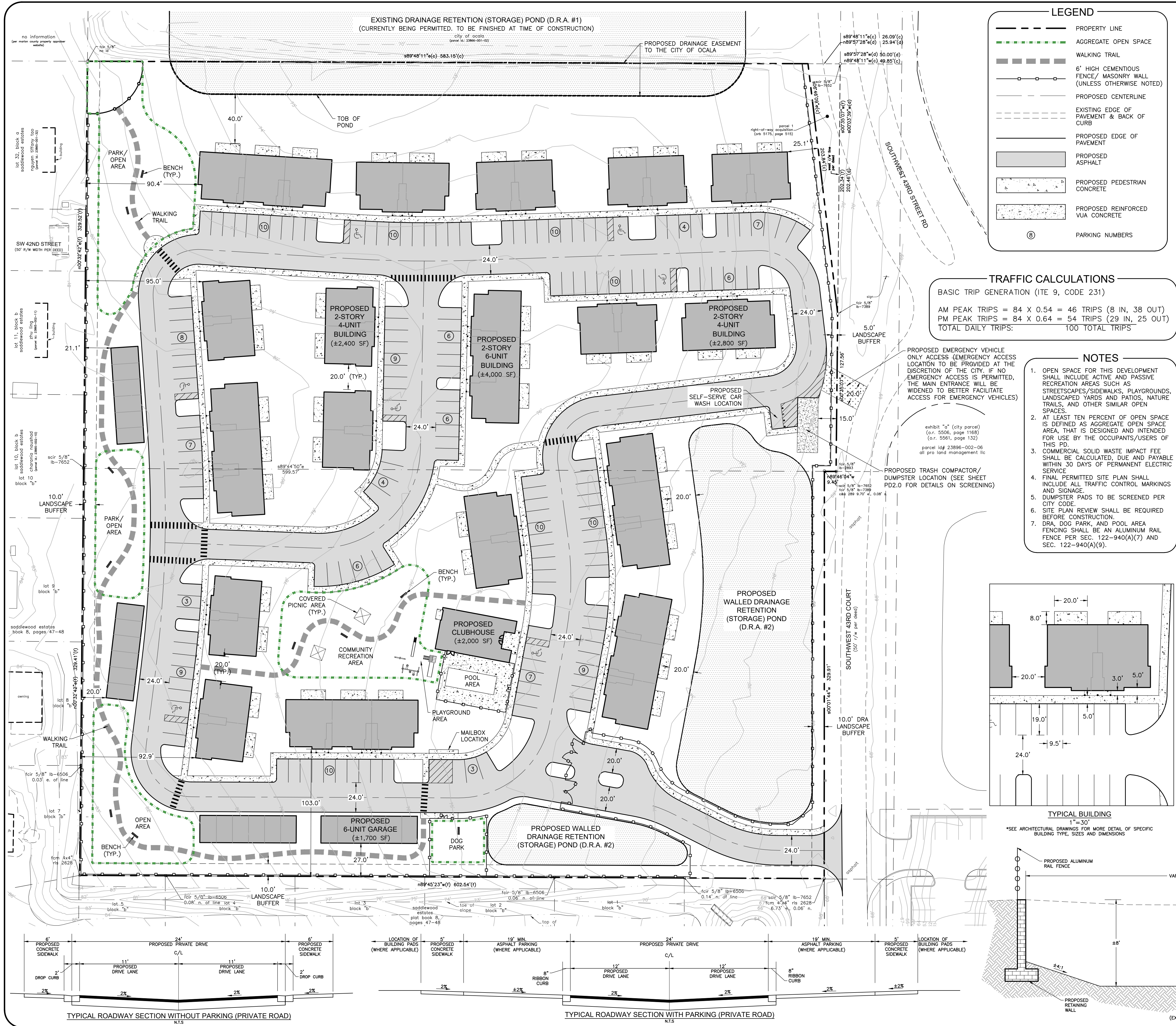




- LEGEND

- | | |
|--|---|
| | PROPERTY LINE |
| | AGGREGATE OPEN SPACE |
| | WALKING TRAIL |
| | 6' HIGH CEMENTIOUS
FENCE/ MASONRY WALL
(UNLESS OTHERWISE NOTED) |
| | PROPOSED CENTERLINE |
| | EXISTING EDGE OF
PAVEMENT & BACK OF
CURB |
| | PROPOSED EDGE OF
PAVEMENT |
| | PROPOSED ASPHALT |
| | PROPOSED PEDESTRIAN
CONCRETE |
| | PROPOSED REINFORCED
VUA CONCRETE |
| | PARKING NUMBERS |

TRAFFIC CALCULATIONS

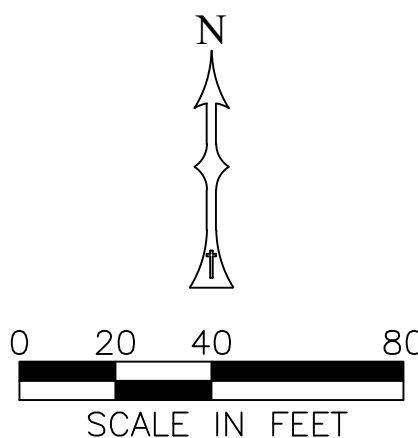
BASIC TRIP GENERATION (ITE 9, CODE 231)

$$\begin{array}{lcl} \text{AM PEAK TRIPS} & = & 84 \times 0.54 = 46 \text{ TRIPS (8 IN, 38 OUT)} \\ \text{PM PEAK TRIPS} & = & 84 \times 0.64 = 54 \text{ TRIPS (29 IN, 25 OUT)} \\ \hline \text{TOTAL DAILY TRIPS:} & & 100 \text{ TOTAL TRIPS} \end{array}$$

- NOTES

1. OPEN SPACE FOR THIS DEVELOPMENT SHALL INCLUDE ACTIVE AND PASSIVE RECREATION AREAS SUCH AS TREES/SHRUBS/SIDEWALKS, PLAYGROUNDS, LANDSCAPED YARDS AND PATIOS, NATURE TRAILS, AND OTHER SIMILAR OPEN SPACE.
2. AT LEAST TEN PERCENT OF OPEN SPACE IS DEFINED AS AGGREGATE OPEN SPACE AREA, THAT IS DESIGNED AND INTENDED FOR USE BY THE OCCUPANTS/USERS OF THIS PD.
3. COMMERCIAL SOLID WASTE IMPACT FEE SHALL BE CALCULATED, DUE AND PAYABLE WITHIN 30 DAYS OF PERMANENT ELECTRIC SERVICE.
4. FINAL PERMITTED SITE PLAN SHALL INCLUDE ALL TRAFFIC CONTROL MARKINGS AND SIGNAGE.
5. DUMPTER PADS SHALL BE TO SCREENED PER CITY CODE.
6. SITE PRE REVIEW SHALL BE REQUIRED BEFORE CONSTRUCTION.
7. DRA, DOG PARK, AND POOL AREA FENCE SHALL BE AN ALUMINUM RAIL FENCE PER SEC. 122-940(A)(7) AND SEC. 122-940(A)(9).

LOCATION MAP



SITE DATA

PARCEL ID NUMBER: 23867-000-00; 23866-001-00
 EXISTING ZONING: A-1
 EXISTING LAND USE: SINGLE FAMILY RESIDENTIAL
 FUTURE LAND USE: LR
 EXISTING FLOOD ZONE: ZONE "X"
 PANEL #: 120160 0514 E; DATED: 04/19/17
 DEVELOPMENT TYPE: RESIDENTIAL
 BUILDING USE: MULTI-FAMILY
 TOTAL PROPOSED UNITS: 84 UNITS
 PROPOSED DENSITY: 23.81 UNITS/AC (84 UNITS / 9.096 AC)
 REQUIRED MULTI-FAMILY PARKING: 126 SPACES (1.5 x 84 UNITS)
 (1.5 SPACES PER UNIT)
 TOTAL PROVIDED PARKING: 164 SPACES
PROPOSED IMPERVIOUS SURFACE:
 BUILDINGS 62.850 SF
 PEDESTRIAN CONCRETE 26.600 SF
 VEHICLE USE CONCRETE 857 SF
 PROPOSED PAVEMENT (VUA) 93,534 SF
 TOTAL: 183,841 SF = 4.220 AC
 PROPOSED POND: 46,868 SF = 1.076 AC
 *TOTAL OPEN SPACE: 165,519 SF = 3.800 AC (42% OF TOTAL AREA)
 *AGGREGATE OPEN SPACE: 32,577 SF = 0.748 AC (20% OF OPEN SPACE)
 TOTAL AREA: 396,228 SF = 9.096 AC (±)
 F.A.R.: 114,450 SF/396,228 SF = 0.29
 *SEE PD STANDARDS FOR OPEN SPACE DEFINITIONS
OWNER:
 BDG ALBEE LLC
 6654 78TH AVENUE N
 PINELLAS PARK FL 33781
 VU LISA
 4721 SW 22ND PL
 OCALA FL 34474
APPLICANT:
 BDG ALBEE LLC
 6654 78TH AVENUE NORTH
 PINELLAS PARK, FL 33781
 727-536-8686
SURVEYOR:
 EBI SURVEYING
 8415 SUNSTATE STREET
 TAMPA, FL 33634

LEGAL DESCRIPTION

4240 SW 43RD COURT
THE EAST 1/2 OF THE NORTH 1/2 OF THE NORTH 1/2 OF THE SE 1/4 OF THE NW 1/4 OF SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA, EXCEPT THE EAST 50.00 FEET THEREOF FOR ROAD RIGHT OF WAY.

AND ALSO LESS AND EXCEPT THAT PORTION CONVEYED TO THE CITY OF OCALA IN BOOK 5175, PAGE 515, OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA.

4300 SW 43RD COURT
THE EAST 1/2 OF THE SOUTH 1/2 OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4, EXCEPT THE EAST 50 FEET THEREOF FOR ROAD RIGHT OF WAY, SECTION 34, TOWNSHIP 15 SOUTH, RANGE 21 EAST OF MARION COUNTY, FLORIDA.

REVISIONS

[illegible]

THE KEY AT OCALA I (4240 & 4300 SW 43RD CT)

PD SITE PLAN

SHEET NUMBER
PD1.0
S-T-R
34-15-21

ALL LANDSCAPE MATERIAL SHALL BE CHOSEN BY THE DEFINITIONS FOR SHADE TREE, ORNAMENTAL TREE, SHRUB & GROUNDCOVER AS DEFINED IN SEC.118-32 OF THE CITY OF OCALA CODE, AND FROM THE APPROVED PLANT LIST BELOW. ADDITIONAL MATERIAL PERMITTED UPON CITY APPROVAL DURING SITE PLAN REVIEW PROCESS.

GROUNDCOVERS
LILY OF THE NILE AGAPANTHUS AFRICANUS
CAST IRON PLANT ASPIDISTRA ELATIOR
FLOWERING ANNUALS
ALGERIAN MY HEDERA HELIX
HOLLY FERN CYRTOMUM FALCATUM
DAILYLY HERMOCALLIS SPP.
PARSON'S JUNIPER JUNIPERUS PARSONII
LIRIOPE 'EVERGREEN GIANT' LIRIOPE MUSCARI
AFRICAN IRIS MORAEA IRIDIODES
BOSTON FERN NEPHROLEPS EXALTATA
MONDO GRASS OPHIOPOGON JAPONICUS
DWARF JASMINE TRACHELOSPENNUM ASIATICUM

PROJECT AREA:	9.096 AC
EXISTING IMPACTED SHADE TREES:	213 (23/AC)
IMPACTED SHADE TREES PRESERVED:	39
MIN. SHADE TREES TO BE SAVED:	4 SHADE TREES/AC
TOTAL SHADE TREES SAVED:	36 (4 SHADE TREES/AC)

	PROPERTY LINE
	AGGREGATE OPEN SPACE
	WALKING TRAIL
	EXISTING OAK
	EXISTING PINE
	EXISTING MIMOSA
	EXISTING CEDAR
	EXISTING PALM
	EXISTING TREE TO BE REMOVED

1. FINAL LANDSCAPE CONSTRUCTION PLAN WILL FULLY ADDRESS ANY ADDITIONAL TREE REMOVAL/IMPLANTATION REQUIRED BY THE CURRENT CITY CODE.
2. ALL LANDSCAPE MATERIAL CHOSEN SHALL MEET CITY CODE (SHADE/ORNAMENTAL TREES, SHRUBS & GROUNDCOVER). MUST FOLLOW REQUIREMENTS OF THE STANDARD CITY LAND DEVELOPMENT REGULATIONS AND SHALL BE CHOSEN AS DEFINED IN SEC.118-32 OF THE CITY OF OCALA CODE.
3. OFFER LANDSCAPING (SMALL TREES, HEDGES) SHALL MEET REQUIREMENTS SET FORTH IN SEC.122-260(E)(1-5) OF THE CITY OF OCALA CODE. WHERE A DRA ABOUTS A ROADWAY, THERE SHALL BE A 10' LANDSCAPE BUFFER, ALSO MEETING THE STANDARDS IN SEC.122-260(E). DUMPSHED PAD TO BE SCREENED FROM ADJACENT ROAD TO THE EAST AND WEST. (SEE CITY OF OCALA CODE FOR THE SPECIFIC TREE AND SHRUB PD STANDARDS FOR DESCRIPTION). DUMPSHED PADS TO BE SCREENED INTERNALLY PER CITY CODE.
4. DESIGNATED AGGREGATE OPEN SPACE AREAS SHALL INCLUDE ELEMENTS OF THE CITY OF OCALA (WALKING TRAILS), LANDSCAPED AREAS, PICNIC AREAS, PLAYGROUND EQUIPMENT, DOG PARK ELEMENTS, ETC. DETAILS TO BE FULLY ADDRESSED IN FINAL CONSTRUCTION PLANS.
5. ALL UTILITARIAN FUNCTIONS SUCH AS, BUT NOT LIMITED TO, AC UNITS AND BACKFLOW PREVENTERS SHALL BE VIEWED FROM VIEW WITH THE LANDSCAPING PER SEC. 122-940(A)(9).

TYPICAL SECTION OF BUFFER
ALONG SW 43RD ST RD
N.T.S.

TYPICAL SECTION OF
WEST/SOUTH/DRA BUFFER
N.T.S.

ENTRANCE LANDSCAPING
1"=20'

TYPICAL 4-UNIT BUILDING FACADE LANDSCAPING
1"=20'

TYPICAL INTERIOR LANDSCAPE ISLAND
1"=10'

ANY LANDSCAPE ISLAND USED TOWARD THE INTERIOR LANDSCAPING REQUIREMENT CALCULATION SHALL BE A MINIMUM OF 360 SF

SHEET NUMBER
PD2.0
S-T-R
34-15-21