



Ocala Community Redevelopment Area Agency

Board Agenda - Final Tuesday, April 21, 2026

Meeting Information

Location

Ocala City Hall
110 SE Watula Avenue
Second Floor - Council Chambers
Ocala, Florida

<https://www.ocalafl.gov/meetings>

Time

3:45 PM

Board Members

Ire Bethea Sr., Chairperson
Jay A. Musleh, Vice Chair
Kristen Dreyer
James P. Hilty Sr.
Barry Mansfield

Mayor

Ben Marciano

City Manager

Peter Lee

Mission Statement

The City of Ocala provides fiscally responsible services consistent with the community's current and future expectations.

Community Redevelopment Area

Agency Board's Strategic Priorities

Priority 1: Economic hub
Priority 2: Fiscally sustainable
Priority 3: Engaged workforce
Priority 4: Operational excellence
Priority 5: Quality of place

WELCOME!

Citizens are encouraged to participate in City of Ocala meetings. Speakers wishing to provide public comments to the Board should complete a written public comment form and shall submit said form to the City Clerk prior to the meeting being called to order. Unless otherwise permitted, no person shall be permitted to provide public comments to the Board if they have not completed and submitted a public comment card prior to the meeting being called to order. Speakers will be limited to 3 (three) minutes. Additional time may be granted by the Chairperson. When recognized, state name and address. Citizen groups are asked to name a spokesperson.

The City of Ocala encourages civility in public discourse and requests that speakers limit their comments to specific motions and direct their comments to the Council. Cell phones should be turned off or set to vibrate.

The order of agenda items may be changed if deemed appropriate by the Board.

Citizens are encouraged to provide comments in writing to the City Clerk before meetings for inclusion into the public record. Citizens may also provide input to board members via office visits, phone calls, letters and e-mail that will become public record. In some instances, i.e., Quasi-Judicial Hearings, these particular contacts may be prohibited.

APPEALS

Any person who desires to appeal any decision at this meeting will need a record of the proceedings and for this purpose may need to ensure that a verbatim record of the proceedings is made that includes the testimony and evidence upon which the appeal is made.

ADA COMPLIANCE

If reasonable accommodations are needed for you to participate in this meeting, please call the City Manager's Office at 352-629-8401 at least 48 hours in advance so arrangements can be made.

1. **Call To Order**
2. **Roll Call**
3. **Public Notice**
4. **Minutes Approval**
 - 4a. [Minutes from March 17, 2026](#)
5. **Agenda Items**
 - 5a. [Presentation of Ocala Community Redevelopment Agency Fiscal Year 2024-25 Annual Report](#)
Presentation By: Roberto Ellis
 - 5b. [Downtown Community Redevelopment Area Commercial Property Improvement Grant for property located at 343 NE First Avenue, in an amount not to exceed \\$50,000](#)
Presentation By: Roberto Ellis
 - 5c. [West Ocala Community Redevelopment Area Residential Property Improvement Grant for property located at 2052 SW Second Street, in an amount not to exceed \\$5,216](#)
Presentation By: Roberto Ellis
 - 5d. [Applications to fill two vacancies on the West Ocala Community Redevelopment Agency Advisory Committee](#)
Presentation By: Roberto Ellis
6. **Public Comments**
7. **Adjournment**



Ocala

Legislation Text

110 SE Watula Avenue
Ocala, FL 34471

www.ocalafl.gov

File #: 2026-1176

Agenda Item #: 4a.

Submitted By: Pamela Omichinski

Presentation By: Angel Jacobs

Department: City Clerk

FORMAL TITLE:

Minutes from March 17, 2026

OCALA'S RELEVANT STRATEGIC GOALS:

Operational Excellence

PROOF OF PUBLICATION:

N/A

BACKGROUND:



Ocala

Community Redevelopment Area Agency Board

Minutes

110 SE Watula Avenue
Ocala, FL 34471

www.ocalafl.gov

Tuesday, March 17, 2026

3:45 PM

1. Call To Order

2. Roll Call

Present Vice Chair Jay A. Musleh
Kristen M. Dreyer
James P. Hilty Sr
Barry Mansfield
Chairperson Ire J. Bethea Sr

Excused Mayor Ben Marciano

3. Public Notice

- **Public Notice for the March 17, 2026 Community Redevelopment Area Agency Board Meeting was posted on February 18, 2026**

4. Minutes Approval

4a. Minutes from February 17, 2026

RESULT: APPROVED
MOVER: Jay A. Musleh
SECONDER: Barry Mansfield
AYE: Musleh, Dreyer, Hilty Sr, Mansfield, and Bethea Sr

5. Agenda Items

5a. Reappointment of Wendy Kebrdle to a four-year term ending March 1, 2030, on the North Magnolia Redevelopment Advisory Committee

Presentation By: Roberto Ellis

Economic Development Manager, Roberto Ellis, discussed the appointment of Wendy Kebrdle to the North Magnolia Redevelopment Advisory Committee, for an unexpired term ending March 1, 2030; staff recommends approval.

No public comment.

There being no further discussion the motion carried by roll call vote.

RESULT: APPROVED
MOVER: James P. Hilty Sr
SECONDER: Barry Mansfield

- AYE:** Musleh, Dreyer, Hilty Sr, Mansfield, and Bethea Sr
- 5b.** Reappointment of Rachel Perez to a new term ending March 1, 2030, on the East Ocala Redevelopment Advisory Committee

Presentation By: Roberto Ellis

Economic Development Manager, Roberto Ellis, discussed the appointment of Rachel Perez to the East Ocala Redevelopment Advisory Committee, for an unexpired term ending March 1, 2030; staff recommends approval.

No public comment.

There being no further discussion the motion carried by roll call vote.

RESULT: APPROVED

MOVER: Kristen M. Dreyer

SECONDER: Barry Mansfield

- AYE:** Musleh, Dreyer, Hilty Sr, Mansfield, and Bethea Sr
- 5c.** East Ocala Community Redevelopment Agency Residential Property Improvement Grant application for vacant parcel 2834-004-101, in an amount not to exceed \$20,000

Presentation By: Roberto Ellis

Economic Development Manager Roberto Ellis presented a grant application for vacant parcel 2834-004-101, requesting \$20,000 to fund the construction of a new single-family home. Upon completion, the property will be leased to an affordable housing-qualified family; staff recommends approval as the current taxable value is less than \$30,000.

Council Member Hilty expressed procedural concerns regarding the project, noting that the applicant's name differs from the corporate ownership (LLC) of the property. He questioned whether the property meets the specific improvement criteria and asked if the City intended to allow corporations to submit multiple applications for various properties.

Mr. Ellis clarified that the applicant is acting on behalf of the company and fully meets all grant terms. He explained that the grant program is designed to make affordable housing projects more feasible for developers, thereby addressing a critical community need.

City Manager Pete Lee detailed the Community Redevelopment Agency (CRA) mission, noting that the project is expected to increase the property's taxable value from under \$30,000 to over \$200,000.

Council Member Hilty voiced additional concerns regarding the allocation of grant funds toward the development of rental properties.

Council Member Musleh inquired about the duration of the affordable housing requirement and whether the City secures its interest via a lien. Mr. Ellis confirmed a

10-year affordability requirement and noted that a lien is placed on the property to ensure compliance.

Council Member Dreyer requested a status update on a previous Council directive for staff to review and provide recommendations on these types of grant scenarios. Mr. Lee responded that staff is still refining those recommendations, noting that education remains a primary hurdle. He reaffirmed that the objective is to increase affordable housing units within the CRA district and indicated that updated CRA terms would be brought before the Council in the coming months.

Council Member Hilty expressed significant concern regarding why applications are accepted without comprehensive business information. Mr. Ellis responded that all applicants undergo a thorough review by staff and the CRA Advisory Board, confirming that all necessary information was provided during that process.

Council Member Hilty formally requested that staff provide more detailed background information to the City Council for all future grant applications.

Mr. Lee committed to providing more clarifying data regarding grant applicants going forward, specifically noting for the record that the current applicant is part of the ownership group but does not reside on the property.

No public comment.

There being no further discussion the motion carried by roll call vote.

RESULT: APPROVED

MOVER: Barry Mansfield

SECONDER: Jay A. Musleh

AYE: Musleh, Dreyer, Mansfield, and Bethea Sr

NAY: Hilty Sr

5d. Addition of Parcel 26297-000-01 to the City's Surplus Property List

Presentation By: Roberto Ellis

Economic Development Manager, Roberto Ellis, presented a proposal to add parcel 26297-000-01 to the City's Surplus Property List. He noted that the City originally acquired the property in 2019 and previously donated a portion to the adjacent cemetery in 2020. The parcel has since been split into two lots; staff is requesting to surplus the triangular-shaped portion while maintaining the larger southern lot for future redevelopment opportunities. Staff recommends approval of this designation.

Council Member Dreyer inquired about the specific intent for the triangular parcel once it is surplus. Mr. Ellis responded that the neighboring cemetery has already expressed a formal interest in acquiring the parcel for their operations.

No public comment.

There being no further discussion the motion carried by roll call vote.

RESULT: APPROVED

MOVER: Barry Mansfield

SECONDER: Kristen M. Dreyer

AYE: Musleh, Dreyer, Hilty Sr, Mansfield, and Bethea Sr

6. Public Comments

7. Adjournment

Adjourned at 4:02 PM

Minutes

Ire J. Bethea Sr.
Chairperson

Angel B. Jacobs
City Clerk



Ocala

Legislation Text

110 SE Watula Avenue
Ocala, FL 34471

www.ocalafl.gov

File #: 2026-1142

Agenda Item #: 5a.

Submitted By: Roberto Ellis

Presentation By: Roberto Ellis

Department: Growth Management

FORMAL TITLE:

Presentation of Ocala Community Redevelopment Agency Fiscal Year 2024-25 Annual Report

OCALA'S RELEVANT STRATEGIC GOALS:

Operational Excellence

PROOF OF PUBLICATION:

N/A

BACKGROUND:

Section 163.371 of the Florida Statutes (FS) specifies the annual reporting requirements for Community Redevelopment Agencies (CRAs). Each agency must file an annual report with the county or municipality that created it and publish it on the agency's website. The report presented covers October 1, 2024, to September 30, 2025, and was published on the City of Ocala's website on March 31, 2026.

The report must include the following information:

1. **Audit** - The most recent complete audit report of the redevelopment trust fund as required in FS 163.387(8).
2. **Performance data** for CRA, including the:
 1. Total number of projects started and completed, and the estimated cost for each project.
 2. Total expenditures from the redevelopment trust fund.
 3. Original assessed real property values within the community redevelopment agency's area of authority as of the day the agency was created.
 4. Total assessed real property values of property within the boundaries of the community redevelopment agency as of January 1 of the reporting year.
 5. Total amount expended for affordable housing for low-income and middle-income residents.
3. **Plan Goals & Objectives** - A summary indicating the extent to which the community redevelopment

agency has achieved the goals and objectives set out in its community redevelopment plan.

The above three items are addressed in two separate documents.

Document 1 - Audit In previous years, the CRA audit and financial statements were done as a part of the City's Annual Comprehensive Finance Report. Starting in Fiscal Year 2020, the CRA had a stand-alone, independent audit performed. The independent audit will be reviewed by the Audit Committee and presented at a future meeting.

Document 2 - Performance Data & Plan Goals & Objectives: These items are contained in the attachment, the Ocala CRA Fiscal Year 2024-25 (FY25) Annual Report, which highlights the CRA's activities and achievements.

The annual report document meets the requirements set forth for performance data and CRA Plan consistency. Upon completion of the audit, staff will publish the complete annual report to the City of Ocala website. Copies will also be printed and made available.

FINDINGS AND CONCLUSIONS:

The CRA implements its programs, projects, and initiatives in alignment with its respective redevelopment plans and City Council's strategic priorities. The main highlights from the report are:

- Property values in each district continued to grow, largely due to market conditions and the impacts of long-term CRA investments. Compared to last year, taxable values increased by 9.6 percent in Downtown, 11.0 percent in North Magnolia, 9.1 percent in West Ocala, and 8.9 percent in East Ocala.
- Collectively, total CRA increment revenue rose from approximately \$4.32 million in Fiscal Year 2024 to approximately \$4.99 million in Fiscal Year 2025, strengthening the CRA's overall financial capacity and expanding the resources available for reinvestment in redevelopment projects, infrastructure improvements, and community-focused initiatives.
 - West Ocala remained the largest revenue contributor, followed by East Ocala, while Downtown and North Magnolia continued to demonstrate steady gains.
- The CRA awarded 38 grants, providing roughly \$3.8 million in funding support. Another 42 projects were completed this year, including façade improvements, substantial renovations, and new commercial development. Together, these projects represent approximately \$9.8 million in private investment. Refer to the Fiscal Year 2024-25 Annual Report for images of the completed projects.
 - Since Fiscal Year 2019, each CRA grant dollar has leveraged approximately \$9 in private reinvestment, showing a strong return on public investment.
 - The Downtown Ocala Marriott AC Hotel, a \$56 million private investment supported by \$5.6 million in CRA and City incentives, was approved in August 2025 and is expected to have a catalytic impact on Downtown CRA.
- Capital improvement spending decreased compared to last year, as several major infrastructure projects reached completion in Fiscal Year 2024. There are several projects in the planning stage, including wayfinding, streetscape, and gateway improvements. However, Fiscal Year 2025 included a series of landscaping improvements at the Ocala Farmers Market, including new flex-pave details, hedges, potted plants, and fruit and herb plantings. These upgrades help reinforce the market's identity and create a more welcoming experience for visitors. In the East Ocala CRA, construction began on the

expansion of the Ocala Skate Park, to which the CRA contributed \$500,000.

- In Tuscowilla Park, Ocala Main Street advanced the Heart of the Park project, a \$281,000 renovation of a City-owned building. Supported by \$81,000 in CRA incentives, the space will include a museum, offices, a catering kitchen, and grab-and-go food service to support park activity and community programming.
- The West Ocala CRA continues to meet long-term obligations related to the financing of the Mary Sue Rich Community Center at Reed Place. In 2025, the outstanding balance was \$5.2 million. The CRA remains on track to retire the debt by 2038, supporting long-term fiscal sustainability.
- Community engagement remained central to CRA operations this year. The CRA hosted and participated in several events designed to gather public input, share information about programs, and strengthen community partnerships.

The CRA has continued to prioritize the strategic redevelopment of key sites throughout Fiscal Year 2026. This includes continued land acquisition, support for catalytic development opportunities, and formal solicitations for major redevelopment sites. Moving forward, the CRA plans and policies will be reviewed to ensure they align with the Vision 2050 update's pillars, strategies, and focus.

FISCAL IMPACT:

N/A

PROCUREMENT REVIEW:

N/A

LEGAL REVIEW:

N/A

ALTERNATIVE:

- Discuss
- Table



OCALA COMMUNITY REDEVELOPMENT AGENCY (CRA)

FISCAL YEAR 2024-25 (FY25)

CRA ANNUAL REPORT

REVITALIZING OUR COMMUNITY



Conceptual rendering of the AC Hotel supported by CRA incentives in Downtown Ocala

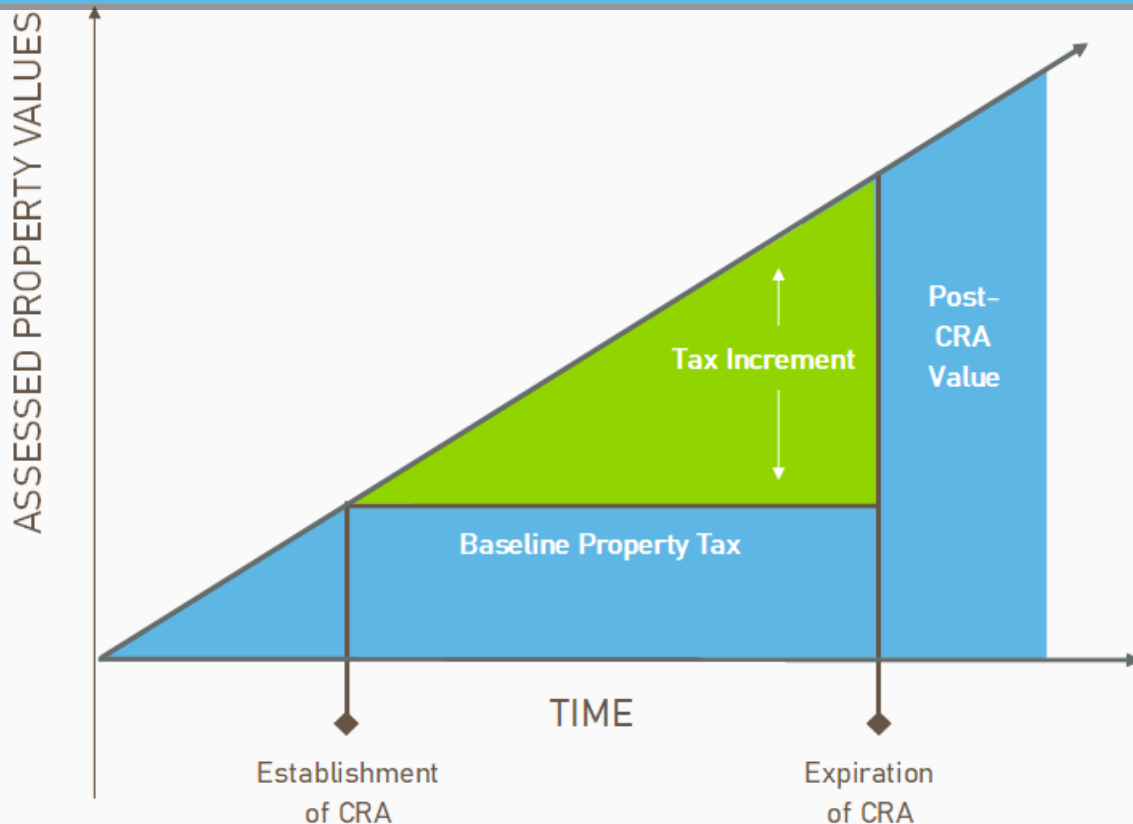
WHAT IS A COMMUNITY REDEVELOPMENT AGENCY?

A Community Redevelopment Agency (CRA) is a special district created by a local (city or county) government to carry out redevelopment activities in a specifically defined geographic area. There are over 220 Community Redevelopment Agencies currently operating in Florida. The enabling legislation giving a city the authority to create a CRA is found in Chapter 163 Part III of the Florida Statutes. As prescribed in the statute, CRA redevelopment activities focus on making improvements to the physical environment within the redevelopment area – buildings and sites, streets and sidewalks, parks, and infrastructure.

These physical improvements are accomplished by the CRA funding capital improvement projects and partnering with the private sector. Redevelopment agencies invest public funds in redevelopment activities with the intent of encouraging private investment into properties. CRAs reinvest tax increment financing funds to attract private investment into economically distressed areas. The end product, resulting from these redevelopment efforts, is the transformation of underutilized properties and facilities into productive assets of the various communities within the CRA, as well as the city as a whole. A CRA can only expend funds to conduct redevelopment activities within the legally described CRA area. CRAs are also regulated under Chapter 189 as a 'Special District'.

FINANCING A CRA

Community Redevelopment Agencies receive their funds through tax increment financing. Tax increment financing is a mechanism that utilizes increases in property taxes from a base year (the creation of the CRA) and holds them in a redevelopment trust fund. Ideally the CRA, through its activities, induces greater increases in property values. In this way, CRAs can bring back economically distressed areas, and their future funding will hinge on the success of their redevelopment plans.



CRA REPORTING REQUIREMENTS

Section 163.371 of the Florida Statutes specifies the annual reporting requirements for CRAs.

A community redevelopment agency must file an annual report with the county or municipality that created the agency and publish the report on the agency's website. The report must include the following information:

1. **Audit** - The most recent complete audit report of the redevelopment trust fund as required in s. 163.387(8).
2. **Performance data** for CRA including the:
 1. Total number of projects started and completed and the estimated cost for each project.
 2. Total expenditures from the redevelopment trust fund.
 3. Original assessed real property values within the community redevelopment agency's area of authority as of the day the agency was created.
 4. Total assessed real property values of property within the boundaries of the community redevelopment agency as of January 1 of the reporting year.
 5. Total amount expended for affordable housing for low-income and middle-income residents.
3. **Plan Goals & Objectives** - A summary indicating the extent to which the community redevelopment agency has achieved the goals and objectives set out in its community redevelopment plan.

The above three items are addressed in two separate documents.

Document 1 - Audit

In previous years, the CRA audit and financial statements were done as a part of the City's Comprehensive Annual Financial Report (CAFR). Beginning in FY 2020, the CRA had a stand-alone, independent audit performed.

Document 2 – Performance Data & Plan Goals & Objectives

These items are contained in this report, which highlights the CRA activities and achievements.

OCALA COMMUNITY REDEVELOPMENT AGENCY

The Ocala CRA is divided into four subareas: Downtown, North Magnolia, West Ocala, and East Ocala. There are four Advisory Committees, one dedicated to each subarea, which make recommendations to the CRA Board on projects and programs. Each of the four subareas has its own redevelopment plan that reflects the unique challenges and goals within their respective areas.

Subarea	Establishment Year	Expiration Year*
Downtown	1988	2048
North Magnolia	1999	2048
West Ocala <i>(Expanded in 2017)</i>	2015	2055
East Ocala	2016	2055

*Expiration Dates extended in Fiscal Year 2025-26

CRA AGENCY BOARD

Kristen Dreyer, **Chair**
Ire J. Bethea, Sr. **Vice Chair**
Barry Mansfield,
James P. Hilty Sr.
Jay A. Musleh

CRA ADVISORY COMMITTEES

Downtown

Tom McDonald
TaMara York
Ted Schatt
Rachel Laxton
Dr. Rhella Murdaugh
Summer Gill
Kendall Drake
Bradford Harper

West Ocala

Dr. Barbara Brooks
Ruth Reed
Dwan Thomas
Carolyn Adams
Antoinette Hunt
Elgin Carelock
Dennis McFatten

North Magnolia

Angie Clifton
David McCollister
Mike Needham
Clark Yandle
Floyd Hershberger
Darian Mosley
Wendy Kebrdle

East Ocala

Rachel Perez
Van Akin
Greg Blair
Tito Comas
John Gamache
Karl Kunz

Summary

Fiscal Year 2024-25

The City of Ocala Community Redevelopment Agency (CRA) is pleased to share the Fiscal Year 2024–25 Annual Report, highlighting progress made across all four CRA areas. Guided by the CRA redevelopment plans and aligned with City Council’s Strategic Priorities, Economic Hub, Fiscally Sustainable, Engaged Workforce, Operational Excellence, and Quality of Place, the CRA continued its work to strengthen neighborhoods, support local businesses, and encourage private investment.

Property values in each district continued to grow, reflecting both strong market conditions and the impact of long-term CRA investments. Compared to last year, taxable values increased by 9.6% in Downtown, 11.0% in North Magnolia, 9.1% in West Ocala, and 8.9% in East Ocala. Long-term growth has been even more significant.

FY25 was also a strong year for CRA grant activity. To help businesses facing higher construction costs, the CRA increased the maximum award amounts in the West Ocala and East Ocala Commercial Grant Programs and expanded eligibility to include new construction on vacant commercial lots. These updates will help to spur redevelopment and encouraged investment in areas with high potential for economic growth. In total, the CRA awarded 38 grants totaling roughly \$3.8 million. Another 42 projects were completed this year, including façade improvements, substantial renovations, and new commercial development. Together, these projects represent approximately \$9.8 million in private investment. Since FY19, each CRA grant dollar has leveraged approximately nine dollars in private reinvestment, showing a strong return on public investment.

Capital improvement spending decreased compared to last year, as several major infrastructure projects reached completion. Still, FY25 included several important accomplishments. The Downtown CRA completed a series of landscaping improvements at the Ocala Farmers Market, including new flex-pave details, hedges, potted plants, and fruit and herb plantings. These upgrades help reinforce the market’s identity and create a more welcoming experience for visitors. In East Ocala, the CRA contributed \$500,000 toward the expansion of the Ocala Skate Park. The project, now in advanced stages of design and construction, will add more than 6,000 square feet of new skateable surface, bringing the total to about 16,215 square feet. New features include a competition-size bowl, areas for beginner and intermediate skaters, a snake run, and improved spectator amenities. The City celebrated the groundbreaking on August 28, 2025.

Private development also continued at a strong pace across CRA districts. Several high-profile projects moved forward this year. Midtown Station Brewery completed the \$2.1 million transformation of the former Fire Station 1 into a new brewery and mixed-use

destination, supported by a \$100,000 CRA incentive. The Downtown Ocala Marriott AC Hotel, a \$56 million private investment supported by \$5.6 million in CRA and City incentives, made significant progress. Once complete, the six-story, 176-room hotel will add new dining options, office space, meeting rooms, and amenities that enhance Downtown's role as a regional destination.

In Tuscahill Park, Ocala Main Street advanced the Heart of the Park project, a \$281,000 renovation of a City-owned building. Supported by \$81,000 in CRA incentives, the space will include a museum, offices, a catering kitchen, and grab-and-go food service to support park activity and community programming. Additional restaurant and retail redevelopment also contributed to the district's momentum. PFLOZ, LLC's Sovereign Building project and MRL Restaurant Holdings' redevelopment were supported by CRA incentives in FY25, strengthening Downtown's dining and entertainment offerings.

Financially, the West Ocala CRA continues to meet long-term obligations related to a previous financing of the Mary Sue Rich Community Center at Reed Place. At the end of FY25, the outstanding balance was \$5.2 million. The CRA remains on track to retire the debt by 2038, supporting long-term fiscal sustainability.

Community engagement remained central to CRA operations this year. The CRA hosted and participated in several events designed to gather public input, share information about programs, and strengthen community partnerships. More than 70 residents attended the Reed Place Master Plan community meeting, offering ideas and feedback that helped shape redevelopment concepts. Staff continued ongoing engagement with the Poinciana Heights Task Force, meeting with residents at a neighborhood block party and regular meetings to discuss grants, projects, and opportunities. The CRA also participated in the City's Citizen's Academy, providing a detailed look at CRA functions and leading a tour of the Downtown district. City employees also learned about CRA operations through the Employee Academy. On the professional side, CRA staff presented at the National Brownfields Conference, highlighting community-driven revitalization efforts at Reed Place, and shared information about residential grant programs at the Community Development Services' Affordable Housing Event which was a great success.

Looking ahead, the CRA will continue to prioritize strategic redevelopment of key sites throughout FY26. This includes continued land acquisition, support for catalytic development opportunities, and formal solicitations for major redevelopment sites. Outreach and education will remain a strong focus, ensuring that residents, property owners, and businesses are aware of the incentive programs available to them. Despite rising construction costs and changing economic conditions, interest in CRA programs remains strong. The CRA will continue to emphasize affordable housing, arts and culture, historic preservation, and strengthening community partnerships. Major corridors and gateways will remain priority areas for investment, helping attract new businesses, support existing ones, and reinforce the momentum of ongoing neighborhood revitalization.




CONSISTENCY OF CRA ACTIVITIES WITH REDEVELOPMENT PLANS PLAN COMPLIANCE

S. 163.387(6) states moneys in the redevelopment trust fund may be expended for undertakings of a community redevelopment agency as described in the community redevelopment plan only pursuant to an annual budget adopted by the board of commissioners of the community redevelopment agency.



S. 163.371(2) (c) F.S. states a community redevelopment agency shall file an annual report and the report must include a summary indicating to what extent the community redevelopment agency has achieved the goals set out in its community redevelopment plan.

To show consistency, the table below cites the applicable plan sections for each CRA activity. The table also indicates progress to achieving the goals and objectives. Each CRA subarea has its own Redevelopment Plan.



DOWNTOWN CRA

CRA Activity	Progress / Status	CRA Plan Compliance
<p>Grant Programs</p> 	<p>The intent of these grants is to target projects that undertake a comprehensive restoration of facades and /or renovations that make the building more in compliance with form-based code design and development requirements.</p>	<p>Strategy 4.1.4: “Facilitate adaptive reuse opportunities and the creation of flexible and convertible spaces in Downtown/Midtown.”</p> <p>Strategy 6.2.8: “Enhance and promote the façade improvement and/or design assistance program to assist owners of existing structures in improving the aesthetics and exterior function of their buildings and surrounding amenities.”</p> <p><i>Downtown Master Plan (2004), Midtown Master Plan (2017)</i></p>
<p>Redevelopment Agreements</p> 	<p>Ongoing agreements supporting catalytic projects. Incentive packages are based on return of investment (ROI) of City and CRA funding. The incentives may be provided in the form of cash contributions, tax-based grants and permit fee contributions.</p>	<p>Strategy 4.1.4: “Facilitate adaptive reuse opportunities and the creation of flexible and convertible spaces in Downtown/ Midtown.”</p> <p><i>Downtown Master Plan (2004), Midtown Master Plan (2017)</i></p>
<p>Streetscape Improvements</p> 	<p>Focuses on improving the quality of the streets and other public spaces in the CRA subareas.</p> <p>Providing safety and comfort in the form of dedicated spaces for different modes of transportation, wayfinding, seating, lighting, landscaping, and other amenities and furnishings.</p>	<p>Strategy 1: “Linkages and Connections. Physical streetscape and mid-block connections that link key activity nodes within the city center and connect the Downtown to nearby districts and the greater region.”</p> <p>The Downtown Master Plan recommends addressing streetscape, pedestrian and bike connections and traffic calming to improve the quality of the public realm.</p> <p><i>Downtown Master Plan (2004), Midtown Master Plan (2017)</i></p>




NORTH MAGNOLIA CRA

CRA Activity	Progress / Status	CRA Plan Compliance
<p>North Magnolia Grant Programs</p> <div style="text-align: center; margin-top: 20px;">  </div>	<p>The purpose of the North Magnolia CRA Residential Property Improvement Grant is to encourage homeowners to make exterior facade improvements, addressing trends of deterioration in some neighborhoods while adding value to the CRA.</p>	<p>Goal 4: “Economic Development – To maintain and economically sound industrial/business area in Ocala.”</p> <p>Objective 4.1: Enhance the commercial tax base, promote business development, by encouraging the reuse of vacant and underutilized buildings.</p> <p>Strategy 4.1.2: Develop Incentive and grant programs to encourage property improvements. Grants programs may be established to improve building conditions both interior and exterior, for business expansion, and for the change of use of a building.</p> <p style="color: #e67e22;"><i>North Magnolia CRA Plan (2019)</i></p>
<p>Imagine North Magnolia – Community Redevelopment Project</p> <div style="text-align: center; margin-top: 20px;">  </div>	<p>Activities involved land development planning; publishing and processing Invitations to Negotiate (ITN) for redevelopment opportunities. These activities will continue through to the next fiscal year. The construction of the Neighborhood Park was completed in 2024. Road, water and sewer infrastructure improvements were also completed in 2024.</p>	<p>Goal 2: “Property Redevelopment. To encourage private sector investment to redevelop undeveloped properties.”</p> <p>Objective 2.1: Ensure undeveloped properties are development-ready to increase their feasibility for redevelopment.</p> <p>Strategy 2.1.1: Purchase, assemble, and prepare sites for redevelopment. Prepare sub-area conceptual development beginning with the Imagine North Magnolia subarea.</p> <p style="color: #e67e22;"><i>North Magnolia CRA Plan (2019)</i></p>



NORTH MAGNOLIA CRA *(Continued)*

CRA Activity	Progress / Status	CRA Plan Compliance
<p>North Magnolia Streetscape Improvements</p> <div style="text-align: center; margin-top: 20px;">  </div>	<p>A streetscape project was installed approximately 20 years ago. Some of the trees, mostly the Burford Pears, have reached the end of their life span and are in decline. The grass areas are problematic for maintenance and are not attractive. The objective of the project is to improve the appearance of the corridor to make it more inviting for pedestrians and motorists. All plantings will be hardy, drought tolerant, low-maintenance varieties.</p>	<p>Priority #1: “Develop the following key streets to create good traffic flow and accommodate growth: 8th Street Magnolia to Pine; Old Jacksonville Rd from Magnolia to 20th; 14th Street from Magnolia to 8th Avenue; 9th Street from Magnolia to CRA Boundary.” Each street should have lighting to deter crime, landscaping, paving, sidewalks, and trees.</p> <p><i>North Magnolia Redevelopment Corridor CRA Plan (1999)</i></p> <p>Strategic Beautification: “Install landscaping, hardscape, lighting along streets throughout the North Magnolia CRA neighborhood.”</p> <p><i>North Magnolia CRA Redevelopment Plan (2019)</i></p>
<p>Affordable Housing Program</p> <div style="text-align: center; margin-top: 20px;">  </div>	<p>The program will assist with easing the cost burden of low-income households and improve their ability to meet housing needs. The CRA is offering this incentive to offset development costs, preserve existing housing stock, and provide affordable housing solutions. The program was made available to the CRA in March 2024.</p>	<p>Priority #4: “Solve homeless problem.”</p> <p>Priority #5: “Create means for residential growth to include more owner-occupied residents.”</p> <p><i>North Magnolia Redevelopment Corridor CRA Plan (1999)</i></p> <p>Goal – Housing: To contribute to a balanced mixed-use neighborhood by allowing for a variety of housing in appropriate areas.</p> <p><i>North Magnolia CRA Redevelopment Plan (2019)</i></p>




WEST OCALA CRA

CRA Activity	Progress / Status	CRA Plan Compliance
<p>Grant Programs</p> 	<p>The purpose of the West Ocala Community Redevelopment Area (CRA) Residential Property Improvement Grant is to encourage homeowners to make exterior facade improvements, addressing trends of deterioration in some neighborhoods while adding value to the CRA. The grant was made available in the West Ocala CRA subarea in March 2024.</p>	<p>Goal 1: “Coordinate public and private resources to increase private capital investment on commercial corridors.”</p> <p>Objective 4: Expand the city’s business revitalization grant program.</p> <p>Strategy: Provision of grants for property improvements and property redevelopment.</p> <p><i>West Ocala CRA Plan (2015), West Ocala Vision & Community Plan (2011)</i></p>
<p>Mary Sure Rich Community Center at Reed Place</p> 	<p>Construction of the Center was completed during December 2022, and the building was officially opened in January 2023. The newly created 41,750 square foot, two-story building includes designated indoor space for senior, youth, and family programs; a banquet/event space; fitness equipment and indoor walking track; two full basketball courts; a library and multi-purpose studio rooms.</p>	<p>Goal 1: “Coordinate public and private resources to increase private capital investment.”</p> <p>Objective 5: Encourage the location of a Competitive Intelligence Center (Library) and assist in the development of a and a new multi-purpose center in West Ocala.</p> <p><i>West Ocala CRA Plan (2015), West Ocala Vision & Community Plan (2011)</i></p>
<p>Heritage Trail</p> 	<p>Construction started in March 2021. Site work has been completed. The final art installation and grant opening of the park were completed in 2024.</p>	<p>Goal 2: “Enhance gateways, corridor segments and crossroads.”</p> <p>Objectives 1 & 2: Design and construct streetscape improvements at neighborhood entrances</p> <p><i>West Ocala CRA Plan (2015), West Ocala Vision & Community Plan (2011)</i></p>

WEST OCALA CRA *(Continued)*

CRA Activity	Progress / Status	CRA Plan Compliance
<p>Tucker Hill Affordable Housing Project</p> 	<p>Properties purchased, rezoning, platting, site plan, and infrastructure plan completed. Water, sewer and road infrastructure improvements were completed in 2024.</p>	<p>Goal 3: “Improve vacant, dilapidated and nuisance properties which are barriers to corridor and neighborhood redevelopment.”</p> <p>Objective 7. Identify suitable areas of West Ocala for development of new housing opportunities</p> <p><i>West Ocala CRA Plan (2015), West Ocala Vision & Community Plan (2011)</i></p>
<p>Affordable Housing Program</p> 	<p>The intent of this program is to provide funding to supplement the Community Development Services (CDS) ongoing affordable housing, mainly, the State Housing Initiatives Partnership (SHIP), Home Investment Partnership Program (HOME), and Community Development Block Grant (CDBG) in applicable CRA subareas.</p> <p>The program will assist with easing the cost burden of low-income households and improve their ability to meet housing needs. The CRA is offering this incentive to offset development costs, preserve existing housing stock, and provide affordable housing solutions. The funds allocated have been committed to various projects, including the Saving Mercy Village which will be constructing 59 new one- bedroom affordable housing units.</p>	<p>Goal 3, Objective 4: “Establish programs to remediate dilapidated and nuisance properties for reuse and resale opportunities.”</p> <p>Goal 3, Objective 6: “Seek additional funding opportunities and partnerships with community affordable housing providers to upgrade blighted housing and remove unsafe/unsanitary conditions for low-income individuals and families.”</p> <p>Goal 3, Objective 7: “Identify suitable areas of West Ocala for the purposes of the development of new housing opportunities which incorporate energy efficient materials and appliances.”</p> <p><i>West Ocala CRA Plan (2015), West Ocala Vision & Community Plan (2011)</i></p>

EAST OCALA CRA

CRA Activity	Progress / Status	CRA Plan Compliance
<p>East Ocala Grant Programs</p> 	<p>The purpose of the East Ocala CRA Residential Property Improvement Grant is to encourage homeowners to make exterior facade improvements, addressing trends of deterioration in some neighborhoods while adding value to the CRA.</p>	<p>Goal 3: “Improve vacant, dilapidated and nuisance properties which are barriers to corridor and neighborhood redevelopment.”</p> <p>Objective 4: Establish programs to remediate these conditions for property reuse.</p> <p><i>East Ocala CRA Plan (2016)</i></p>
<p>Affordable Housing Program</p> 	<p>The program will assist with easing the cost burden of low-income households and improve their ability to meet housing needs. The CRA is offering this incentive to offset development costs, preserve existing housing stock, and provide affordable housing solutions. The program was made available to the CRA in March 2024.</p>	<p>Objective 6: “Seek additional funding opportunities and partnerships with affordable housing providers to upgrade blighted housing and remove unsanitary conditions for low-income individuals and families.”</p> <p>Objective 7: “Identify suitable areas of East Ocala for the purpose of the development of new housing opportunities which incorporate energy efficient materials and appliances.”</p> <p><i>East Ocala CRA Plan (2016)</i></p>
<p>Streetscape Improvements</p> 	<p>A Goal of the East Ocala CRA Plan is to restore value and prominence to gateways and corridors by enhancing their physical appearance. The objectives call for designing and constructing streetscape improvements to improve pedestrian movement and include amenities such as lighting.</p>	<p>Objective 1: “Design and construct streetscape improvements to include pedestrian crossings, pedestrian-scale lighting, and other amenities at key crossroads.”</p> <p><i>East Ocala CRA Plan (2016)</i></p> <p>The Midtown Master Plan strategies include ensuring safe and continuous pedestrian and bicycle connectivity to Tusawilla Park and surrounding neighborhoods.</p> <p><i>Midtown Master Plan (2017)</i></p>

GRANT PROGRAMS

Fiscal Year 2024-25

Historically, the CRA Commercial Property Improvement Grants are the largest activity in the CRA work program in terms of staff time usage. In Fiscal Year 2023-24, the CRA commenced the review of all CRA grant programs, resulting in changes to reflect the demands of each CRA subarea. The framework of each program was developed based on the needs and budget of each sub-area. The programs address statutorily defined blight conditions that currently exist in the CRA including vacant or underutilized commercial space, obsolete or substandard interior spaces, inadequate life safety and/or accessibility provisions, and deteriorating or inappropriate facades. The intention of all CRA grant programs is to encourage private investment into blighted properties located in CRA subareas.

RESIDENTIAL		
PROGRAM/ SUBAREA	FRAMEWORK	GRANT MAX & MATCH
<p>Residential Property Improvement Grants (West Ocala, East Ocala and N. Magnolia CRA subareas)</p>	<p>Priority work elements include:</p> <ul style="list-style-type: none"> (1) Exterior painting (paint color(s) must be approved by Committee) removal for the entire building, including exterior cleaning and/or repair/replacement of facade details/materials - doors, walls, trim and exterior lighting. (2) Repair and replacement of windows, and doors (Exterior Improvements only). (3) Demolition of irreparable damaged houses or structures for the construction of affordable housing. (4) New landscaping area (trees and shrubs) visible from the street/sidewalk (Including removal of hazardous trees). (5) Fencing (6) Reroofing (7) Weatherization (HVAC installation and insulation etc.). (8) New construction; and (9) Conversion from septic system to City sanitary sewer service. * <p><i>*Match varies in the North Magnolia CRA and East Ocala CRA.</i></p>	<p>\$20,000 / 75%</p>
<p>Affordable Housing Program (West Ocala, East Ocala and N. Magnolia CRA subareas)</p>	<p>Priority work elements include:</p> <ul style="list-style-type: none"> (1) Rental assistance (2) Down-payment assistance; and (3) Home improvements. <p>Grant recipients are community members from low-moderate income households.</p>	<p>Max - varies 100%</p>

COMMERCIAL		
PROGRAM/ SUBAREA	FRAMEWORK	GRANT MAX & MATCH
Downtown Commercial Building	Priority work elements include: <ol style="list-style-type: none"> (1) Facades: Painting (only as a component of a major restoration); Canvas Awnings (not eligible in any type of project), Metal Awnings (eligible in any type of project, Doors and/or windows (only as a component of a major restoration or renovation, and Signage (cannot be a stand-alone item and must be consistent with Form Based Code); and (2) Interior Renovations: Structural, Improvements to meet Building Codes for Accessibility; Fire Protection; and Life Safety, HVAC, Plumbing, electric, Conversion of upper floor space to residential; Other fixed improvements related to build-out or additions. 	\$50,000 / 50%
West Ocala Commercial Building	Priority work elements include: <ol style="list-style-type: none"> (1) Vacant buildings being converted to active use. (2) ADA Accessibility (3) Removal of bars from doors and windows. (4) Security system, including lighting, cameras, and fencing. (5) Façade improvements (visible from the street) include doors, windows and signage. (6) New construction. (7) Demolitions; and (8) Creation of new surface parking lot. 	\$50,000 / 60%
East Ocala Commercial Building	Priority work elements include: <ol style="list-style-type: none"> (1) Vacant buildings being converted to active use. (2) New signs following CRA design guidelines, including removal of inappropriate signs. (3) Façade improvements – windows, doors, awnings, exterior security and safety lighting, painting (colors must be approved by Committee). (4) New wall sign (must meet sign code). (5) New landscaping; and, (6) Parking lot pavement resurfacing or resealing and restriping. (7) Murals 	\$50,000 / 60%

COMMERCIAL <i>(Continued)</i>		
PROGRAM/ SUBAREA	FRAMEWORK	GRANT MAX & MATCH
North Magnolia Commercial Building	Priority work elements include: <ol style="list-style-type: none"> (1) Exterior painting/paint removal for the entire building. (2) Exterior cleaning of the property/masonry repair/parking lot coating and striping. (3) Repair or replacement of front, side, rear, façade details including doors, windows, lighting. (4) Repair or replace windows for the entire building. (5) New landscaping (trees and shrubs) visible from the street/sidewalk. (6) New or replacement of wall signage. (7) New or replacement of awnings for the entire building; and (8) Fencing. 	\$20,000 / 75%
East Ocala Historic Building	Priority work elements include: <ol style="list-style-type: none"> (1) Improvements to meet Building Codes for Accessibility, Fire Protection, and Life Safety. (2) Roof (3) Removal and replacement of inappropriate or incomplete exterior restoration of original façades, including installation of appropriate windows; must meet requirements of Historic Preservation Code. (4) Other fixed improvements related to interior build-out. 	\$40,000 / 60%
New Construction Incentive	Priority work elements include: <ol style="list-style-type: none"> (1) New construction; and (2) major renovations. Eligible projects must: <ol style="list-style-type: none"> (1) Prove the potential for catalytic impact. (2) Exceed \$1,000,000 in total capital investment; and (3) Receive a score of 80 points or more. 	\$300,000/ 10%

CAPITAL IMPROVEMENT PROJECTS

Fiscal Year 2024-25

West Ocala CRA - Heritage Trail Park

Project Description

The West Silver Springs Heritage Trail Park 'Heritage Trail', was conceptualized in 2018 through the Community Redevelopment Agency's West Ocala Advisory Committee. This impactful project is situated on the north side of West Silver Springs Boulevard (State Road 40), between NW 9th and NW 11th Avenues. The park features a decorative sidewalk, park furniture, public art and landscaping. Its primary features are a series of panels and plaques displaying historic images and honoring prominent West Ocala citizens who contribute to the community. During Fiscal Year 2024-2025, the CRA, with the assistance of Recreation and Parks, completed landscaping improvements to close-out this project.



BEFORE



AFTER

Downtown CRA - Farmer's Market

Project Description: This project supports ongoing efforts to enhance the Downtown Farmer's Market. Improvements include flex-pave accents, new hedges, potted plants, fruit trees, and herbs that reinforce the market's theme. The IT Department also upgraded the park's security system. These enhancements aim to create a more inviting, functional space for public events, pop-ups, and craft activities.



DOWNTOWN MARKET - IMPROVEMENTS IN-PROGRESS



DOWNTOWN MARKET - IMPROVEMENTS COMPLETED

East Ocala CRA - Skate Park Expansion

Project Description: Opened in December 2018, the Ocala Skate Park is a 6.02-acre facility located in Tuscawilla Park in the heart of Ocala’s developing downtown. The project includes the design and construction of the remaining phases of the City’s conceptual plan, including Phase B (intermediate bowl), Phase C (snake run), Phase D (large bowl), and Phase E (a 4,000-square-foot beginners’ area). The expansion will add more than 6,000 square feet to the facility, bringing the total skateable area to approximately 16,215 square feet. Planned features include a competition-sized bowl, beginner and intermediate areas, a snake run, and upgraded spectator amenities. The East Ocala CRA is contributing \$500,000 to the project. The City contracted a design-build team to complete the work, which broke ground on August 28, 2025.



OCALA SKATE PARK



GROUNDBREAKING

COMPLETED GRANT PROJECTS

Fiscal Year 2024-25

WEST OCALA CRA

Address: 620 W Silver Springs Place
Grant Amount: \$20,000
Project Costs: \$114,000
Project Description: New construction



BEFORE



AFTER

Address: 1705 NW 16th Court
Grant Amount: \$20,000
Project Costs: \$29,776
Project Description: Replacement of windows and HVAC system, reroofing.



BEFORE



AFTER

Address: 1117 NW 11th Ave
Grant Amount: \$5,821
Project Costs \$7,521
Project Description: Replacement of windows.



BEFORE



AFTER

Address: 1032 NW 11th Avenue
Grant Amount: \$20,000
Project Costs \$29734
Project Description: Replacement of windows and door.



BEFORE



AFTER

Address: 2405 NW 2nd Street
Grant Amount: \$10,781
Project Costs: \$14,925
Project Description: Reroofing



BEFORE



AFTER

Address: 815 W Silver Springs Place
Grant Amount: \$5,367
Project Costs: \$7,156
Project Description: Reroofing



BEFORE



AFTER

Address: 2341 SW 3rd Street
Grant Amount: \$12,121
Project Costs: \$16,161
Project Description: Replacement of insulation and HVAC system.



BEFORE



AFTER

Address: 808 NW 6th Terrace
Grant Amount: \$12,501
Project Costs: \$16,779
Project Description: Replacement of windows.



BEFORE



AFTER

Address: 3637 West Silver Springs Boulevard
Grant Amount: \$172,788
Project Costs: \$3.13 million
Project Description: Redevelopment of vacant property by constructing a quick service restaurant and providing enhanced landscaping.



BEFORE



AFTER

Address: 1700 NW 8th Avenue
Grant Amount: \$203,881 (Over 3 years)
Project Costs: \$3.19 million
Project Description: Construction of a new 10,855 SF warehouse and office building



BEFORE



AFTER

EAST OCALA CRA

Address: 932 NE 7th Street
Grant Amount: \$23,564
Project Costs: \$17,673
Project Description: Exterior improvements: painting, new windows, and new doors



BEFORE



AFTER

Address: 822 NE 3rd Street
Grant Amount: \$6,600
Project Costs: \$12,256
Project Description: Reroof



BEFORE



AFTER

Address: 723 East Fort King
Grant Amount: \$17,414
Project Costs: \$29,023
Project Description: HVAC system upgrade and new insulation (Historic Building)



BEFORE



AFTER

Address: 809 NE 9th Ave
Grant Amount: \$11,958
Project Costs: \$16,444
Project Description: Reroof



BEFORE



AFTER

Address: 926 NE 5th Street
Grant Amount: \$20,000
Project Costs: \$31,900
Project Description: Reroofing



BEFORE



AFTER

Address: 507 E Fort King Street
Grant Amount: \$37,751
Project Costs: \$62,919
Project Description: Replacement of windows (Historic Building)



BEFORE



AFTER

Address: 926 NE 5th Street
Grant Amount: \$2,280
Project Costs: \$4,685
Project Description: Parking lot improvements



BEFORE



AFTER

Address: 3318 E. Silver Springs Boulevard

Grant Amount: \$20,000

Project Costs: \$34,800

Project Description: Pressure wash and repaint exterior



BEFORE



AFTER



BEFORE



AFTER

NORTH MAGNOLIA CRA

Address: 1735 NE Jacksonville Road
Grant Amount: \$5,787
Project Costs: \$8,501
Project Description: Safety lighting and façade improvements.



BEFORE



AFTER

Address: 1618 NW 1st Avenue
Project Costs: \$14,627
Grant Amount: \$9,708
Project Description: Replacement of exterior windows and doors.



BEFORE



AFTER

Address: 130 NW 17th Street
Grant Amount: \$17,690
Project Costs: \$24,609
Project Description: Reroofing, fencing, attic insulation, and HVAC installation.



BEFORE



AFTER

DOWNTOWN CRA

Address: 14 S. Magnolia Avenue
Grant Amount: \$50,000
Project Costs: \$126,045
Project Description: New stairway and ADA improvements.



BEFORE



AFTER



AFTER



AFTER

Address: 606 SE 3rd Avenue
Grant Amount: \$14,228
Project Costs: \$28,456
Project Description: Interior and exterior improvements, including electrical, insulation, plumbing, window, façade, and structural upgrades



BEFORE



AFTER



BEFORE



AFTER

REDEVELOPMENT INCENTIVES

Fiscal Year 2024-25

EAST OCALA CRA

Project: Redevelopment Agreement - Brewery in Midtown

Project Description: The redevelopment of the former Ocala Rescue Fire Station 1 has transformed the site into a multi-use facility, Midtown Station, which now features a brewery along with multiple restaurants and shops.

Development Costs: \$2.1 million

Incentives (Fiscal Year 2024-25): \$100,000



BEFORE



AFTER

DOWNTOWN CRA

Project: Redevelopment Agreement – Downtown Ocala Marriot AC Hotel

Project Description: Construction of a six-story, 176-room hotel together with a sixth -floor restaurant and bar, first-floor bar and lounge, Class-A office space and hotel amenities including meeting rooms, business center, gym and patios.

Development Costs: \$56 million

Incentives: \$5.6 million (CRA TIF, Fee Contribution, CRA Grant, City parking & City Improvements)



CONCEPTUAL RENDERING



CONSTRUCTION IN-PROGRESS

Project: Ocala Mainstreet

Project Description: Leasing, renovating, and activating the 6,468-square-foot, City-owned building in Tuscowilla Park. Ocala Main Street will operate its Heart of the Park program. Building improvements include interior renovations to create spaces for a public museum, OMS office, catering kitchen and grab and go food options.

Development Costs: \$281,000

Incentives (Fiscal Year 2024-25): \$81,000



EXTERIOR IMPROVEMENTS



INTERIOR IMPROVEMENTS

Project: Redevelopment Agreement for PFLOZ, LLC (Mellow Mushroom)

Project Description: Initially, the project aimed to renovate the building located on the property for retail and commercial purposes, including related improvements and the construction of a shell for a restaurant of approximately 4,700 square feet. However, due to significant structural issues, the building was deemed unsafe for renovation. The developer agreed to demolish the building and construct a new structure. Additionally, the city provided streetscape improvements along S. Magnolia Avenue.

Development Costs: \$2.2 million
Incentives (Fiscal Year 2024-25): \$60,000



MELLOW MUSHROOM

Project: Redevelopment Agreement for MRL Restaurant Holdings, LLC (**District Bar and Kitchen**)

Project Description: MRL Restaurant Holdings redeveloped the former Pi on Broadway property by demolishing the previous building and constructing a new one for retail and commercial purposes. The new building includes a finished space for a restaurant of approximately 6,500 square feet. The project received a City review contribution and a City grant, which includes Tax Increment Financing (TIF), utility extensions, and other improvements. This project will enhance and activate an additional place of interest and is expected to further stimulate economic development in Downtown Ocala.

Development Costs: \$4 million
Incentives (Fiscal Year 2024-25): \$2,209



BEFORE



AFTER

PHOTO CREDITS: MAVEN PHOTO & FILM AND DISTRICT BAR & KITCHEN

FINANCIALS

The performance data for the Community Redevelopment Agency (CRA) includes several key metrics. It encompasses the total number of projects initiated and completed, along with the estimated cost for each project. Additionally, it details the total expenditures from the redevelopment trust fund. The data also highlights the original assessed real property values within the CRA's area of authority at the time of its creation, as well as the total assessed real property values within the boundaries of the CRA as of January 1 of the reporting year. This section outlines the total amount spent on affordable housing for both low-income and middle-income residents.

TAXABLE PROPERTY VALUES

(Marion County Property Appraiser)

Downtown			
	Base Year	Previous Year	Current Year
Year	1987	2024	2025
Taxable Value	\$45,259,727	\$137,185,322	\$150,406, 225
North Magnolia			
	Base Year	Previous Year	Current Year
Year	1987	2024	2025
Taxable Value	\$22,392,439	\$79,277,658	\$88,024,714
West Ocala			
	Base Year	Previous Year	Current Year
Year	2015	2024	2025
Taxable Value	\$475,687,550	\$731,209,319	\$797,961,064
East Ocala			
	Base Year	Previous Year	Current Year
Year	2015	2024	2025
Taxable Value	\$208,290,128	\$373,764,081	\$406,885,992

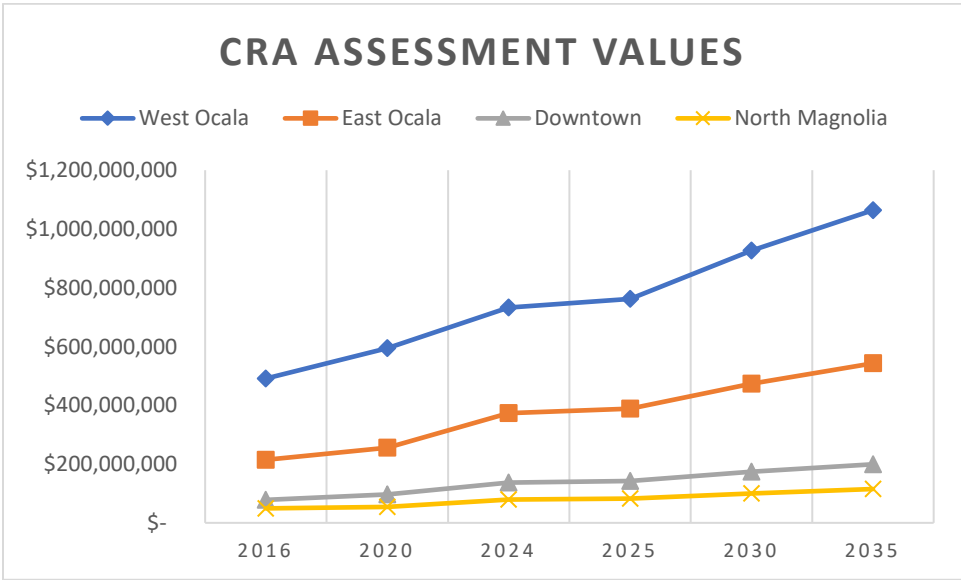
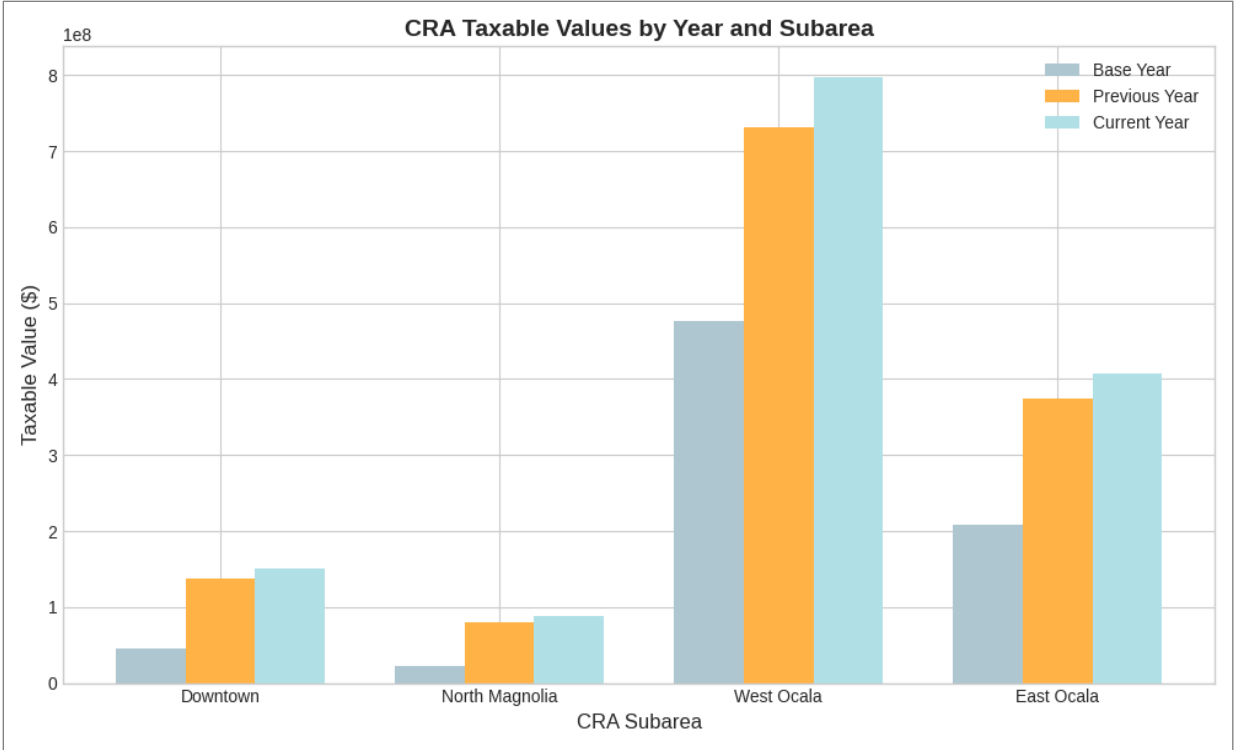


Chart showing property value projection.

TAX INCREMENT REVENUE

CRA subarea	FY24	FY25
Downtown	\$852,213	\$952,562
North Magnolia	\$514,172	\$589,441
West Ocala	\$1,838,532	\$2,090,366
East Ocala	\$1,119,205	\$1,353,705
Total	\$4,324,122	\$4,986,074

The CRA experienced year over year growth in increment revenue across all subareas from FY24 to FY25, with Downtown, North Magnolia, West Ocala, and East Ocala each showing measurable increases. West Ocala remained the largest revenue contributor, followed by East Ocala, while Downtown and North Magnolia continued to demonstrate steady gains. Collectively, total CRA increment revenue rose from \$4.32 million in FY24 to nearly \$4.99 million in FY25, strengthening the CRA’s overall financial capacity and expanding the resources available for reinvestment in redevelopment projects, infrastructure improvements, and community focused initiatives.

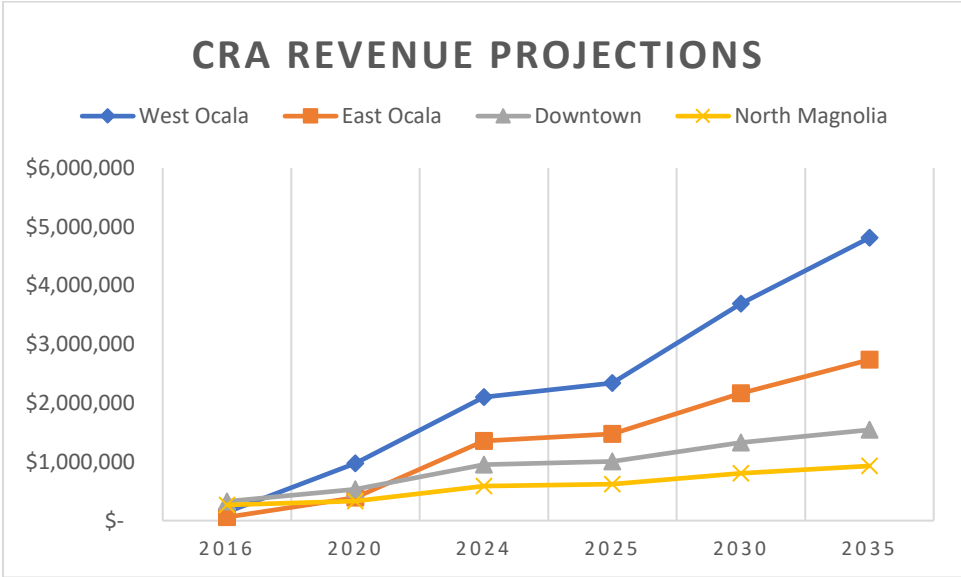


Chart showing growth in revenue and revenue projections from 2016-2035.

DEBT SERVICING

West Ocala CRA - Mary Sue Rich Community Center at Reed Place	
Principal	\$400,000
Interest	\$80,000

At the end of Fiscal Year 2024–25, the West Ocala CRA had an outstanding balance of \$5.2 million, which is scheduled to be repaid by 2038.

CAPITAL IMPROVEMENT PROJECTS EXPENDITURES

Project Description	FY24	FY25
Downtown		
Streetscape Improvements	\$126,030	\$23,804
Wayfinding Downtown Parking Garage	\$24,220	-
Downtown Market Improvements	-	\$5,566
East Ocala		
Streetscape Improvements	\$242,855	\$17,011
Skate Park Expansion	-	\$111,250
North Magnolia		
Infrastructure Improvements	\$538,416	-
Imagine North Magnolia Park	\$10,250	-
Land Acquisition	\$51,682	\$3,900
West Ocala		
Tucker Hill Affordable Housing Project, Infrastructure improvements Property Purchase, & Platting	\$60,134	\$12,957
Heritage Trail	\$24,533	\$4,660
Land Acquisition	-	\$2,400
Total	\$1,078,120	\$181,548

SUMMARY OF CRA GRANTS

CRA Subarea	Approved	Amount	Completed	Grant Amounts Reimbursed	Project Investment (Completed)
Commercial					
Downtown	-	-	2	\$74,228	\$149,851
East Ocala	8	\$93,311	4	\$50,163	\$90,446
North Magnolia	1	\$17,511	1	\$5,787	\$8,501
Residential					
East Ocala	13	\$189,966	7	\$80,359	\$120,914
North Magnolia	1	\$9,708	2	\$27,398	\$39,236
West Ocala	10	\$143,812	13	\$169,228	\$411,206
Affordable Housing					
West Ocala	2	\$15,002	2	\$50,756	\$146,900
East Ocala	-	-	1	\$20,500	\$165,000
Historic Building					
East Ocala	1	\$37,751	4	\$109,973	\$204,512
New Construction Incentive					
West Ocala	1	\$203,881	2	\$125,523	\$6,629,707
Redevelopment Agreements					
Downtown	1	\$3,134,222	3	\$143,209	\$147,246
East Ocala	-	-	1	\$100,000	\$1,715,000
TOTAL	38	\$3,844,964	42	\$957,124	\$9,828,519

Note: Grant projects often extend into subsequent fiscal years. For example, grants approved in Fiscal Year 2024–2025 may not be completed until Fiscal Year 2026–2027, and grants completed in Fiscal Year 2024–2025 may have begun in Fiscal Year 2023–2024.

CUMULATIVE SUMMARY OF COMPLETED PROPERTY IMPROVEMENT GRANTS

CRA Subarea	FY19 – FY25	Grant Amounts Reimbursed	Total Project Investment (Completed)
Commercial			
Downtown	31	\$632,378	\$3,015,433
East Ocala	22	\$150,563	\$807,623
N Magnolia	34	\$185,291	\$357,518
West Ocala	12	\$208,999	\$6,783,034
Residential			
East Ocala	14	\$121,734	\$319,242
North Magnolia	4	\$38,359	\$53,852
West Ocala	15	\$219,984	\$558,106
Historic Building			
East Ocala	9	\$200,469	\$374,618
Redevelopment Agreements			
Downtown	3	\$203,209	\$6,434,075
East Ocala	1	\$100,000	\$1,715,000
TOTAL	145	\$2,060,986	\$20,418,501

COMMUNITY OUTREACH

Fiscal Year 2024-25

REED PLACE MASTER PLAN COMMUNITY OUTREACH MEETING

November 1, 2024 – A public meeting gathered more than 70 residents to review the proposed Reed Place master plan, ensuring community input guides key development concepts.



Former Community Outreach Manager, Rachel Fautsch, speaking with attendees at the Reed Place Master Plan Community Outreach Meeting.



Residents gathered for The Reed Master Plan Community Outreach Meeting.

POINCIANA HEIGHTS HOMEOWNERS AND RENTERS TASK FORCE

March 17, 2025 – Block Party - Staff participated in the block party, informing residents about CRA grant programs and Growth Management services. They also attend regular task-force meetings, provide project updates, educate the community about CRA functions, and support local initiatives that strengthen neighborhood engagement.



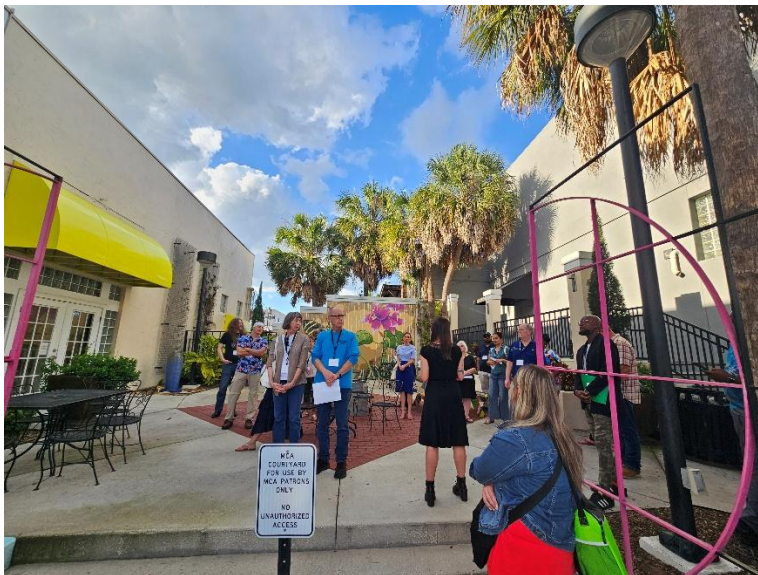
Residents of the Poinciana Heights community engaging with one another at the 2025 Block Party.



Local residents gather at the neighborhood meeting.

CITIZEN'S ACADEMY

May 10, 2025 – Growth Management and CRA staff hosted new and longtime residents as part of the annual Citizen's Academy, offering an in-depth look at departmental services and projects. Participants also joined an informative walking tour of the Downtown CRA to better understand ongoing revitalization efforts.



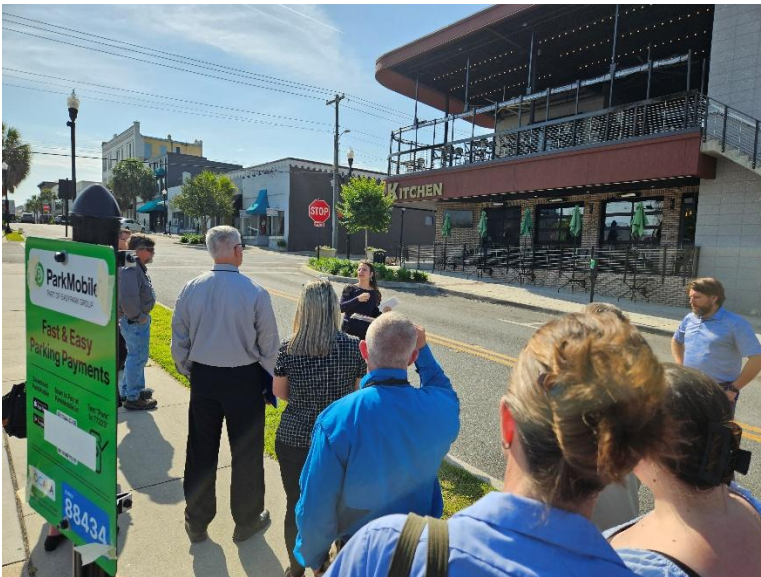
City of Ocala employees speak during Citizen's Academy at the courtyard at the Brick City Center for the Arts.



City of Ocala’s Planning Director, Aubrey Hale, takes residents on a tour of the downtown area during Citizen’s Academy.

EMPLOYEE ACADEMY

April 23, 2025 – Similar to the Citizen’s Academy, the Employee Academy provides City employees with opportunities to learn about departments they may not be familiar with. This program offers a valuable learning experience for all participants.



City of Ocala’s Supervisor of Cultural Arts, Emily Parkman, speaking to City of Ocala employees during Employee Academy.



City of Ocala’s Planning Director, Aubrey Hale, speaking to City of Ocala employees during Employee Academy.



City employees touring the downtown area during Employee Academy.

AFFORDABLE HOUSING CONFERENCE

May 15, 2025 – Community Development Services hosted the 2025 Affordable Housing Event at the Mary Sue Rich Community Center. CRA staff were invited to share information about residential CRA grants. Housing stakeholders from the City and County also attended to provide resources and assist residents in various ways.



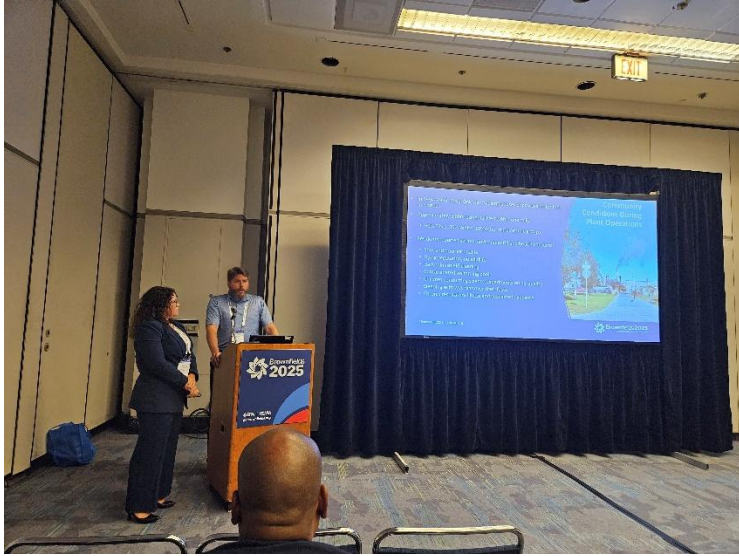
CRA and other City of Ocala staff presenting to attendees at the Affordable Housing Event at the Mary Sue Rich Community Center.

NATIONAL BROWNFIELDS CONFERENCE

August 7, 2025 – Staff coordinated with environmental consultants to deliver a presentation at the National Brownfields Conference in Chicago. The presentation, titled *The Strength Behind a Community's Voice: Reaching Revitalization Success Through Public Participation*, highlighted Reed Place redevelopment and was very well received by attendees.



Planning Director, Aubrey Hale, presenting at the National Brownfields Conference in Chicago.

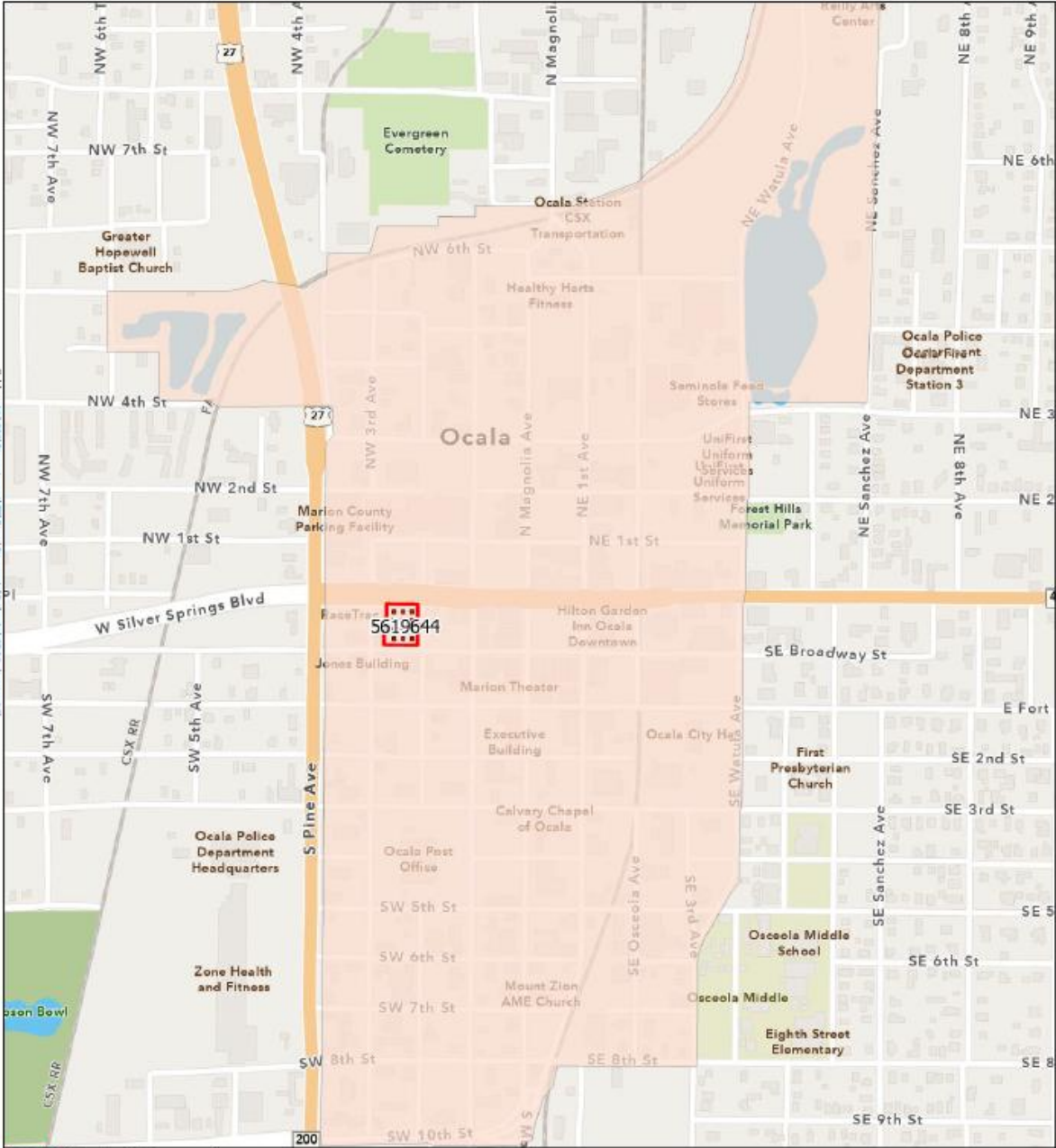




Planning Director, Aubrey Hale, and Angelica Rodriguez of Terracon, presenting at the National Brownfields Conference in Chicago.

MAPS

Fiscal Year 2024-25 Grants and Subareas

GRANTS AWARDED IN CRA SUBAREAS

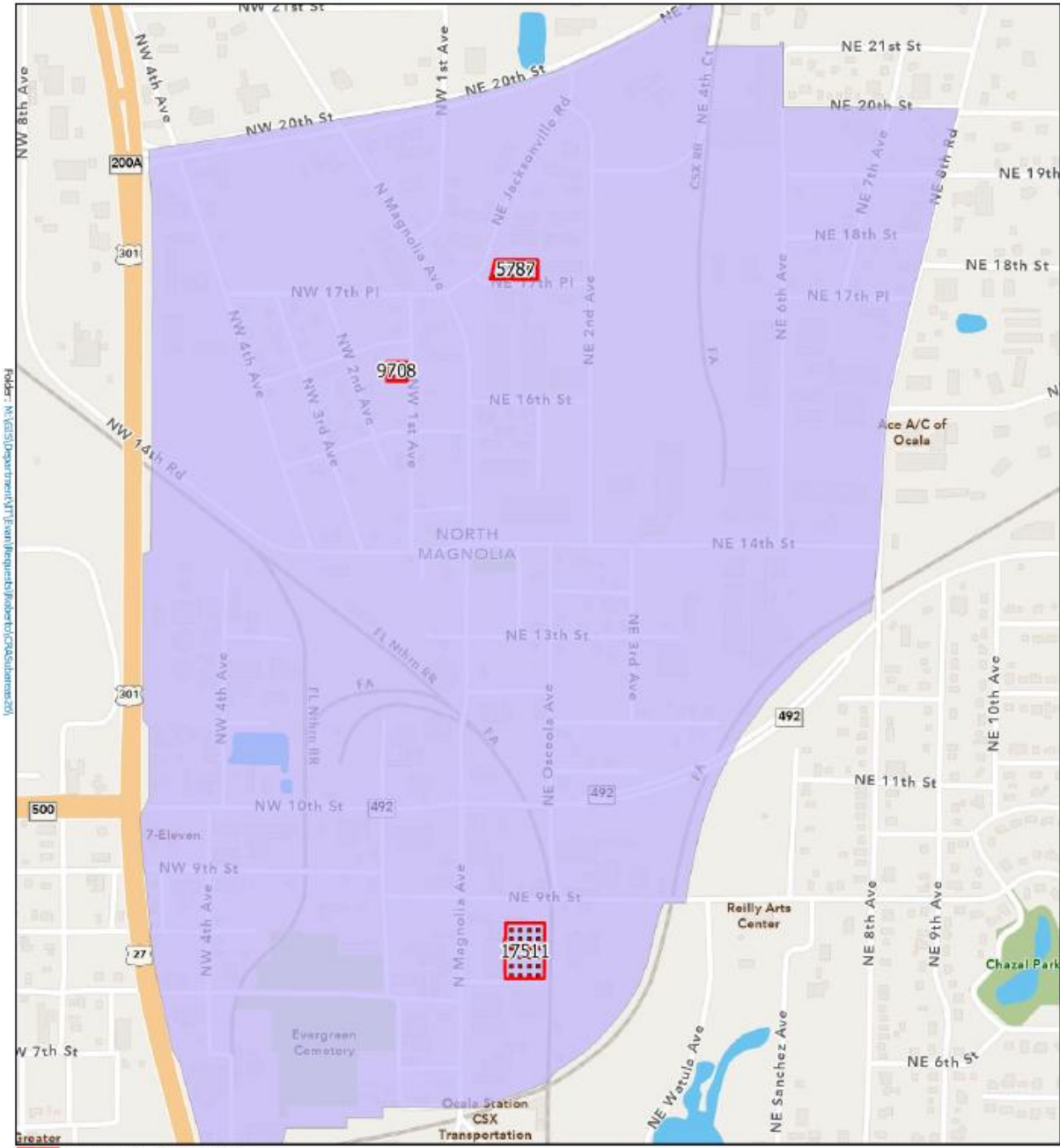


 Subject Property
 Downtown CRA





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Prepared by the City of Ocala
 Growth Management Department
 by ekrepps on 3/4/2026



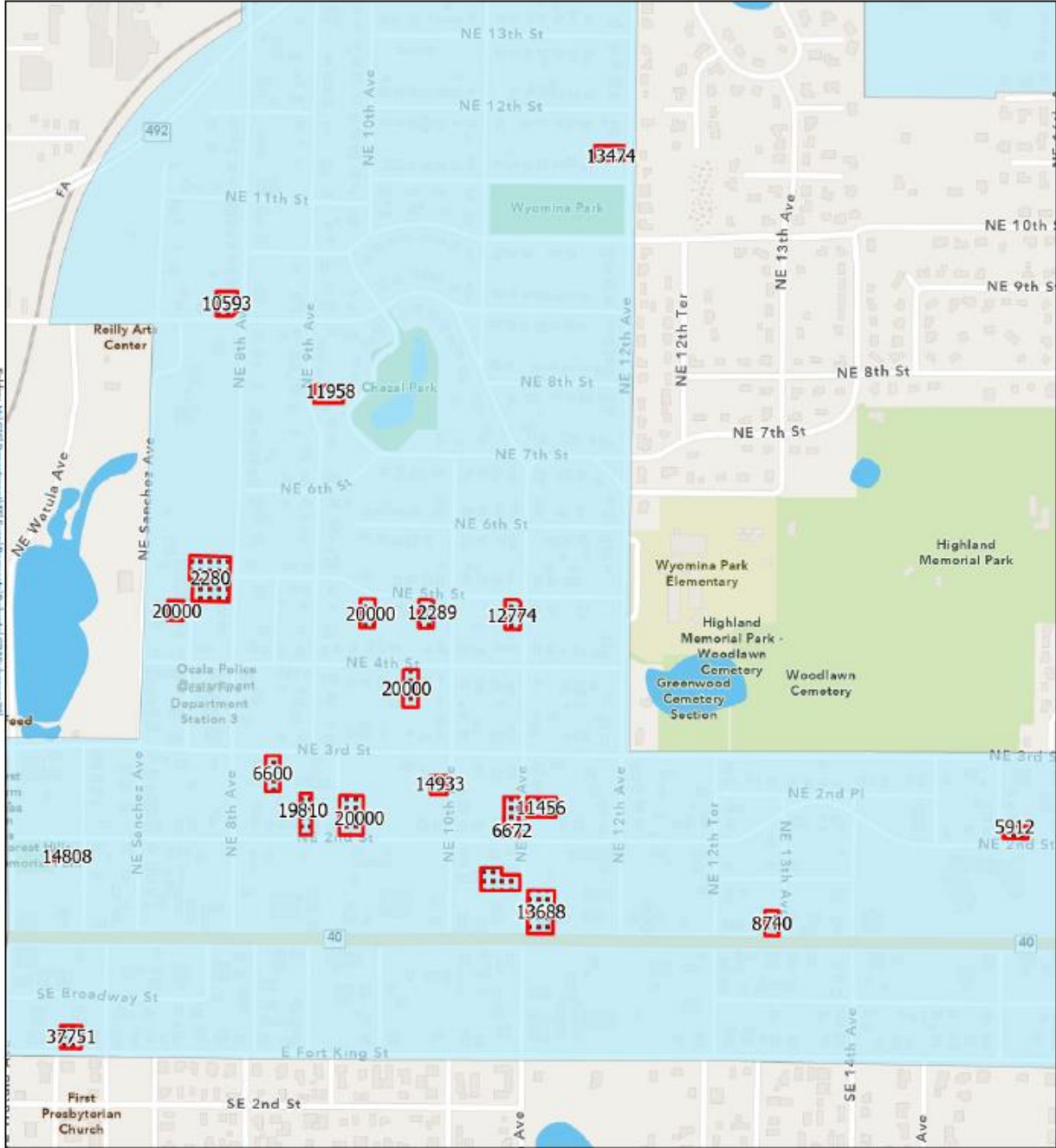
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-  Subject Property
-  North Magnolia CRA



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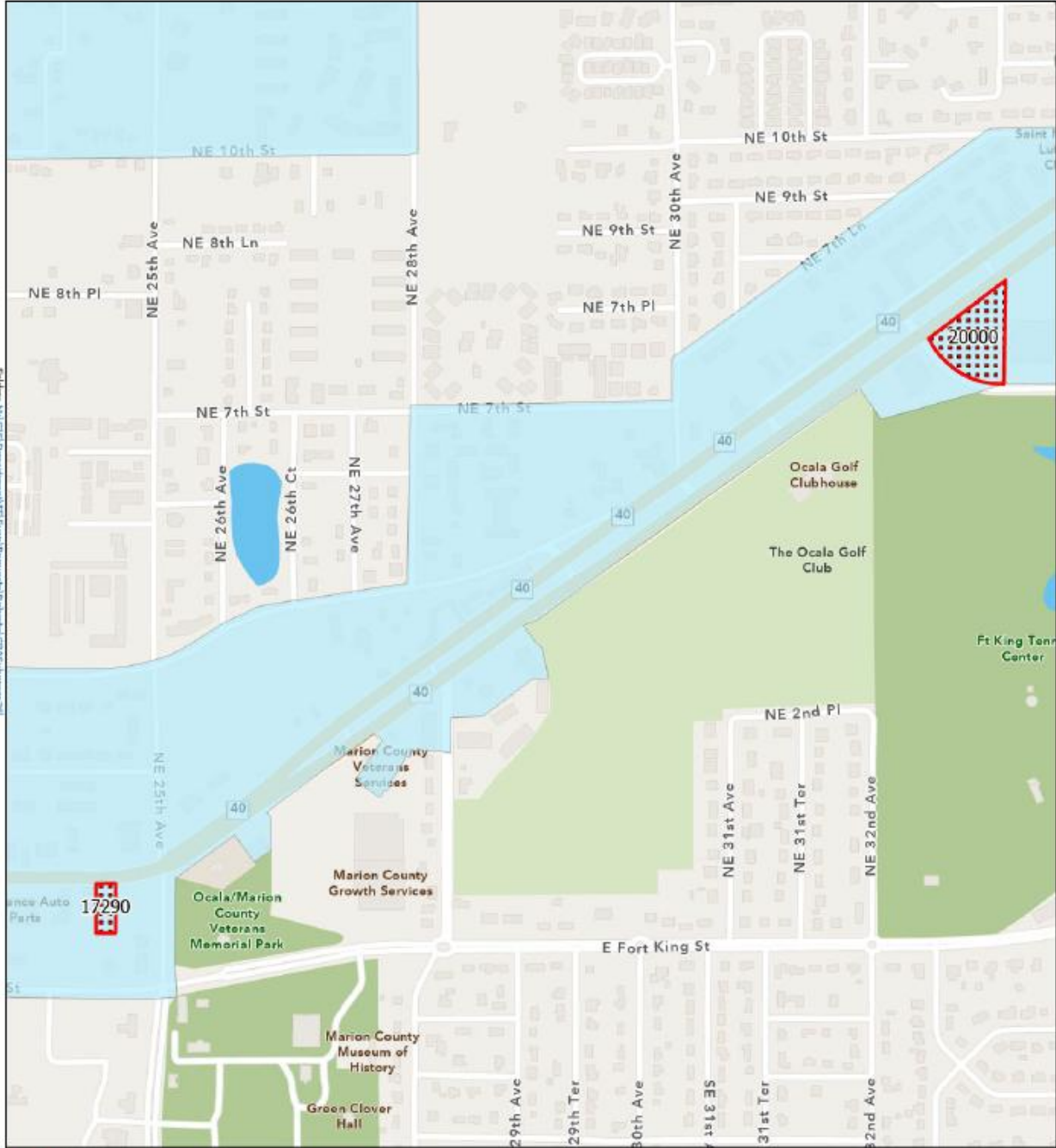
Prepared by the City of Ocala
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by ekrepps on 3/4/2026





Subject Property
 East Ocala CRA



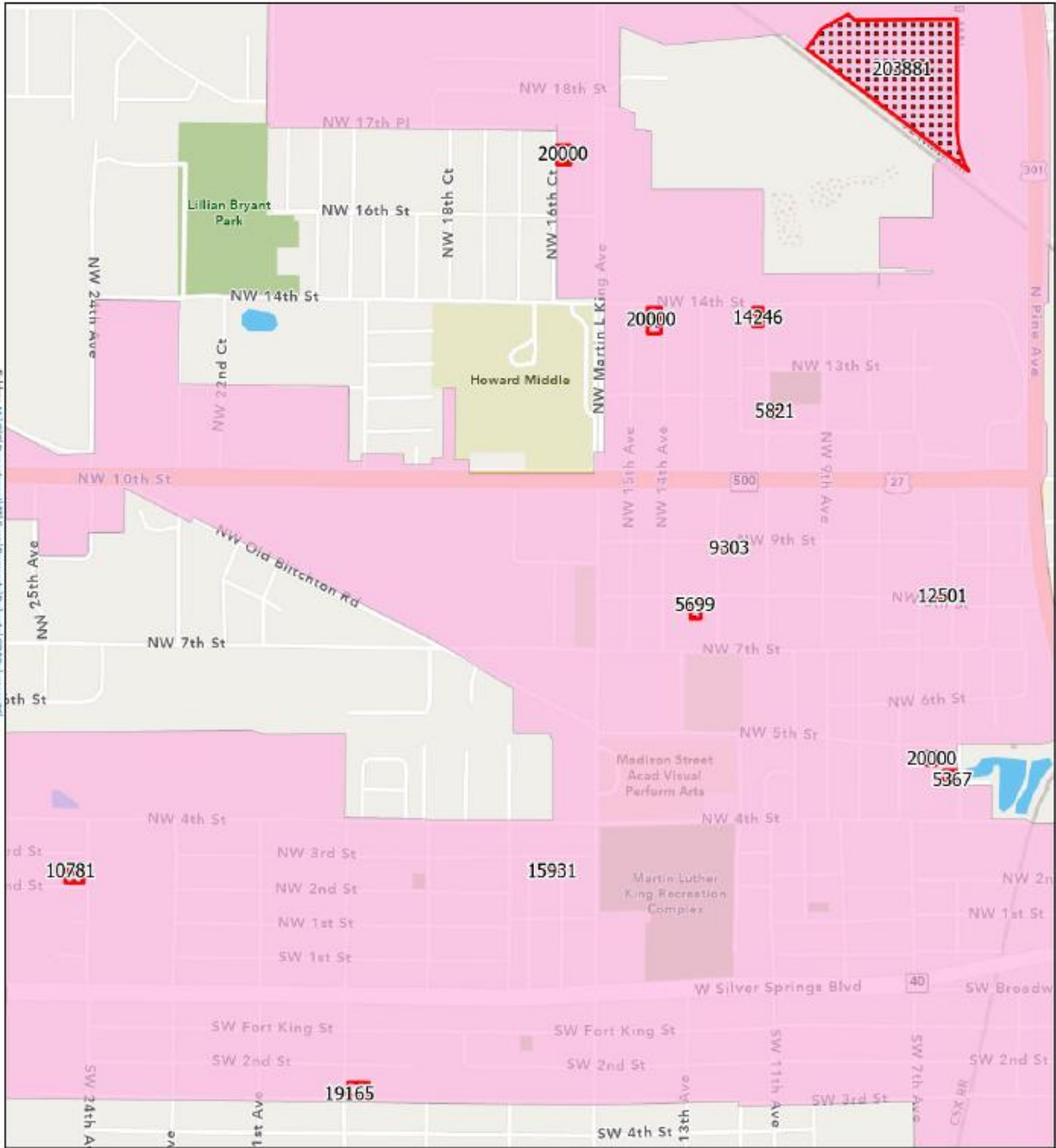
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 Prepared by the City of Ocala Growth Management Department by ekrepps on 3/4/2026





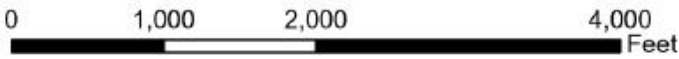
 Subject Property
 East Ocala CRA



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 Prepared by the City of Ocala Growth Management Department by ekrepps on 3/4/2026



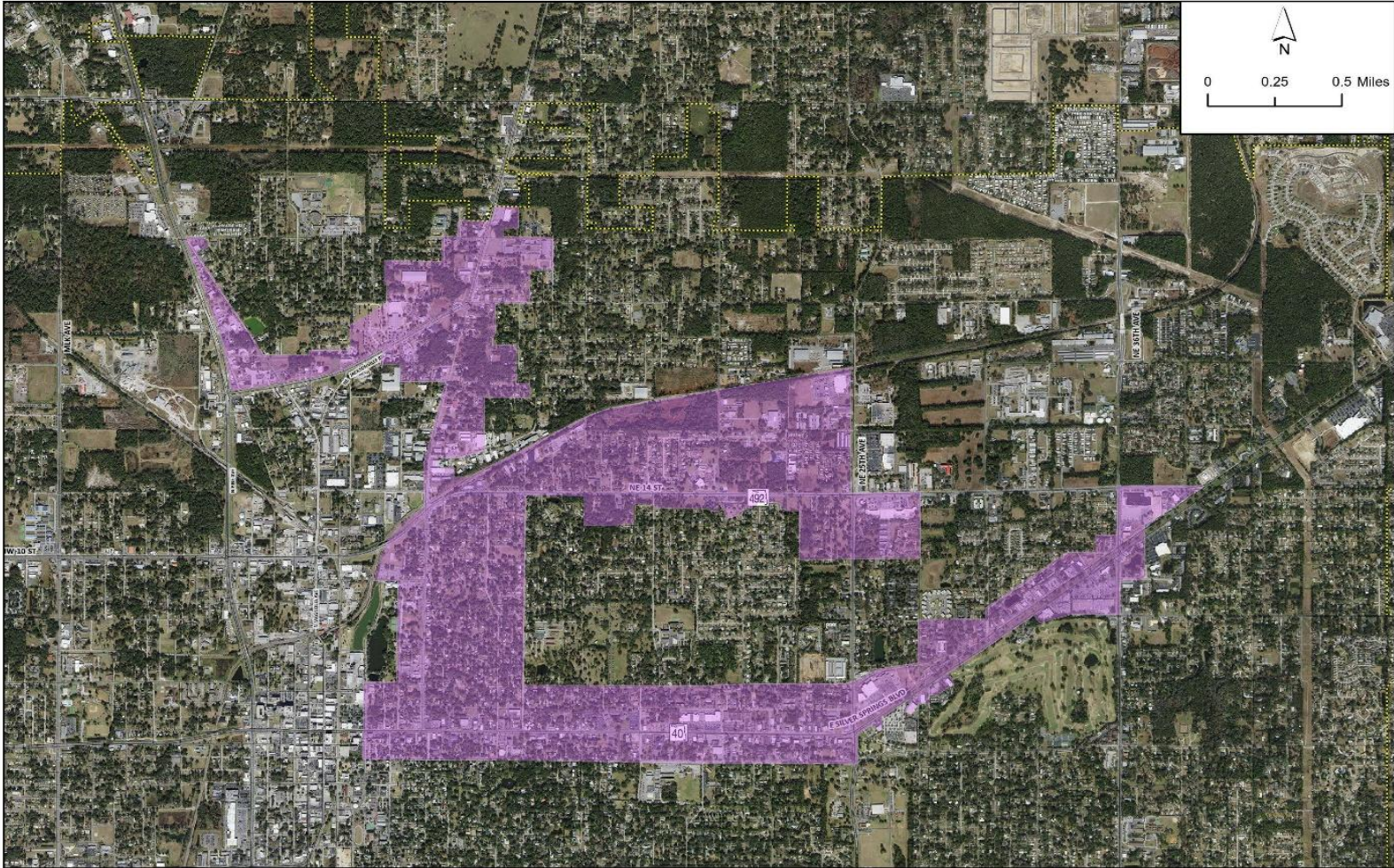
-  Subject Property
-  West Ocala CRA



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Prepared by the City of Ocala
Growth Management Department
by ekrepps on 3/4/2026

CRA SUBAREAS



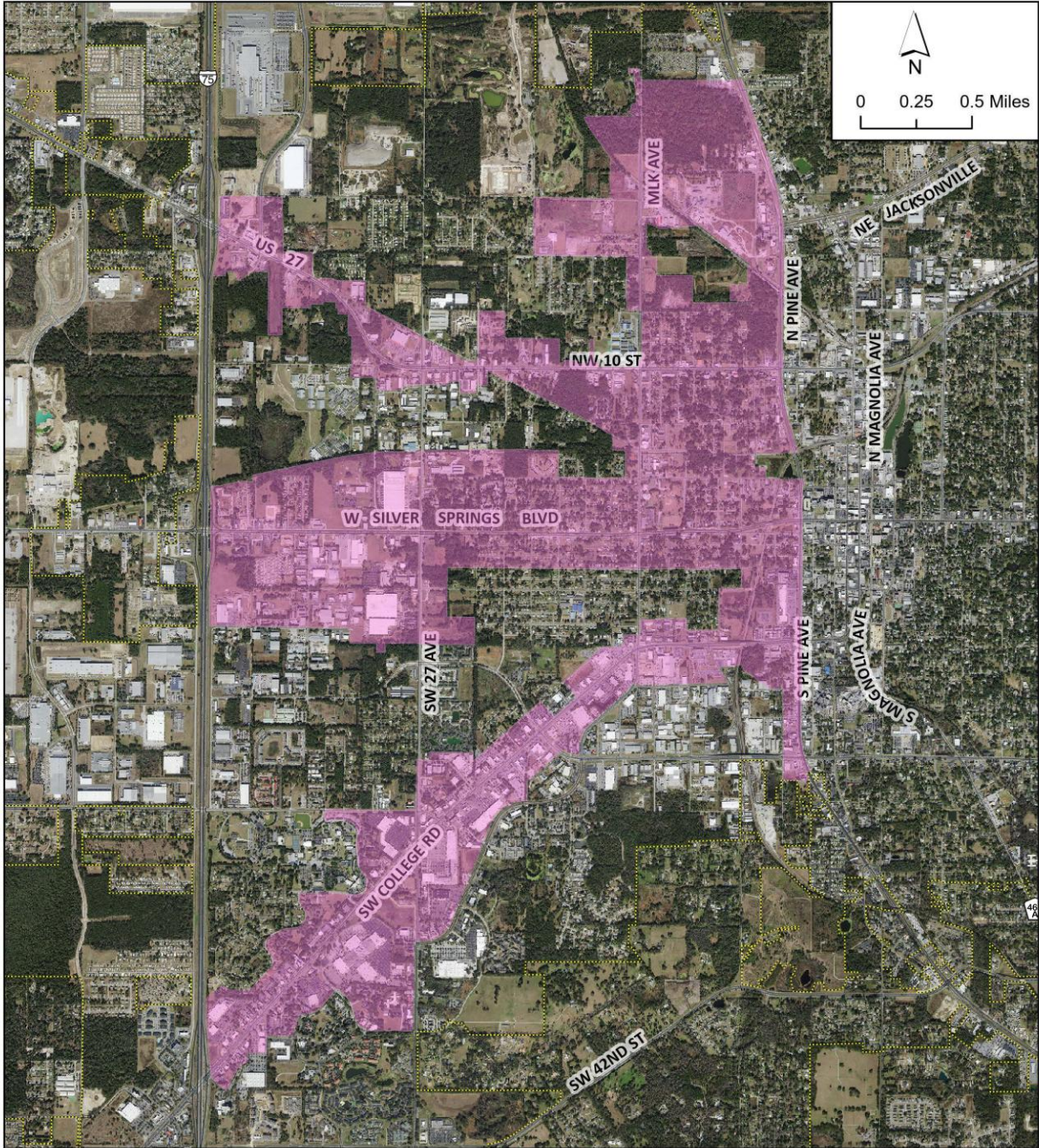
East Ocala CRA



Prepared by the City of Ocala
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 by Jzwertlin on 5/16/2024 12:44 PM
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Legend

- North Magnolia CRA
- City Limits



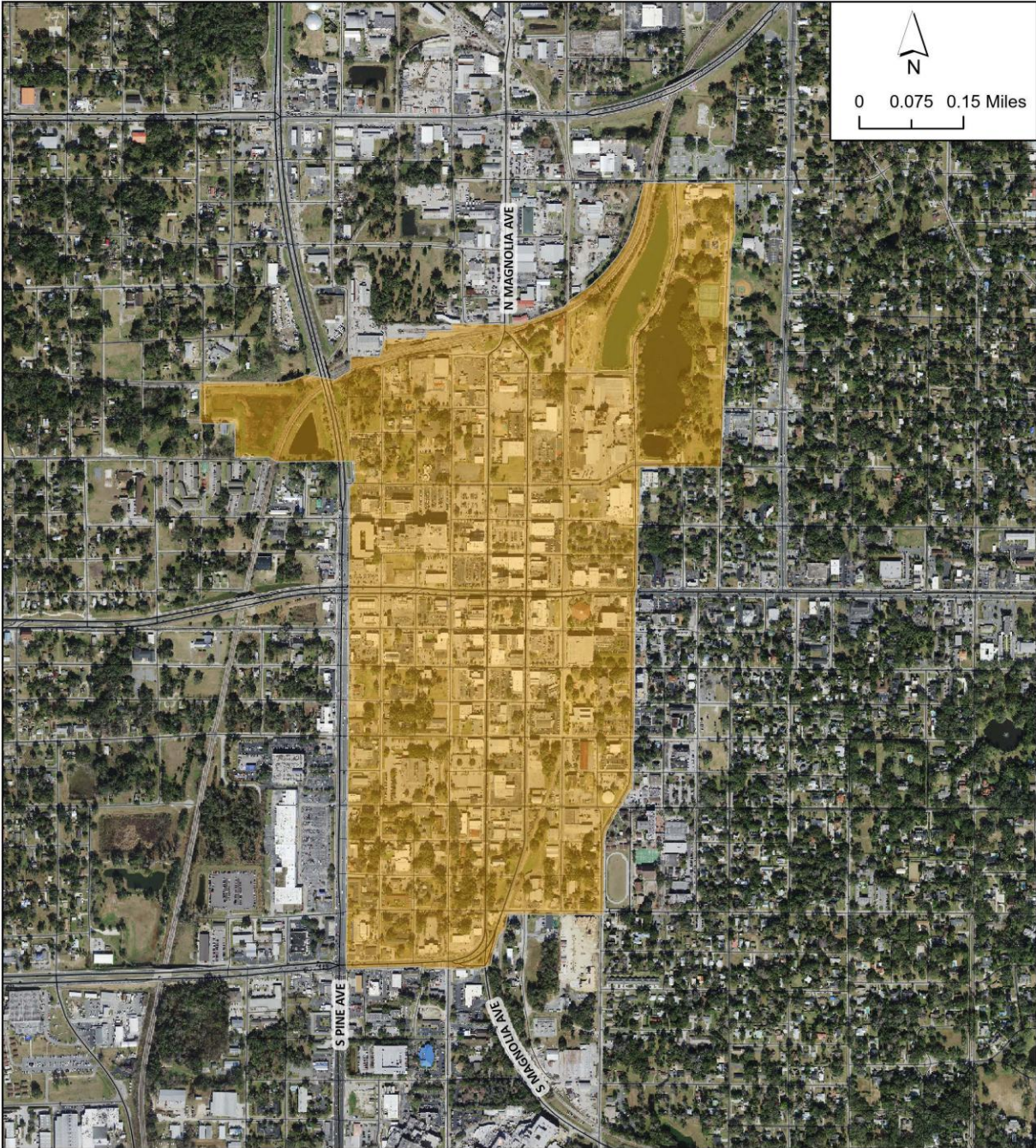
West Ocala CRA

Legend

- City Limits
- West Ocala CRA



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 Growth Management Department
 by kwirthin on 5/15/2024 10:39 AM
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Downtown CRA

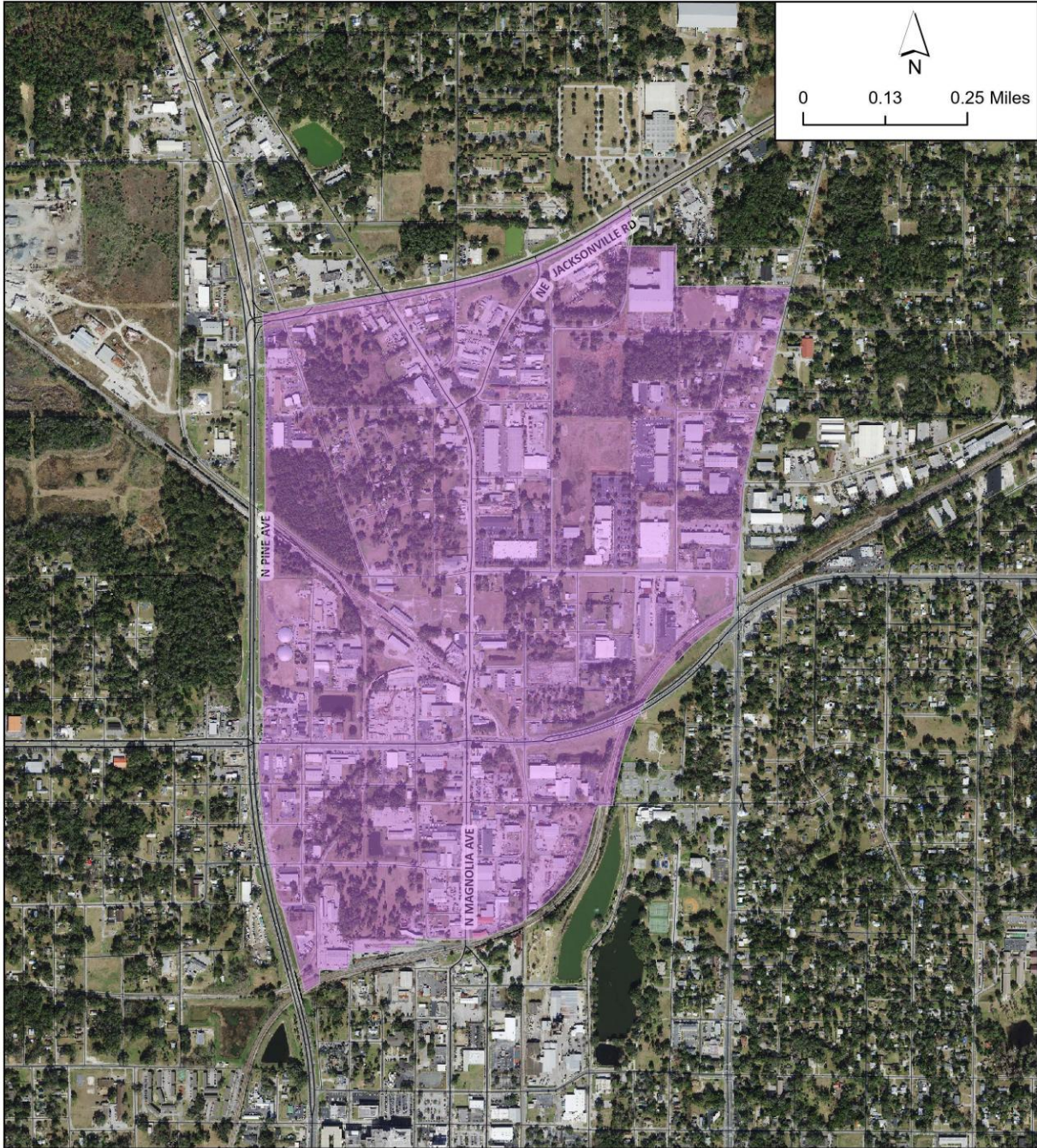


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by kwirthlin on 5/16/2024 7:19 AM
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Legend

- City Limits
- Downtown CRA



North Magnolia CRA



- Legend
- City Limits
 - North Magnolia CRA

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 by kwirthin on 5/16/2024 9:22 AM
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GLOSSARY OF TERMS

Architectural Character: Regards buildings, the features and design elements of the building that creates a particular style or function.

Building facades: The exterior walls of a building that occur along a lot frontage on a public street or park that define the public realm.

Capital improvement or “capital project expenditure: Those activities relating to the acquisition, restoration, public access, and recreational uses of such lands, water areas, and related resources deemed necessary to accomplish redevelopment. Eligible activities include but are not limited to: the initial removal of invasive plants; the construction, improvement, enlargement or extension of facilities’ signs, fire lanes, access roads, trails; or any other activities that serve to restore, conserve, protect, or provide public access, recreational opportunities, or necessary services for land or water areas.

Community Redevelopment Agency: A special district created by a local (city or county) government to carry out redevelopment activities in a specifically defined geographic area.

Community Redevelopment Area: A slum area, a blighted area, or an area in which there is a shortage of housing that is affordable to residents of low or moderate income, including the elderly, or a coastal and tourist area that is deteriorating and economically distressed. This term may be used to reference one or more designated areas.

Infill development: Structures placed in a vacant area or on a vacant parcel between existing structures, especially in urban settings or city centers.

Streetscape: The beautification of a roadway that may include landscaping and improved pedestrian facilities.

Special District: A unit of local government created for a special purpose, as opposed to a general purpose, which has jurisdiction to operate within a limited geographic boundary and is created by general law, special act, local ordinance, or by rule of the Governor and Cabinet.

Tax increment Financing: A mechanism that utilizes increases in property taxes from a base year (the creation of the CRA) and holds them in a redevelopment trust fund. Ideally the CRA, through its activities, induces greater increases in property values.

CRA STAFF

Peter Lee, *City Manager*

Gabriela Solano, *Administrative Coordinator*

Jeff Shrum, *Growth Management Director*

Joe Switt, *Real Estate Coordinator*

Aubrey Hale, *Planning Director*

Carol McKeever, *Financial Analyst I*

Roberto Ellis, *Economic Development Manager*

Yiovanni Santiago, *Administrative Specialist III*

Holly Lang, *Fiscal Manager*

Marie Mesadieu, *Economic Development Specialist*

Eric Smith, *Senior Transportation Project Administrator*

Charlita Whitehead, *Economic Development/Cultural Arts Project Coordinator*

David Williams, *Sr. Buyer*

Evan Krepps, *GIS Analyst 1*

**Ocala Community Redevelopment Agency
City of Ocala
Growth Management Department
201 S.E. 3rd Street, 2nd Floor, Ocala, FL 34471
cra@ocalafl.gov**



Ocala Community Redevelopment Agency (CRA)

FISCAL YEAR 2023-2024 (FY24)

CRA ANNUAL REPORT

REVITALIZING OUR COMMUNITY



ON THE FRONT COVER

The District Bar & Kitchen (DBK) redevelopment project is located in the City of Ocala's historic downtown. The 0.07-acre property was developed into a 6,700 sq. ft. high-energy restaurant and bar. The property was previously the location of Pi on Broadway (Pi) at 110 SW Broadway St. According to local newspaper, the Ocala Gazette, Pi opened its doors for business in 2009 and closed in 2021. The building was deemed not feasible or possible for renovation. It was therefore demolished to make room for a new restaurant. Even though the building is not located within the Ocala historic district, all efforts were made to preserve the historic essence of the site and surrounding area. Rehabilitation was thoroughly explored before other alternatives were considered. This challenge presented an opportunity for the architectural and design team to find ways to integrate the property's history in the redevelopment. Some of the brick from the original structure was integrated in the new building materials, forming a bridge between historic Ocala and renaissance of recent years. DBK now provides a full dining experience with an elevated sports bar/food concept, live music, and other entertainment.

- The building embodies the Form Based Code zoning classification of Ocala's downtown, with its placement in relation to the street, floor plan, and facade treatments.
- The City and CRA, recognizing the significant benefits resulting from the redevelopment of the project, has granted funds to the developer to offset development costs.
- The Downtown CRA also covered the cost of streetscape improvements in the right-of-way adjacent to the project, this included widening the sidewalk, redesigning on street parking, installing planters, and decorative street lighting.

Cover photo credits: Maven Photo + Film and The District Bar & Kitchen

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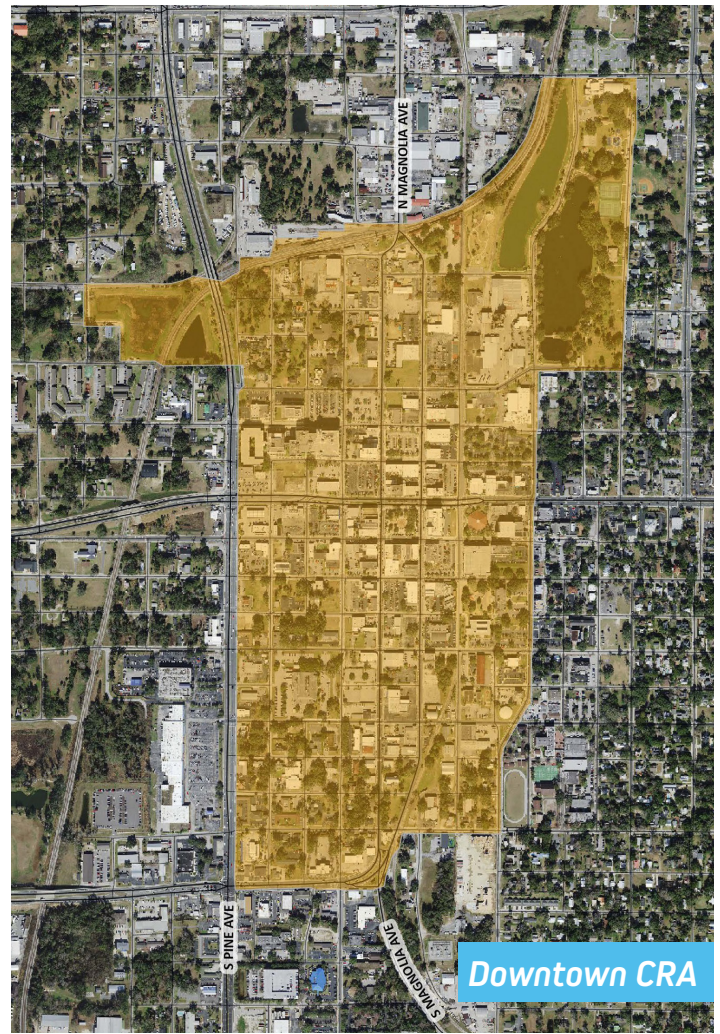
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<i>Financing a CRA</i>	06
<i>CRA Reporting Requirements</i>	06
<i>CRA Agency Board</i>	07
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Fiscal Year 2024 CRA Auditor's Report

WHAT IS A COMMUNITY REDEVELOPMENT AGENCY?

A community redevelopment agency (CRA) is a special district created by a local (city or county) government to carry out redevelopment activities in a specifically defined geographic area. There are over 220 community redevelopment agencies currently operating in Florida. The enabling legislation giving a city the authority to create a CRA is found in Chapter 163 Part III of the Florida Statutes. As prescribed in the statute, CRA activities focus on making improvements to the physical environment within the redevelopment area – buildings and sites, streets and sidewalks, parks, and infrastructure.

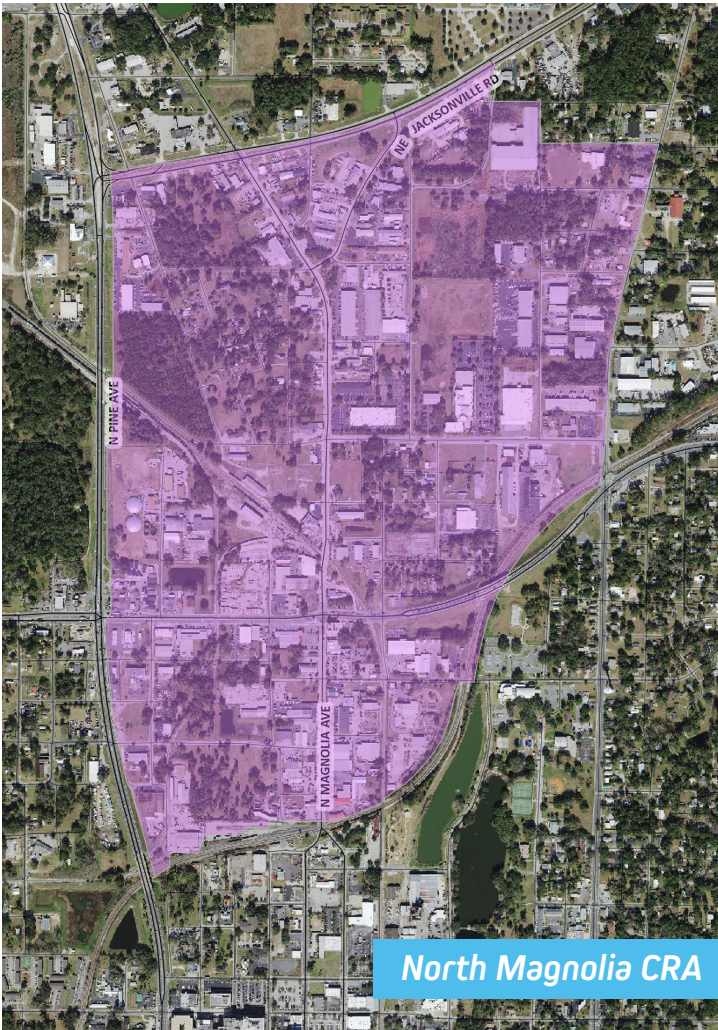
These physical improvements are accomplished by CRAs funding capital improvement projects and partnering with the private sector. Redevelopment agencies invest public funds in redevelopment activities with the intent of encouraging private investment into properties. CRAs reinvest tax increment financing funds to attract private investment into economically distressed areas. The end product, resulting from these redevelopment efforts, is the transformation of underutilized properties and facilities into productive assets of the various communities within the CRA, as well as the city as a whole. A CRA can only expend funds to conduct redevelopment activities within the legally described CRA area. CRAs are also regulated under Chapter 189 as a 'Special District'.



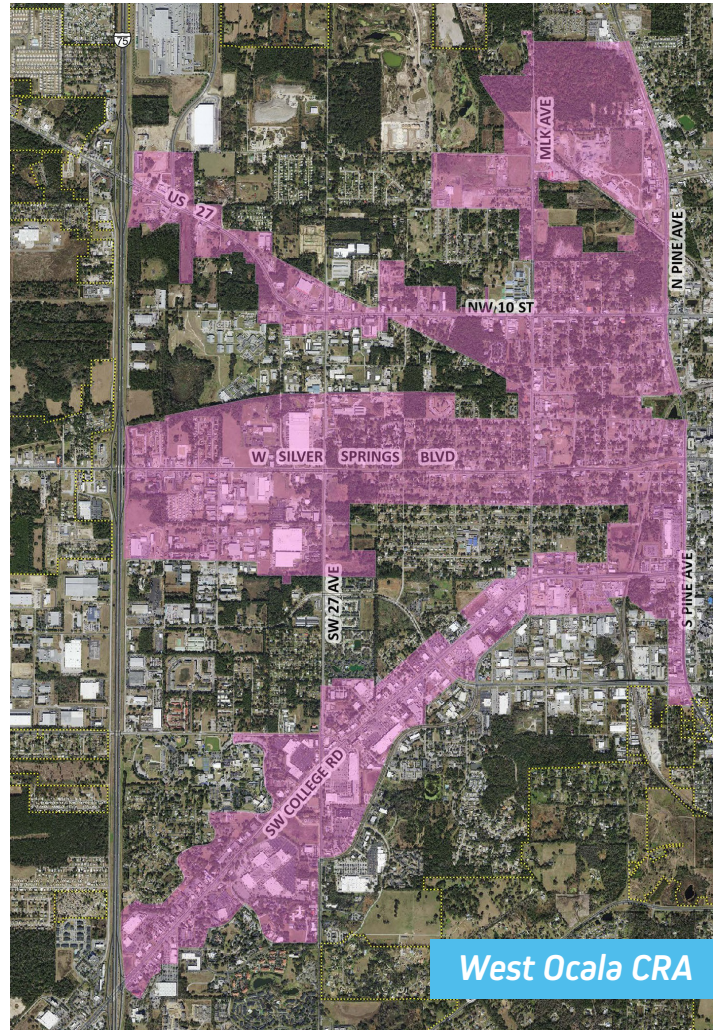
ABOUT THE OCALA CRA

The Ocala CRA is divided into four subareas: Downtown, North Magnolia, West Ocala, and East Ocala. There are four advisory committees, one dedicated to each subarea, which make recommendations to the CRA board on projects and programs. Each of the four subareas has its own redevelopment plan that reflects the unique challenges and goals within their respective areas.

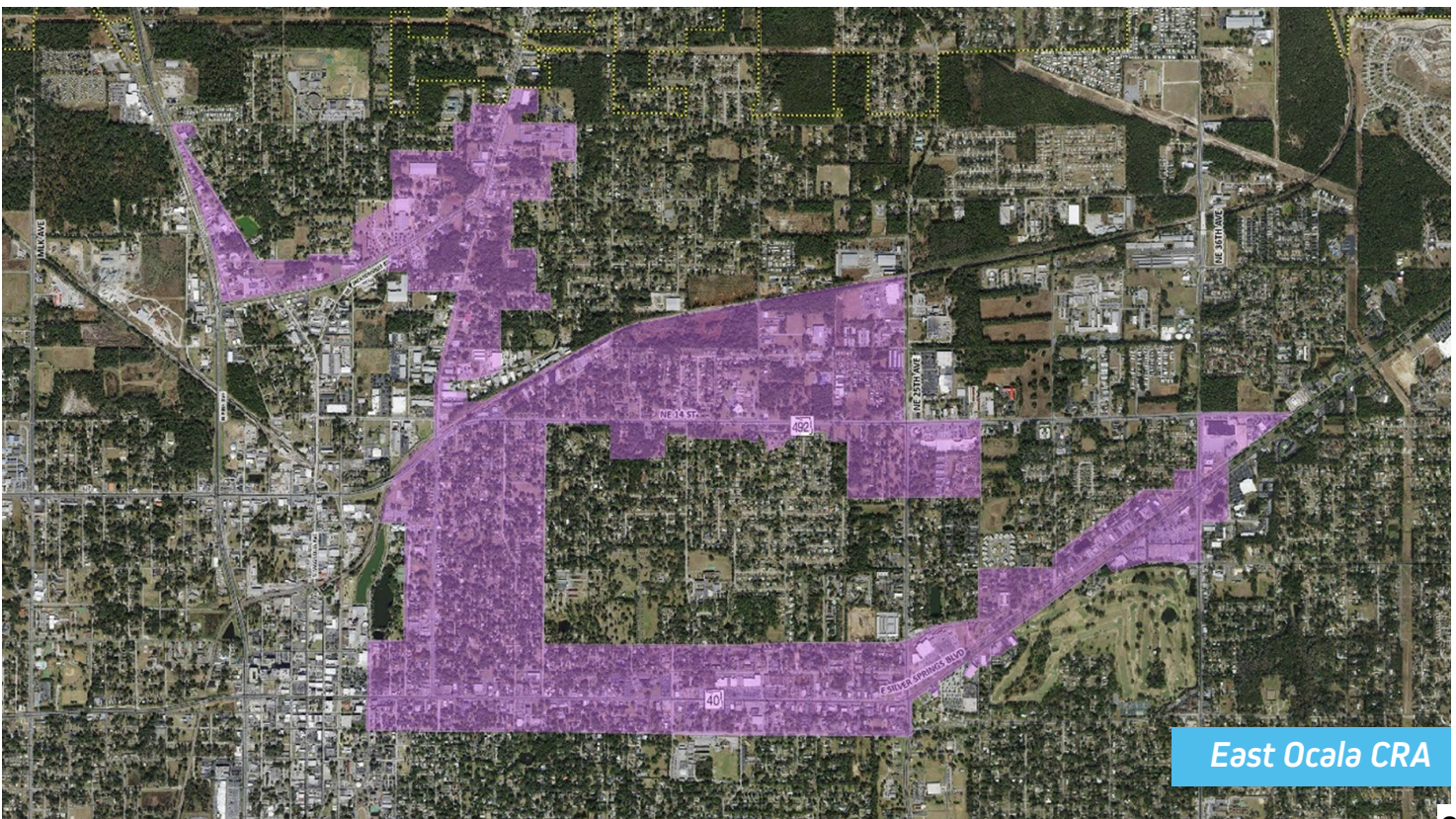
SUBAREA	Establishment Year	Expiration Year
Downtown	1988	2038
North Magnolia	1999	2038
West Ocala	2015	2045
West Ocala (Expansion Area)	2017	2045
East Ocala	2016	2045



North Magnolia CRA



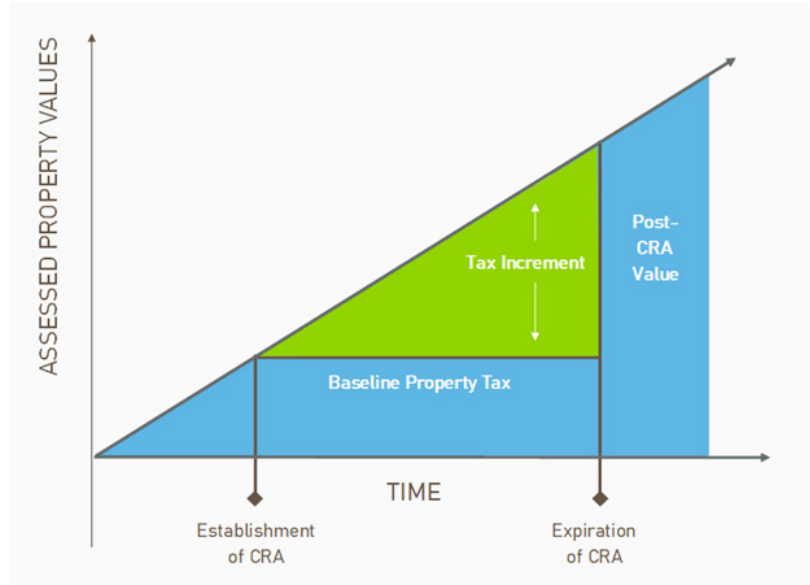
West Ocala CRA



East Ocala CRA

FINANCING A CRA

Community redevelopment agencies receive their funds through tax increment financing. Tax increment financing is a mechanism that utilizes increases in property taxes from a base year (the creation of the CRA) and holds them in a redevelopment trust fund. Ideally the CRA, through its activities, induces greater increases in property values. In this way, CRAs can bring back economically distressed areas, and their future funding will hinge on the success of their redevelopment plans.



CRA REPORTING REQUIREMENTS

Section 163.371 of the Florida Statutes specifies the annual reporting requirements for CRAs.

A community redevelopment agency must file an annual report with the county or municipality that created the agency and publish the report on the agency's website. The report must include the following information:

1. **Audit** - The most recent complete audit report of the redevelopment trust fund as required in s. 163.387(8)
2. **Performance data** for the CRA including the:
 - Total number of projects started and completed and the estimated cost for each project
 - Total expenditures from the redevelopment trust fund
 - Original assessed real property values within the community redevelopment agency's area of authority as of the day the agency was created
 - Total assessed real property values of property within the boundaries of the community redevelopment agency as of January 1 of the reporting year
 - Total amount expended for affordable housing for low-income and middle-income residents
3. **Plan Goals & Objectives** - A summary indicating the extent to which the community redevelopment agency has achieved the goals and objectives set out in its community redevelopment plan

The above three items are addressed in two separate documents.

Document 1 - Audit

In previous years, the CRA audit and financial statements were done as a part of the City's Comprehensive Annual Financial Report (CAFR). Beginning in FY 2020, the CRA had a stand-alone independent audit performed.

Document 2 – Performance Data & Plan Goals & Objectives

These items are contained in this report, which highlights the CRA activities and achievements.

CRA BOARD

The City of Ocala City Councilmembers also serve as the CRA Board:



Barry Mansfield
Chair | District One



Kristen Dreyer
Vice Chair | District Four



Ire J. Bethea, Sr.
District Two



Jay A. Musleh
District Three



James P. Hilty, Sr.
District Five



Ben Marciano
Mayor

CRA STAFF

Peter Lee, City Manager

Jeff Shrum, Growth Management
Director

Aubrey Hale, Planning Director

Tye Chighizola, City Projects Director

Roberto Ellis, Economic Development
Manager

Gabriela Solano, Administrative
Coordinator

Eric Smith, Senior Transportation
Project Administrator

David Williams, Sr. Buyer

Holly Lang, Fiscal Manager

Carol McKeever, Financial Analyst I

Yiovanni Santiago, Administrative
Specialist III

Marie Mesadieu, Economic
Development Specialist

Charlita Whitehead, Economic
Development and Cultural Arts
Project Coordinator

CRA ADVISORY COMMITTEES

Downtown

Tom McDonald
TaMara York
Ted Schatt
Rachel Laxton
Dr. Rhella Murdaugh
Summer Gill
Kendall Drake

North Magnolia

Angie Clifton
David McCollister
Mike Needham
Clark Yandle
Floyd Hershberger
Frank Zadnik III
Darian Mosley

West Ocala

Dr. Barbara Brooks
Ruth Reed
Reginald Landers, Jr.
Dwan Thomas
Carolyn Adams
Antoinette Hunt
Elgin Carelock

East Ocala

Rachel Perez
Van Akin
Greg Blair
Tito Comas
John Gamache
Karl Kunz
Ronnie Santana



Bird's Eye View of Downtown Ocala

SUMMARY

FISCAL YEAR 2023-2024

The City of Ocala Community Redevelopment Agency (CRA) is delighted to present the annual report for Fiscal Year 2023-24. The Ocala CRA continues to champion redevelopment by enhancing key areas within the city. The CRA implements its various programs, projects, and initiatives, in alignment with the respective CRA redevelopment plans and City Council's strategic priorities:

- Priority 1: Economic hub
- Priority 2: Fiscally sustainable
- Priority 3: Engaged workforce
- Priority 4: Operational excellence
- Priority 5: Quality of place



Between FY19 and FY24, every dollar provided through the grant programs has leveraged approximately six dollars of private investment towards property improvements. The revitalization impacts are evident through the improved residential and commercial built environment. In the wider macroeconomic environment, favorable real estate valuations, along with strategic CRA reinvestment, have had a positive impact on revenues allocated to the CRA subareas. The North Magnolia CRA subarea saw the largest year-over-year change in property values, rising by 11 percent, while the Downtown and West Ocala CRA subarea values increased by five percent each.

East Ocala CRA property values increased by nine percent.

Thanks to our community partners, interest in CRA grants has grown, with applications doubling compared to the previous year. Overall, the CRA approved approximately \$1 million in incentives, to be paid out in the fiscal year when projects are completed. The CRA continues its debt servicing obligations for financing the Mary Sue Rich Community Center at Reed Place, making an annual payment of \$480,000.

The CRA hosted an opening event for the Heritage Trail Park in West Ocala on Sept. 3, 2024. The linear park features impressive artwork from local artist Charles Eady and plaques recognizing community leaders who have made significant contributions to West Ocala. The Imagine North Magnolia Park officially opened on June 5, 2024, providing a much-needed recreation space for residents to enjoy. Property acquisition aimed at redevelopment will continue to be a target for the CRA, identifying sites at critical locations to stimulate growth. Two major capital improvement projects were completed in FY24: the NW 7th Avenue Subdivision and Marion Heights infrastructure improvements. These projects accounted for a significant share of the \$1,078,120 expended on capital improvement initiatives during the year.

In the coming year, the CRA aims to further promote the diverse incentives available to properties in the CRA. Interest in programs offered has remained stable despite increasing construction costs and a changing economic climate. Affordable housing, arts and culture, historic preservation, and creating beneficial partnerships in the community will all be areas of focus in the coming years. Primary corridors and gateways will remain at the heart of the CRA's revitalization activities to attract new businesses, retain current business operations, and promote economic growth. The development of key opportunity sites through solicitations will also be at the forefront of plans for FY25.

CONSISTENCY OF CRA ACTIVITIES WITH REDEVELOPMENT PLANS

PLAN COMPLIANCE




To show consistency, the following tables cite the applicable plan sections for each CRA activity. The tables also indicate progress to achieving the goals and objectives. Each CRA subarea has its own redevelopment plan.

S. 163.387(6) states moneys in the redevelopment trust fund may be expended for undertakings of a community redevelopment agency as described in the community redevelopment plan only pursuant to an annual budget adopted by the board of commissioners of the community redevelopment agency.




S. 163.371(2) (c) F.S. states a community redevelopment agency shall file an annual report and the report must include a summary indicating to what extent the community redevelopment agency has achieved the goals set out in its community redevelopment plan.

Mary Sue Rich Community
Center Ribbon Cutting


Downtown CRA

CRA Activity	Progress/Status	CRA Plan Compliance
<p>Grant Programs</p> 	<p>The intent of these grants is to target projects that undertake a comprehensive restoration of facades and /or renovations that make the building more in compliance with form-based code design and development requirements.</p>	<p>Strategy 4.1.4: Facilitate adaptive re-use opportunities and the creation of flexible and convertible spaces in Downtown/Midtown.</p> <p>Strategy 6.2.8: Enhance and promote the façade improvement and/or design assistance program to assist owners of existing structures in improving the aesthetics and exterior function of their buildings and surrounding amenities.</p> <p><i>Downtown Master Plan (2004), Midtown Master Plan (2017)</i></p>
<p>Redevelopment Agreements</p> 	<p>Ongoing agreements supporting catalytic projects. Incentive packages are based on return of investment (ROI) of City and CRA funding. The incentives may be provided in the form of cash contributions, tax-based grants and permit fee contributions.</p>	<p>Strategy 4.1.4: Facilitate adaptive re-use opportunities and the creation of flexible and convertible spaces in Downtown/ Midtown.</p> <p><i>Downtown Master Plan (2004), Midtown Master Plan (2017)</i></p>
<p>Streetscape Improvements</p> 	<p>Focuses on improving the quality of the streets and other public spaces in the CRA subareas.</p> <p>Providing safety and comfort in the form of dedicated spaces for different modes of transportation, wayfinding, seating, lighting, landscaping, and other amenities and furnishings.</p>	<p>Strategy 1: Linkages and Connections. Physical streetscape and mid-block connections that link key activity nodes within the city center and connect the Downtown to nearby districts and the greater region.</p> <p>The Downtown Master Plan recommends addressing streetscape, pedestrian and bike connections and traffic calming to improve the quality of the public realm.</p> <p><i>Downtown Master Plan (2004), Midtown Master Plan (2017)</i></p>

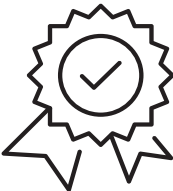

North Magnolia CRA

CRA Activity	Progress/Status	CRA Plan Compliance
<p>Grant Programs</p> 	<p>The purpose of the North Magnolia CRA Residential Property Improvement Grant is to encourage homeowners to make exterior facade improvements, addressing trends of deterioration in some neighborhoods while adding value to the CRA.</p>	<p>Goal 4: ECONOMIC DEVELOPMENT – To maintain and economically sound industrial/business area in Ocala.</p> <p>Objective 4.1: Enhance the commercial tax base, promote business development, by encouraging the reuse of vacant and underutilized buildings.</p> <p>Strategy 4.1.2: Develop Incentive and grant programs to encourage property improvements. Grants programs may be established to improve building conditions both interior and exterior, for business expansion, and for the change of use of a building.</p> <p><i>North Magnolia CRA Plan (2019)</i></p>
<p>Imagine North Magnolia Community Redevelopment Project</p> 	<p>Activities involved land development planning; publishing and processing Invitations to Negotiate (ITN) for redevelopment opportunities. These activities will continue through to the next fiscal year. The construction of the Neighborhood Park was completed in 2024. Road, water and sewer infrastructure improvements were also completed in 2024.</p>	<p>Goal 2: Property Redevelopment. To encourage private sector investment to redevelop undeveloped properties.</p> <p>Objective 2.1: Ensure undeveloped properties are development-ready to increase their feasibility for redevelopment.</p> <p>Strategy 2.1.1: Purchase, assemble, and prepare sites for redevelopment. Prepare sub-area conceptual development beginning with the Imagine North Magnolia subarea.</p> <p><i>North Magnolia CRA Plan (2019)</i></p>
<p>Streetscape Improvements</p> 	<p>A streetscape project was installed approximately 20 years ago. Some of the trees, mostly the Burford Pears, have reach the end of their life span and are in decline. The grass areas are problematic for maintenance and are not attractive. The objective of the project is to improve the appearance of the corridor to make it more inviting for pedestrians and motorists. All plantings will be hardy, drought tolerant, low-maintenance varieties.</p>	<p>Priority #1: Develop the following key streets to create good traffic flow and accommodate growth:</p> <ul style="list-style-type: none"> • 8th Street Magnolia to Pine • Old Jacksonville Rd from Magnolia to 20th • 14th Street from Magnolia to 8th Avenue • 9th Street from Magnolia to CRA Boundary <p>Each street should have lighting to deter crime, landscaping, paving, sidewalks, and trees.</p> <p><i>North Magnolia Redevelopment Corridor CRA Plan (1999)</i></p> <p>Strategic Beautification: Install landscaping, hardscape, lighting along streets throughout the North Magnolia CRA neighborhood.</p> <p><i>North Magnolia CRA Plan (2019)</i></p>




North Magnolia CRA (continued)

CRA Activity	Progress/Status	CRA Plan Compliance
<p>Affordable Housing Program</p> 	<p>The program will assist with easing the cost burden of low-income households and improve their ability to meet housing needs. The CRA is offering this incentive to offset development costs, preserve existing housing stock, and provide affordable housing solutions. The program was made available to the CRA in March 2024.</p>	<p>Priority #4: Solve homeless problem.</p> <p>Priority #5: Create means for residential growth to include more owner-occupied Residents.</p> <p><i>North Magnolia Redevelopment Corridor CRA Plan (1999)</i></p> <p>GOAL – HOUSING: To contribute to a balanced mixed-use neighborhood by allowing for a variety of housing in appropriate areas.</p> <p><i>North Magnolia CRA Plan (2019)</i></p>




West Ocala CRA

CRA Activity	Progress/Status	CRA Plan Compliance
<p>Grant Programs</p> 	<p>The purpose of the West Ocala Community Redevelopment Area (CRA) Residential Property Improvement Grant is to encourage homeowners to make exterior facade improvements, addressing trends of deterioration in some neighborhoods while adding value to the CRA. The grant was made available in the West Ocala CRA subarea in March 2024.</p>	<p>Goal 1: Coordinate public and private resources to increase private capital investment on commercial corridors.</p> <p>Objective 4: Expand the city’s business revitalization grant program.</p> <p>Strategy: Provision of grants for property improvements and property redevelopment.</p> <p><i>West Ocala CRA Plan (2015), West Ocala Vision & Community Plan (2011)</i></p>
<p>Mary Sure Rich Community Center at Reed Place</p> 	<p>Construction of the Center was completed during December 2022 and the building was officially opened in January 2023. The newly created 41,750 square foot, two-story building includes designated indoor space for senior, youth, and family programs; a banquet/event space; fitness equipment and indoor walking track; two full basketball courts; a library and multi-purpose studio rooms.</p>	<p>Goal 1: Coordinate public and private resources to increase private capital investment.</p> <p>Objective 5: Encourage the location of a Competitive Intelligence Center (Library) and assist in the development of a and a new multi-purpose center in West Ocala.</p> <p><i>West Ocala CRA Plan (2015), West Ocala Vision & Community Plan (2011)</i></p>

West Ocala CRA (continued)

CRA Activity	Progress/Status	CRA Plan Compliance
<p>Heritage Trail</p> 	<p>Construction started March 2021. Site work has been completed. The final art installation and grant opening of the park were completed in 2024.</p>	<p>Goal 2: Enhance gateways, corridor segments and crossroads.</p> <p>Objectives 1 & 2: Design and construct streetscape improvements at neighborhood entrances</p> <p><i>West Ocala CRA Plan (2015), West Ocala Vision & Community Plan (2011)</i></p>
<p>Tucker Hill Affordable Housing Project</p> 	<p>Properties purchased, rezoning, platting, site plan, and infrastructure plan completed. Water, sewer and road infrastructure improvements were completed in 2024.</p>	<p>Goal 3: Improve vacant, dilapidated and nuisance properties which are barriers to corridor and neighborhood redevelopment.</p> <p>Objective 7. Identify suitable areas of West Ocala for development of new housing opportunities</p> <p><i>West Ocala CRA Plan (2015), West Ocala Vision & Community Plan (2011)</i></p>
<p>Affordable Housing Program</p> 	<p>The intent of this program is to provide funding to supplement the Community Development Services (CDS) ongoing affordable housing, mainly, the State Housing Initiatives Partnership (SHIP), Home Investment Partnership Program (HOME), and Community Development Block Grant (CDBG) in applicable CRA subareas.</p> <p>The program will assist with easing the cost burden of low-income households and improve their ability to meet housing needs. The CRA is offering this incentive to offset development costs, preserve existing housing stock, and provide affordable housing solutions. The funds allocated have been committed to various projects include the Saving Mercy Village which will be constructing 59 new one- bedroom affordable housing units.</p>	<p>Goal 3, Objective 4: Establish programs to remediate dilapidated and nuisance properties for reuse and resale opportunities.</p> <p>Goal 3, Objective 6: Seek additional funding opportunities and partnerships with community affordable housing providers to upgrade blighted housing and remove unsafe/unsanitary conditions for low-income individuals and families.</p> <p>Goal 3, Objective 7: Identify suitable areas of West Ocala for the purposes of the development of new housing opportunities which incorporate energy efficient materials and appliances.</p> <p><i>West Ocala CRA Plan (2015), West Ocala Vision & Community Plan (2011)</i></p>

East Ocala CRA

CRA Activity	Progress/Status	CRA Plan Compliance
<p>Grant Programs</p> 	<p>The purpose of the East Ocala CRA Residential Property Improvement Grant is to encourage homeowners to make exterior facade improvements, addressing trends of deterioration in some neighborhoods while adding value to the CRA.</p>	<p>Goal 3: Improve vacant, dilapidated and nuisance properties which are barriers to corridor and neighborhood redevelopment.</p> <p>Objective 4: Establish programs to remediate these conditions for property reuse.</p> <p><i>East Ocala CRA Plan (2016)</i></p>
<p>Affordable Housing Program</p> 	<p>The program will assist with easing the cost burden of low-income households and improve their ability to meet housing needs. The CRA is offering this incentive to offset development costs, preserve existing housing stock, and provide affordable housing solutions. The program was made available to the CRA in March 2024.</p>	<p>Objective 6: Seek additional funding opportunities and partnerships with affordable housing providers to upgrade blighted housing and remove unsanitary conditions for low-income individuals and families.</p> <p>Objective 7: Identify suitable areas of East Ocala for the purpose of the development of new housing opportunities which incorporate energy efficient materials and appliances.</p> <p><i>East Ocala CRA Plan (2016)</i></p>
<p>Streetscape Improvements</p> 	<p>A Goal of the East Ocala CRA Plan is to restore value and prominence to gateways and corridors by enhancing their physical appearance. The objectives call for designing and constructing streetscape improvements to improve pedestrian movement and include amenities such as lighting.</p>	<p>Objective 1: Design and construct streetscape improvements to include pedestrian crossings, pedestrian-scale lighting, and other amenities at key crossroads.</p> <p><i>East Ocala CRA Plan (2016)</i></p> <p>The Midtown Master Plan strategies include ensuring safe and continuous pedestrian and bicycle connectivity to Tuscawilla Park and surrounding neighborhoods.</p> <p><i>Midtown Master Plan (2017)</i></p>

GRANT PROGRAMS

Historically, the CRA Commercial Property Improvement Grants are the largest activity in the CRA work program in terms of staff time. In Fiscal Year 2023-24, the CRA commenced the review of all CRA grant programs, resulting in changes to reflect the demands of each CRA subarea. The framework of each program was developed based on the needs and budget of each subarea. The programs address key statutorily defined blight conditions that currently exist in the CRA including vacant or underutilized commercial space, obsolete or substandard interior spaces, inadequate life safety and/or accessibility provisions, and deteriorating or inappropriate facades. The intention of all CRA grant programs is to encourage private investment into blighted properties located in CRA subareas.

Residential

Program/ Subarea	Framework	Grant Max/Match
<p>Residential Property Improvement Grants (West Ocala, East Ocala and N. Magnolia CRA subareas)</p>	<p>Priority work elements include:</p> <ol style="list-style-type: none"> 1. Exterior painting/paint (color(s) must be approved by Committee) removal for the entire building, including exterior cleaning and/or repair/replacement of facade details/materials - doors, walls, trim and exterior lighting. 2. Repair and replacement of windows, and doors (Exterior Improvements only). 3. Demolition of irreparable damaged houses or structures for the construction of affordable housing. 4. New landscaping area (trees and shrubs) visible from the street/sidewalk (Including removal of hazardous trees). 5. Fencing 6. Reroofing 7. Weatherization (HVAC installation and insulation etc.). 8. New construction; and 9. Conversion from septic system to City sanitary sewer service* <p>*Match varies in the North Magnolia CRA.</p>	<p>\$20,000 / 75%</p>
<p>Affordable Housing Program (West Ocala, East Ocala and N. Magnolia CRA subareas)</p>	<p>Priority work elements include:</p> <ol style="list-style-type: none"> 1. Rental assistance 2. Down-payment assistance; and 3. Home improvements. <p>Grant recipients are community members from low-moderate income households.</p>	<p>Max (varies) / 100%</p>

Commercial

Program/ Subarea	Framework	Grant Max/Match
Downtown Commercial Building	Priority work elements include: <ol style="list-style-type: none"> 1. Facades: Painting (only as a component of a major restoration); Canvas Awnings (not eligible in any type of project), Metal Awnings (eligible in any type of project, Doors and/or windows (only as a component of a major restoration or renovation, and Signage (cannot be a stand-alone item and must be consistent with Form Based Code); and 2. Interior Renovations: Structural, Improvements to meet Building Codes for Accessibility; Fire Protection; and Life Safety, HVAC, Plumbing, electric, Conversion of upper floor space to residential; Other fixed improvements related to build-out or additions. 	\$50,000 / 50%
West Ocala Commercial Building	Priority work elements include: <ol style="list-style-type: none"> 1. Vacant buildings being converted to active use. 2. ADA Accessibility 3. Removal of bars from doors and windows. 4. Security system, including lighting, cameras, and fencing. 5. Façade improvements (visible from the street) include doors, windows and signage. 6. Demolitions; and 7. Creation of new surface parking lot. 	\$20,000 / 60%
East Ocala Commercial Building	Priority work elements include: <ol style="list-style-type: none"> 1. Vacant buildings being converted to active use. 2. New signs following CRA design guidelines, including removal of inappropriate signs. 3. Façade improvements – windows, doors, awnings, exterior security and safety lighting, painting (colors must be approved by Committee). 4. New wall sign (must meet sign code). 5. New landscaping; and, 6. Parking lot pavement resurfacing or resealing and restriping. 	\$20,000 / 60%

Commercial (continued)

Program/ Subarea	Framework	Grant Max/Match
North Magnolia Commercial Building	Priority work elements include: <ol style="list-style-type: none"> 1. Exterior painting/paint removal for the entire building. 2. Exterior cleaning of the property/masonry repair/parking lot coating and striping. 3. Repair or replacement of front, side, rear, façade details including doors, windows, lighting. 4. Repair or replace windows for the entire building. 5. New landscaping (trees and shrubs) visible from the street/sidewalk. 6. New or replacement of wall signage. 7. New or replacement of awnings for the entire building; and 8. Fencing. 	\$10,000 / 50%
East Ocala Historic Building	Priority work elements include: <ol style="list-style-type: none"> 1. Improvements to meet Building Codes for Accessibility, Fire Protection, and Life Safety. 2. Roof 3. Removal and replacement of inappropriate or incomplete exterior restoration of original façades, including installation of appropriate windows; must meet requirements of Historic Preservation Code. 4. Other fixed improvements related to interior build-out. 	\$40,000 / 60%
New Construction Incentive	Priority work elements include: <ol style="list-style-type: none"> 1. New construction; and 2. major renovations. Eligible projects must: <ol style="list-style-type: none"> 1. Prove the potential for catalytic impact. 2. Exceed \$1,000,000 in total capital investment; and 3. Receive a score of 80 points or more. 	\$300,000/ 10%

CAPITAL IMPROVEMENT PROJECTS





NW SEVENTH AVE. / SUBDIVISION (TUCKER HILL)

Newly constructed road

PROJECT DESCRIPTION

This project provided the infrastructure for affordable infill housing on the west side of Ocala and will convert currently undeveloped/vacant lots to new housing. The City acquired the properties through code enforcement foreclosures and property acquisition for the remainder of the block. The properties were required to be subdivided due to existing ROW conflicts and the extension of utilities to the newly created parcels. The extension of utilities and the return of City property to the tax rolls will provide ad valorem tax revenue and customers to the City utilities. Now that the infrastructure improvements are complete, the plat will be finalized and properties made available for redevelopment.

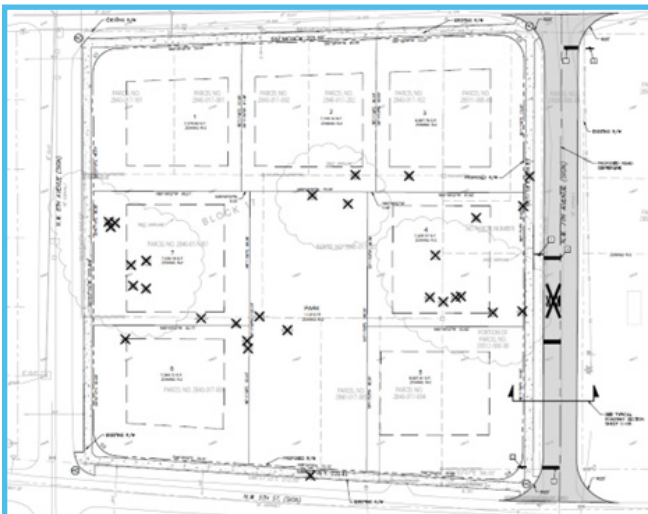
PROJECT COSTS

(Infrastructure Improvements)

CRA: \$147,518



Tucker Hill Aerial View



Plat of the NW Seventh Ave. subdivision



Road construction in progress



WEST OCALA HERITAGE TRAIL PARK

PROJECT DESCRIPTION

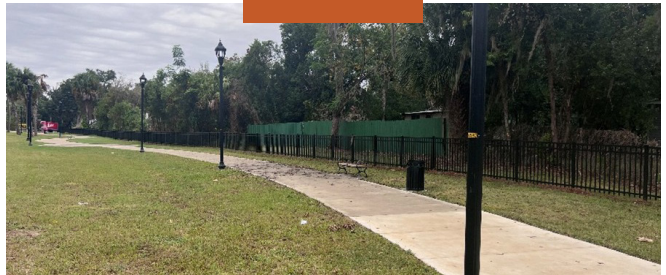
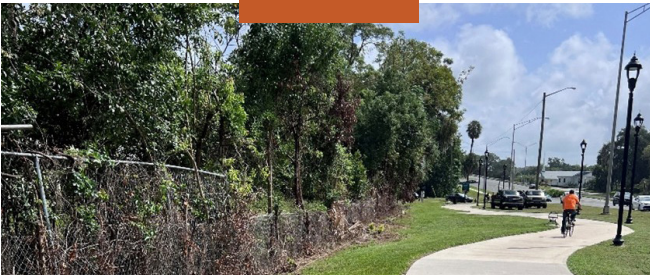
The West Silver Springs Heritage Trail Park (Heritage Trail), was conceptualized in 2018 through the Community Redevelopment Agency’s West Ocala Advisory Committee. This impactful project is situated on the north side of West Silver Springs Boulevard (State Road 40), between NW 9th and NW 11th Avenues. The park features a decorative sidewalk, benches, public art and landscaping. Its primary features are a series of panels and plaques displaying historic images and honoring prominent West Ocala citizens who contributed to the community. The West Ocala Vision and Community Plan (2011), emphasizes the need to create a high quality and desirable public realm through the connectivity of safe and accessible streets, multi-modal pathways, and trails. The CRA contributed \$287,778, while Ocala Electric Utility (OEU) provided lighting improvements in the amount of \$25,513.

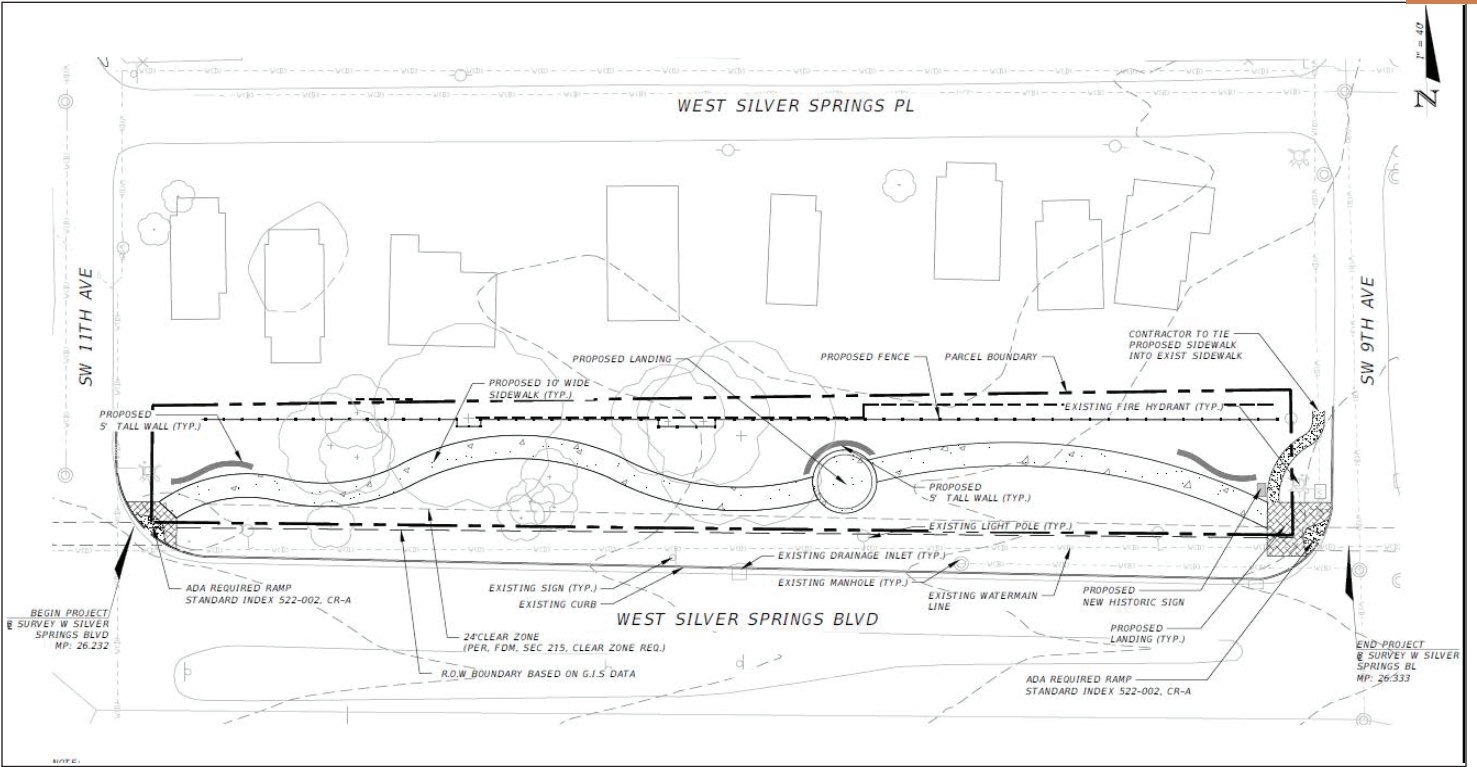


Before



After





Heritage Trail Site Plan



Rendered Conceptual Plan

PROJECT COSTS
Total: \$313,291





IMAGINE NORTH MAGNOLIA

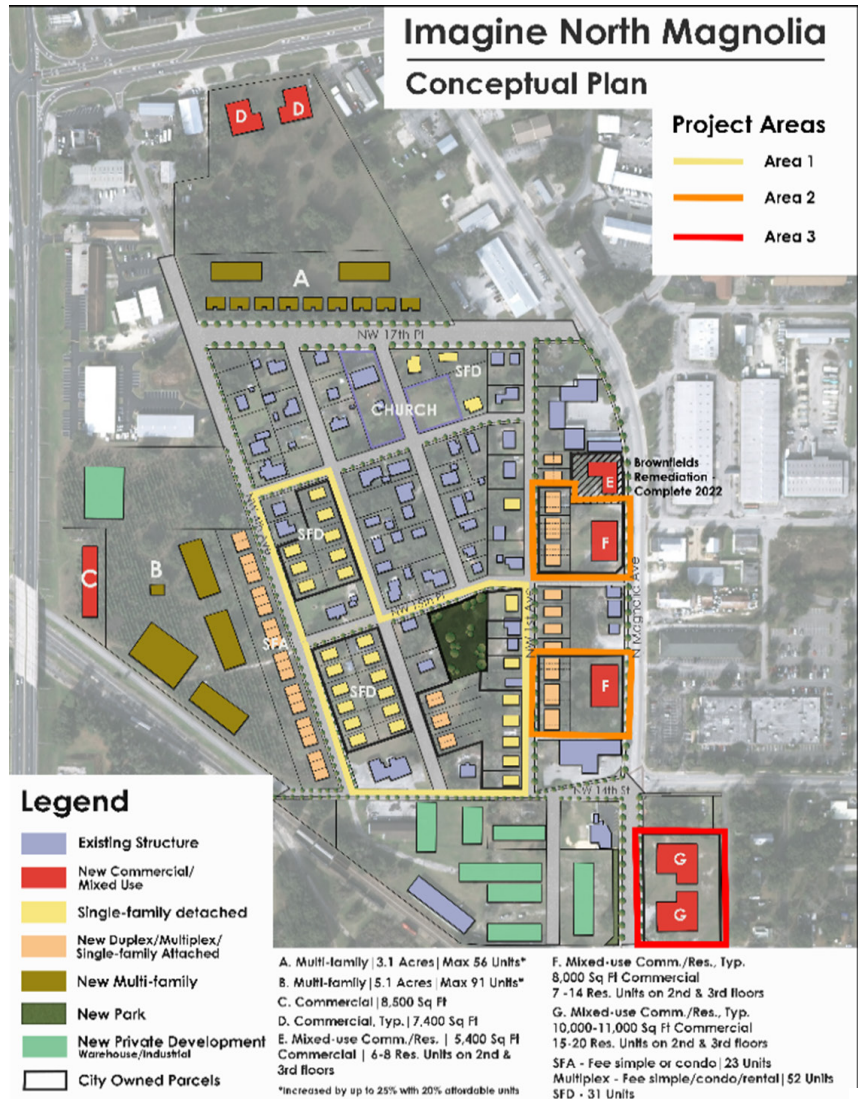
PROJECT DESCRIPTION

In 2012, the CRA identified the Imagine North Magnolia area as a redevelopment project. The intent of the project was to create a balanced, mixed-use community with a focus on re-establishing the residential neighborhood.

The CRA has acquired deteriorating properties to assemble into redevelopment sites. The City, through the CRA, intends to sell the properties and enter into development agreements with builders and developers to redevelop the properties.

CRA funded infrastructure improvements include:

- street resurfacing
- water
- sewer
- neighborhood park

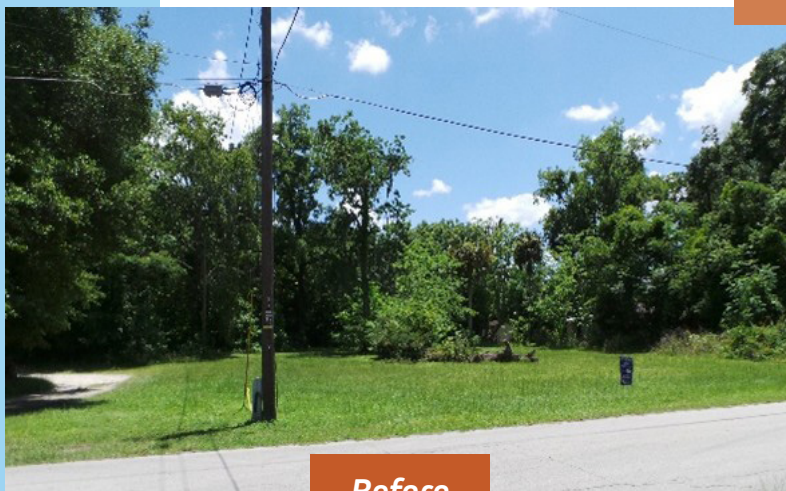


Neighborhood Park

This project was funded by the CRA and the Recreation and Parks Department. The park will not only provide a much-needed recreation space for the residents in the area, but it also assists in revitalizing the surrounding environment and properties in the Marion Heights communities. The park was officially opened on June 5, 2024, and featured the Ocala Police Department's Polar Patrol and City of Ocala Ranger Urban Wildlife Program.

PROJECT COSTS

Total: \$33,582

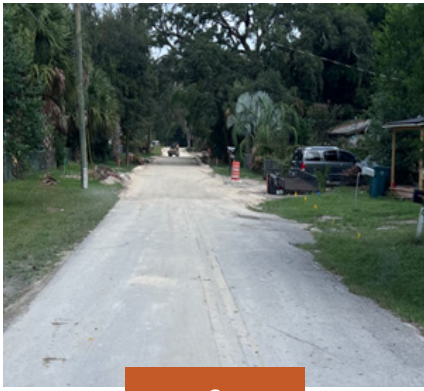


Before

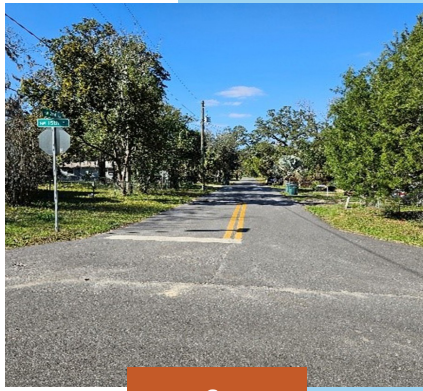


After





Before



After



Infrastructure Improvements

This project was implemented by the CRA and the Capital Projects Division. The improvements included new sanitary sewer lines, new potable water lines, street widening, street resurfacing, and upgraded street lighting.

PROJECT COSTS

Total: \$538,416

Property Acquisition

Parcel 25803-001-00 was acquired in September 2023 at a cost of \$15,796, and parcel 25803-001-01 was acquired in August 2024 at a cost of \$51,682.

These parcels will be made available for the construction of single-family residential units in the Marion Heights neighborhood.

PROJECT COSTS

(Property Acquisition)

Total: \$67,478



Parcel 25803-001-00



Parcel 25814-001-00



DOWNTOWN AND EAST OCALA CRA STREETScape

Intersection of NE Watula Ave. and NE Third St.

PROJECT DESCRIPTION

This project is part of the continual effort to enhance the East Ocala Downtown and Midtown streetscapes by making pedestrian friendly improvements such as sidewalk widening, lighting, and aesthetic hardscape and landscape. This project aids in economic vitality by supporting new developments with enhanced pedestrian environments. In 2024, projects were completed along NE First Ave. and NE Third St.

PROJECT COSTS
East Ocala CRA: \$242,855
Downtown CRA: \$112,137



Sidewalk improvements along NE First Ave.



Sidewalk improvements along NE Third St.

COMPLETED GRANT PROJECTS

“The CRA program is a blessing to me. I needed repairs on my wooden house, which had been built in 1985, because of the wear and tear of everyday living. This program has provided me with a new house from all the repairs I have undertaken in the last year. I want to thank the CRA Staff (Roberto E., Marie M., and Charlita W.) for all their attention along with the information given through this process. Truly, I feel the staff cares about helping get results from start to finish. God sent to my family this blessing to remain in my home for many many more years because of my new roof, exterior paint, windows, and door replacements.”

*- North Magnolia CRA
Residential Grant Recipient*

EAST OCALA CRA

937 NE Seventh St.



BEFORE



AFTER

Grant Amount: \$16,375

Project Description: Property owner replaced the roof, pressure washed, and repainted the building exterior.

948 NE Fourth St.



BEFORE



AFTER



BEFORE



AFTER

Grant Amount: \$2,000

Project Description: Property owner pressure washed and repainted the exterior of the building.

NORTH MAGNOLIA CRA

1224 N Magnolia Ave.



Grant Amount: \$10,000

Project Description: Bay doors were replaced with windows and kneewall. The building was pressure washed and repainted. Exterior doors and windows were replaced.

314 NW 14th St.



Grant Amount: \$10,000

Project Description: Parking lot improvements, including adding ADA accessible parking

NORTH MAGNOLIA CRA

1618 NW First Ave.



Grant Amount: \$7,362

Project Description: Property owner replaced the shingle roof and made improvements to the building façade, including repairing siding, pressure washing, and repainting.

909 NW Fourth Ave.

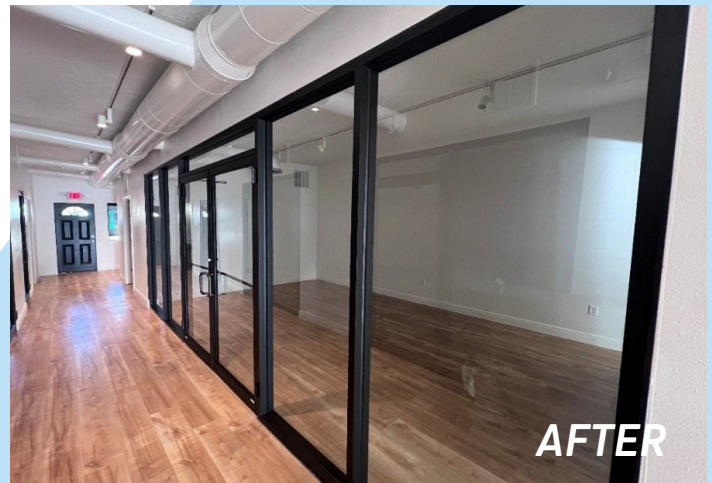


Grant Amount: \$5,626

Project Description: Property owner completed parking lot improvements and installed exterior LED lights for safety and security.

DOWNTOWN CRA

112 S Magnolia Ave.



Grant Amount: \$50,000

Project Description: This project was approved for CRA grants across two fiscal years and was completed in phases. The comprehensive improvements included facade improvements and a full interior renovation.

DOWNTOWN CRA

521 S Magnolia Ave.



Grant Amount: \$18,150

Project Description: Property owner completed façade improvements including adding a metal awning, repainting, and adding new signage.

DOWNTOWN CRA

REDEVELOPMENT GRANTS

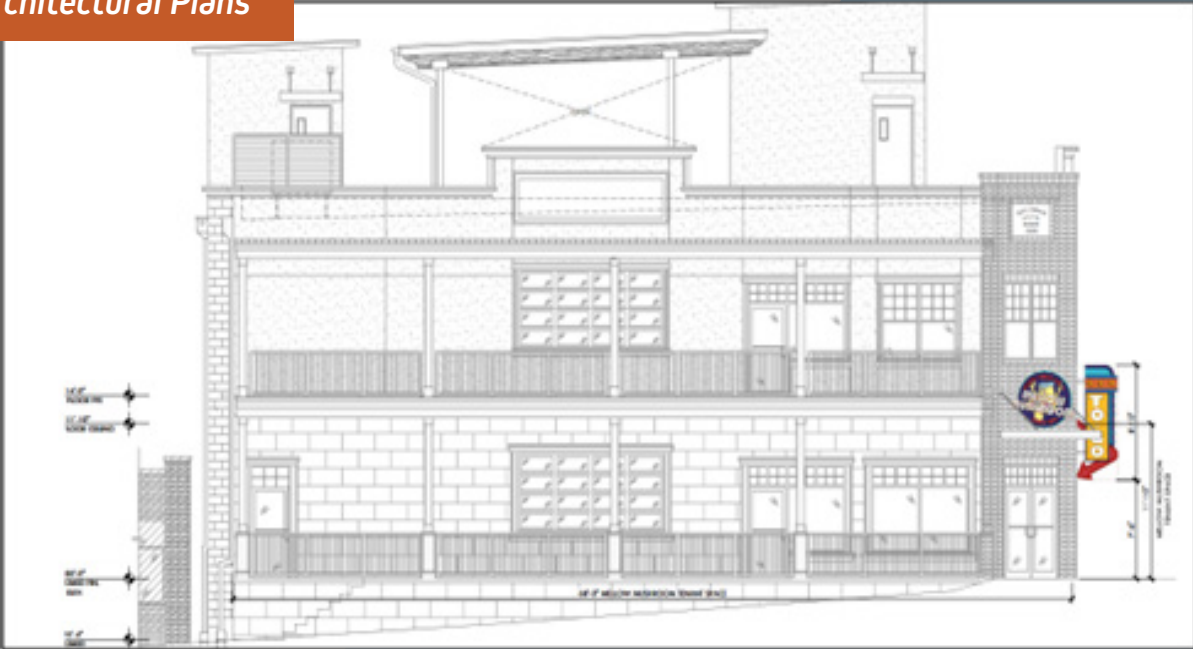
PFLOZ, LLC (Mellow Mushroom)

Project Description: Initially, this project aimed to renovate the building located on the property for retail and commercial purposes, including related improvements and the construction of a shell for a restaurant of approximately 4,700 sq. ft. However, due to significant structural issues, the building was deemed unsafe for renovation. The developer agreed to demolish the building and construct a new structure. Additionally, the City provided streetscape improvements along S. Magnolia Ave.

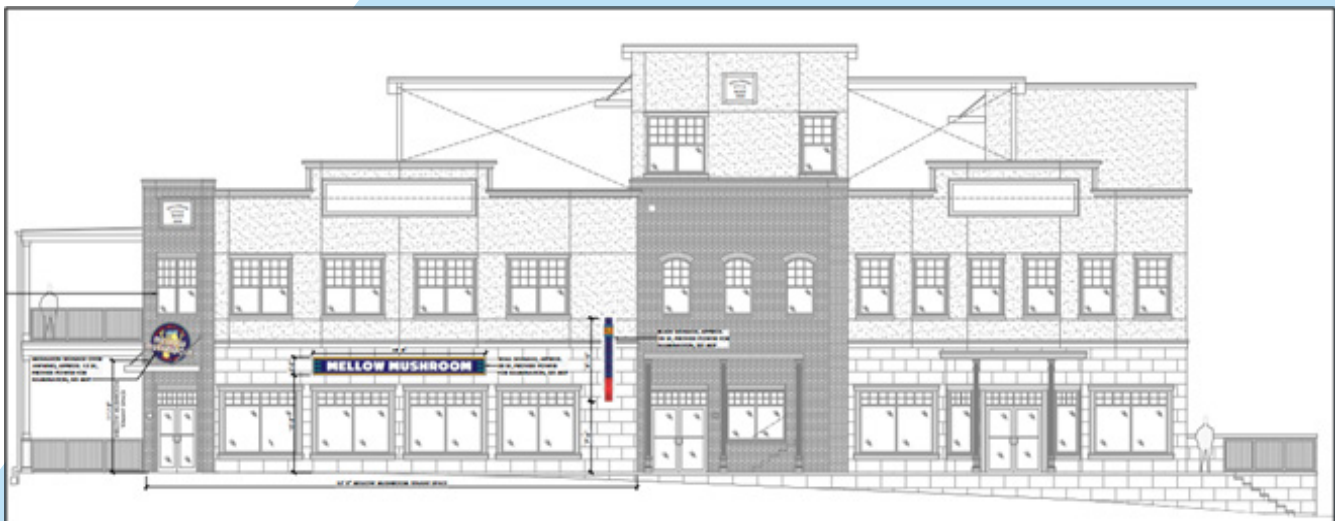
Development Costs: \$2,250,531

Incentives: CRA Grant - \$180,000 to be paid over three years
City Fee Contributions - \$32,919

Architectural Plans



East Elevation



North Elevation

DOWNTOWN CRA REDEVELOPMENT GRANTS



East Elevation



North Elevation

DOWNTOWN CRA REDEVELOPMENT GRANTS

MRL Restaurant Holdings, LLC (District Bar and Kitchen)

Project Description: MRL Restaurant Holdings redeveloped the former Pi on Broadway property by demolishing the previous building and constructing a new one for retail and commercial purposes. The new building includes a finished space for a restaurant of approximately 6,500 sq. ft. The project received a City review contribution and a City grant, which includes Tax Increment Financing (TIF), utility extensions, and other improvements. This project will enhance and activate an additional place of interest and is expected to further stimulate economic development in Downtown Ocala.

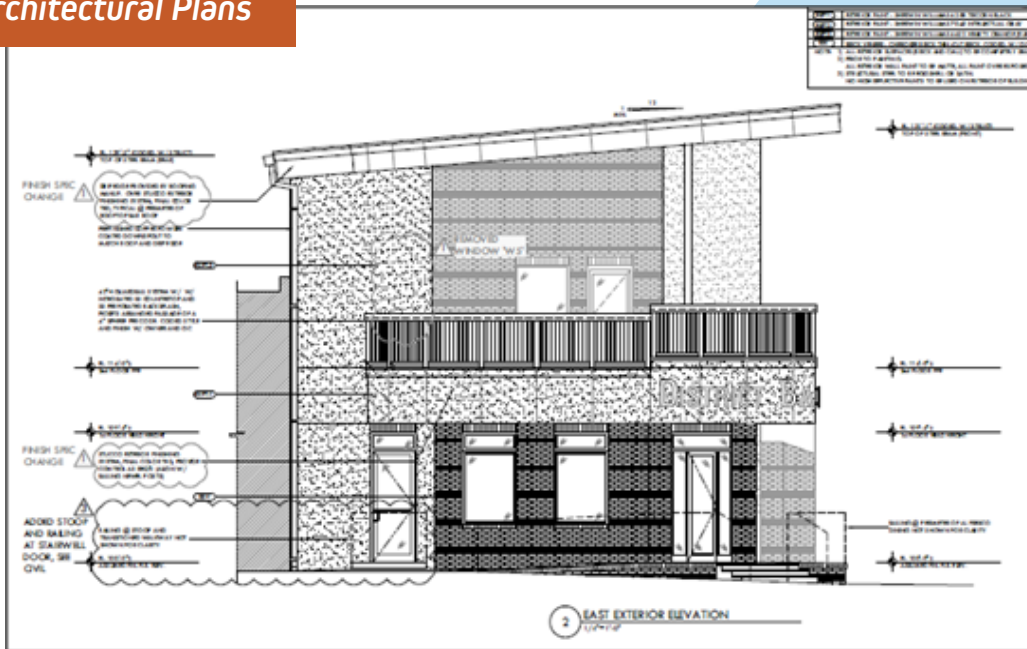
Development Costs: \$4 million

Incentives: CRA Grant - \$150,000 to be paid over 2 years

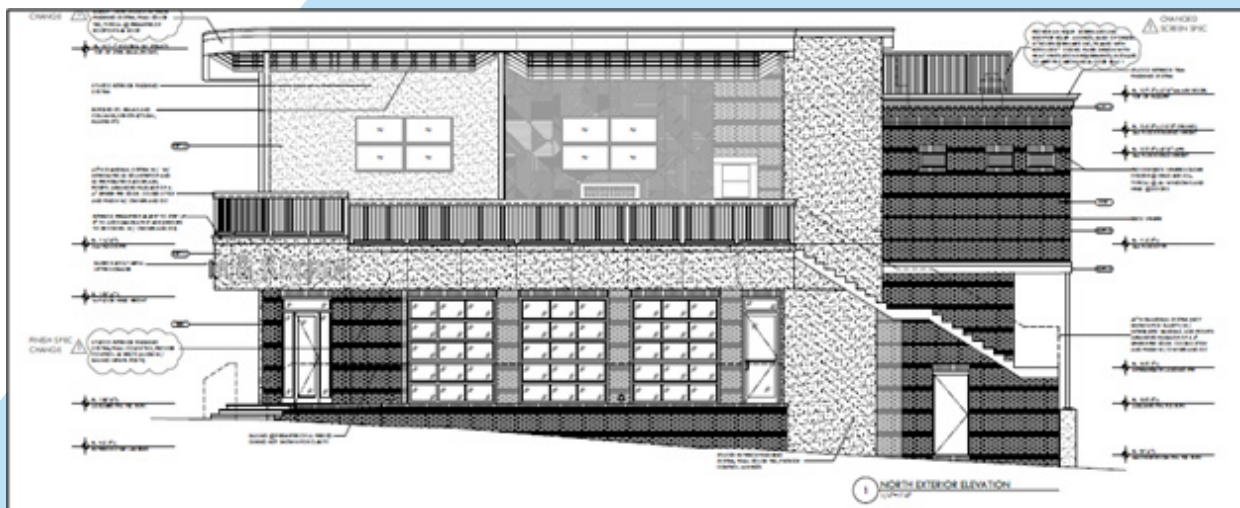
Fee Contributions - \$18,632

Tax-Based Incentive - Not to exceed \$55,000 over 5 years

Architectural Plans



East Elevation



North Elevation

DOWNTOWN CRA REDEVELOPMENT GRANTS

“While our project presented many unique challenges, it was the open communication and guidance from both the public and private sector that helped us build our beautiful restaurant, District Bar and Kitchen...”

- Matthew Larmoyeux, Downtown CRA Commercial Grant Recipient



FINANCIALS

The performance data for the Community Redevelopment Agency (CRA) includes several key metrics. It encompasses the total number of projects initiated and completed, along with the estimated cost for each project. Additionally, it details the total expenditures from the redevelopment trust fund. The data also highlights the original assessed real property values within the CRA's area of authority at the time of its creation, as well as the total assessed real property values within the boundaries of the CRA as of January 1 of the reporting year. This section outlines the total amount spent on affordable housing for both low-income and middle-income residents.

Property Taxes (Marion County Property Appraiser)

Downtown

	Base Year	Previous Year	Current Year
Year	1987	2023	2024
Taxable Value	\$16,868,783	\$125,717,794	\$137,185,322

North Magnolia

	Base Year	Previous Year	Current Year
Year	1987	2023	2024
Taxable Value	\$22,392,439	\$70,907,869	\$79,277,658

West Ocala

	Base Year	Previous Year	Current Year
Year	2015	2023	2024
Taxable Value	\$475,687,550	\$697,114,487	\$731,209,319

East Ocala

	Base Year	Previous Year	Current Year
Year	2015	2023	2024
Taxable Value	\$208,290,128	\$342,305,061	\$373,764,081

Tax Increment Revenue

CRA Subarea	FY23	FY24
Downtown	\$722,883	\$852,213
North Magnolia	\$425,537	\$514,172
West Ocala	\$1,345,227	\$1,838,532
East Ocala	\$797,927	\$1,119,205
Total	\$3,291,574	\$4,324,122

Capital Improvement Project Expenditures

Project Description	FY23	FY24
Downtown		
Streetscape Improvements	\$79,872	\$126,030
Wayfinding Downtown Parking Garage	-	\$24,220
East Ocala		
Streetscape Improvements	-	\$242,855
North Magnolia		
Infrastructure Improvements	-	\$538,416
Imagine North Magnolia Park	-	\$10,250
Land Acquisition	\$16,871	\$51,682
West Ocala		
Tucker Hill Affordable Housing Project, Infrastructure improvements Property Purchase, & Platting	\$9,000	\$60,134
Heritage Trail	-	\$24,533
Total	\$105,743	\$1,078,120

Debt Servicing

West Ocala CRAMary Sue Rich Community Center at Reed Place	
Principal	\$400,000
Interest	\$80,000

Operating Expenses

CRA Subarea	FY23	FY24
Downtown	\$41,474	\$75,445
North Magnolia	\$48,412	\$56,648
West Ocala	\$30,565	\$76,771
East Ocala	\$16,091	\$50,591
Total	\$136,542	\$259,455

Summary of Property Improvement Grants					
CRA Subarea	Approved	Amount	Completed	Grant Amounts Reimbursed	Project Investment Completed
Commercial					
Downtown	2	\$64,977	3	\$68,150	\$161,883
East Ocala	-	-	1	\$3,635	\$10,000
North Magnolia	3	\$25,626	3	\$25,626	\$68,064
West Ocala	-	-	-	-	-
Residential					
East Ocala	3	\$36,048	3	\$18,375	\$27,293
North Magnolia	2	\$25,151	1	\$7,362	\$9,817
West Ocala	6	\$66,370	-	-	-
Affordable Housing					
West Ocala	3	171,928	-	-	-
Historic Building					
East Ocala	1	\$17,414	3	\$48,228	\$92,106
New Construction Incentive					
West Ocala	3	\$572,853	-	-	-
Redevelopment Agreement					
Downtown	1	\$81,000	1	\$60,000	\$2,250,531
TOTAL	24	\$1,061,367	15	\$231,377	\$2,619,694

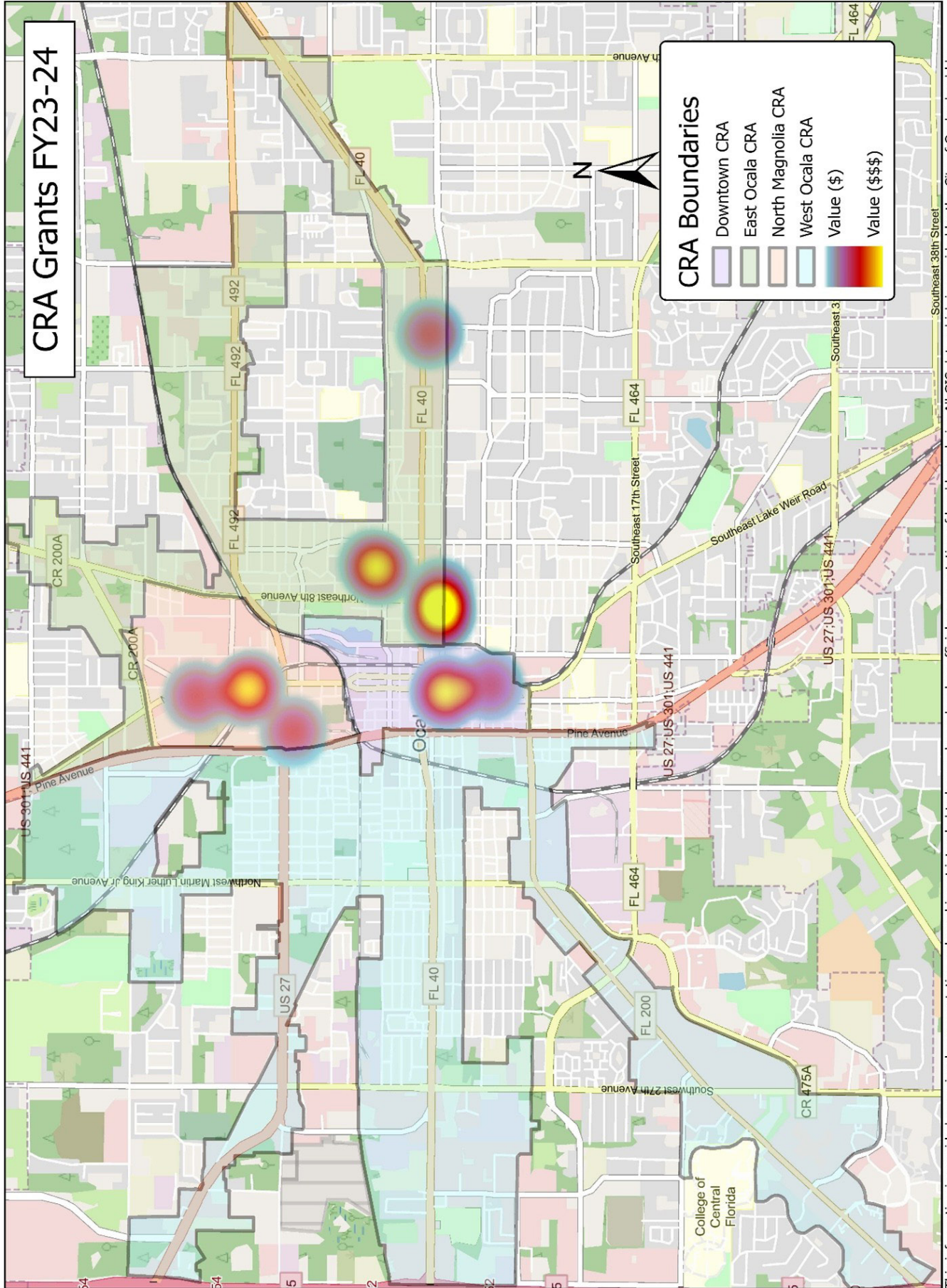
Note: Grant projects typically extend into the next fiscal years. For example, grants approved in FY 2024 may not be completed until FY 2025 and grants completed FY 2024 may have started in FY 2023.

Cumulative Summary of Completed Property Improvement Grants

CRA Subarea	FY19-FY24	Grant Amounts Reimbursed	Total Project Investment (Completed)
Commercial			
Downtown	29	\$558,150	\$2,865,582
East Ocala	18	\$100,400	\$717,177
N Magnolia	33	\$179,504	\$349,017
West Ocala	10	\$83,476	\$153,327
Residential			
East Ocala	6	\$20,875	\$33,328
North Magnolia	2	\$10,961	\$14,616
West Ocala	-	-	-
Historic Building			
East Ocala	5	\$90,496	\$170,106
Redevelopment Agreement			
Downtown	1	\$60,000	\$2,250,531
TOTAL	104	\$1,103,862	\$6,553,684

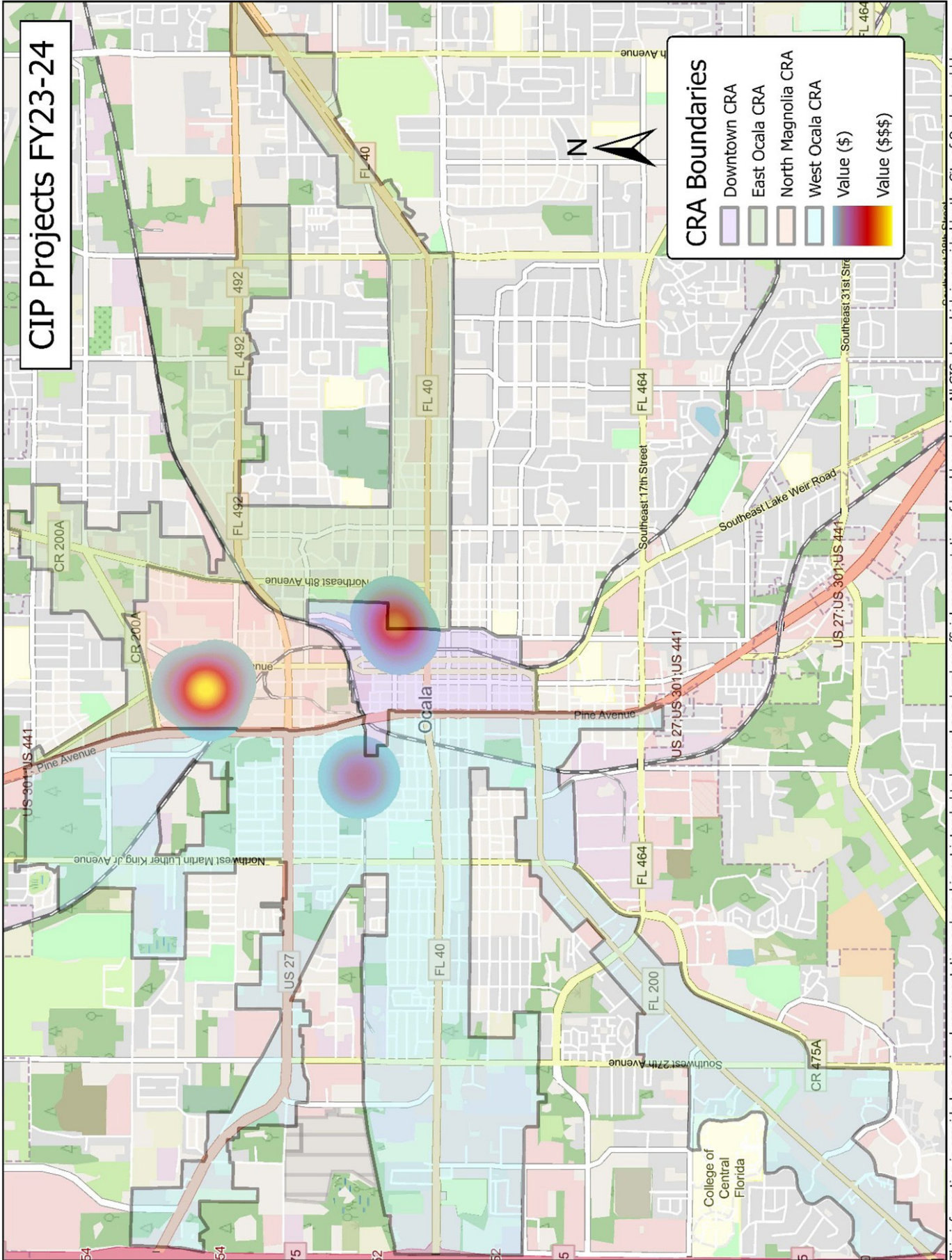
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CRA Grants FY23-24



This information is provided as a visual representation only and is not intended to be used as a legal or official representation of legal boundaries. All GIS data which is provided by the City of Ocala should be considered a generalized spatial representation which may be subject to revisions. The feature boundaries are not to be used to establish legal boundaries.

CIP Projects FY23-24



This information is provided as a visual representation only and is not intended to be used as a legal or official representation of legal boundaries. All GIS data which is provided by the City of Ocala should be considered a non-finalized spatial representation which may be subject to revision. The feature boundaries are not to be used to establish local boundaries.

GLOSSARY OF TERMS

Architectural Character: Regards buildings, the features, and design elements of the building that creates a particular style or function.

Building facades: The exterior walls of a building that occur along a lot frontage on a public street or park that define the public realm.

Capital improvement or “capital project expenditure: Those activities relating to the acquisition, restoration, public access, and recreational uses of such lands, water areas, and related resources deemed necessary to accomplish redevelopment. Eligible activities include but are not limited to: the initial removal of invasive plants; the construction, improvement, enlargement or extension of facilities’ signs, fire lanes, access roads, and trails; or any other activities that serve to restore, conserve, protect, or provide public access, recreational opportunities, or necessary services for land or water areas.

Community Redevelopment Agency: A special district created by a local (city or county) government to carry out redevelopment activities in a specifically defined geographic area.

Community Redevelopment Area: A slum area, a blighted area, or an area in which there is a shortage of housing that is affordable to residents of low or moderate income, including the elderly, or a coastal and tourist area that is deteriorating and economically distressed. This term may be used to reference one or more designated areas.

Infill development: Structures placed in a vacant area or on a vacant parcel between existing structures, especially in urban settings or city centers.

Streetscape: The beautification of a roadway that may include landscaping and improved pedestrian facilities.

Special District: A unit of local government created for a special purpose, as opposed to a general purpose, which has jurisdiction to operate within a limited geographic boundary and is created by general law, special act, local ordinance, or by rule of the Governor and Cabinet.

Tax increment Financing: A mechanism that utilizes increases in property taxes from a base year (the creation of the CRA) and holds them in a redevelopment trust fund. Ideally the CRA, through its activities, induces greater increases in property values.

APPENDIX A

FISCAL YEAR 2024 CRA AUDITOR'S REPORT



2024

Ocala Community Redevelopment Agency

Financial Statements and
Independent Auditor's Report

September 30, 2024

PURVIS GRAY
CERTIFIED PUBLIC ACCOUNTANTS

**FINANCIAL STATEMENTS
AND
INDEPENDENT AUDITOR’S REPORT**

**OCALA COMMUNITY REDEVELOPMENT AGENCY
OCALA, FLORIDA**

SEPTEMBER 30, 2024

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INDEPENDENT AUDITOR'S REPORT

The Honorable Members of the City Council
Ocala Community Redevelopment Agency
Ocala, Florida

Opinions

We have audited the accompanying financial statements of the governmental activities and the major fund of the Ocala Community Redevelopment Agency (the CRA), a component unit of the City of Ocala, Florida (the City) as of and for the year ended September 30, 2024, and the related notes to the financial statements, which collectively comprise the CRA's financial statements as listed in the table of contents.

In our opinion, the financial statements referred to above present fairly, in all material respects, the respective financial position of the CRA as of September 30, 2024, and the respective changes in financial position for the year then ended in accordance with accounting principles generally accepted in the United States of America.

Basis for Opinions

We conducted our audit in accordance with auditing standards generally accepted in the United States of America and the standards applicable to financial audits contained in *Government Auditing Standards*, issued by the Comptroller General of the United States. Our responsibilities under those standards are further described in the Auditor's Responsibilities for the Audit of the Financial Statements section of our report. We are required to be independent of the CRA, and to meet our other ethical responsibilities, in accordance with the relevant ethical requirements relating to our audit. We believe that the audit evidence we have obtained is sufficient and appropriate to provide a basis for our audit opinions.

Responsibilities of Management for the Financial Statements

Management is responsible for the preparation and fair presentation of the financial statements in accordance with accounting principles generally accepted in the United States of America; and for the design, implementation, and maintenance of internal control relevant to the preparation and fair presentation of financial statements that are free from material misstatement, whether due to fraud or error.

In preparing the financial statements, management is required to evaluate whether there are conditions or events, considered in the aggregate, that raise substantial doubt about the CRA's ability to continue as a going concern for twelve months beyond the financial statement date, including any currently known information that may raise substantial doubt shortly thereafter.

Auditor's Responsibilities for the Audit of the Financial Statements

Our objectives are to obtain reasonable assurance about whether the financial statements as a whole are free from material misstatement, whether due to fraud or error, and to issue an auditor's report that includes our opinions. Reasonable assurance is a high level of assurance but is not absolute assurance

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The Honorable Members of the City Council
Ocala Community Redevelopment Agency
Ocala, Florida

INDEPENDENT AUDITOR'S REPORT

and, therefore, is not a guarantee that an audit conducted in accordance with generally accepted auditing standards and *Government Auditing Standards*, will always detect a material misstatement when it exists. The risk of not detecting a material misstatement resulting from fraud is higher than for one resulting from error, as fraud may involve collusion, forgery, intentional omissions, misrepresentations, or the override of internal control. Misstatements are considered material if there is a substantial likelihood that, individually or in the aggregate, they would influence the judgment made by a reasonable user based on the financial statements.

In performing an audit in accordance with generally accepted auditing standards and *Government Auditing Standards*, we:

- Exercise professional judgment and maintain professional skepticism throughout the audit.
- Identify and assess the risks of material misstatement of the financial statements, whether due to fraud or error, and design and perform audit procedures responsive to those risks. Such procedures include examining, on a test basis, evidence regarding the amounts and disclosures in the financial statements.
- Obtain an understanding of internal control relevant to the audit in order to design audit procedures that are appropriate in the circumstances, but not for the purpose of expressing an opinion on the effectiveness of the CRA's internal control. Accordingly, no such opinion is expressed.
- Evaluate the appropriateness of accounting policies used and the reasonableness of significant accounting estimates made by management, as well as evaluate the overall presentation of the financial statements.
- Conclude whether, in our judgment, there are conditions or events, considered in the aggregate, that raise substantial doubt about the CRA's ability to continue as a going concern for a reasonable period of time.

We are required to communicate with those charged with governance regarding, among other matters, the planned scope and timing of the audit, significant audit findings, and certain internal control-related matters that we identified during the audit.

Required Supplementary Information

Accounting principles generally accepted in the United States of America require that the management's discussion and analysis (MD&A) and the budgetary comparison information, as listed in the table of contents, be presented to supplement the basic financial statements. Such information is the responsibility of management and, although not a part of the basic financial statements, is required by the Governmental Accounting Standards Board, who considers it to be an essential part of financial reporting for placing the basic financial statements in an appropriate operational, economic, or historical context. We have applied certain limited procedures to the MD&A and the budgetary comparison information in accordance with auditing standards generally accepted in the United States of America, which consisted of inquiries of management about the methods of preparing the information and comparing the

The Honorable Members of the City Council
Ocala Community Redevelopment Agency
Ocala, Florida

INDEPENDENT AUDITOR'S REPORT

information for consistency with management's responses to our inquiries, the basic financial statements, and other knowledge we obtained during our audit of the basic financial statements. We do not express an opinion or provide any assurance on the MD&A and the budgetary comparison information because the limited procedures do not provide us with sufficient evidence to express an opinion or provide any assurance.

Other Reporting Required by *Government Auditing Standards*

In accordance with *Government Auditing Standards*, we have also issued our report dated March 26, 2025, on our consideration of the CRA's internal control over financial reporting and on our tests of its compliance with certain provisions of laws, regulations, contracts and grant agreements, and other matters. The purpose of that report is solely to describe the scope of our testing of internal control over financial reporting and compliance and the results of that testing and not to provide an opinion on the effectiveness of the CRA's internal control over financial reporting or on compliance. That report is an integral part of an audit performed in accordance with *Government Auditing Standards* in considering the CRA's internal control over financial reporting and compliance.

Purvis Gray

March 26, 2025
Ocala, Florida

**OCALA COMMUNITY REDEVELOPMENT AGENCY
CITY OF OCALA, FLORIDA
MANAGEMENT'S DISCUSSION AND ANALYSIS
SEPTEMBER 30, 2024**

This supplement to the Independent Auditor's Report and Financial Statements has been developed in accordance with Governmental Accounting Standards Board Statement No. 34. It is intended to provide the readers of this report with a general overview of the financial activities of the Ocala Community Redevelopment Agency (the CRA). The CRA provides the following discussion and analysis of the CRA's financial activities for the fiscal year ended September 30, 2024. Management's Discussion and Analysis is designed to: (a) assist the reader to focus on significant financial issues, (b) provide an overview of the CRA's financial activities, (c) identify changes in the CRA's financial position, (d) identify material deviations from the financial plan, and (e) identify individual fund issues or concerns. We encourage readers to consider the information presented here in conjunction with the CRA's financial statements.

The CRA

The CRA is comprised of four subareas: Downtown, North Magnolia, West Ocala, and East Ocala. The CRA was created pursuant to Chapter 163.356, Florida Statutes, City Ordinance 2009, and City Resolutions 88-37, 88-52, and 89-44. The West Ocala and East Ocala subareas were created by the revised City Ordinance 2016-2 and City Resolutions 2016-1 and 2016-4. The Governing Board of the CRA is the City Council (the Council). The City of Ocala, Florida (the City) is responsible for the CRA's operations; therefore, the City exercises significant influence over its operations and fiscal management. The CRA is considered a component unit for financial reporting purposes and is presented as a blended major governmental fund within the City's overall basic financial statements.

The financial statements are presented for the purpose of complying with state law, specifically Florida Statutes, Section 163.387(8)(a), which requires separate audited financial statements for each Ocala Community Redevelopment Agency that has revenues or expenditures that exceed \$100,000.

Financial Highlights

- The assets of the CRA exceeded its liabilities at the close of the most recent fiscal year by \$5,110,233.
- The CRA's fund balance increased by \$3,375,511 as a result of 2024 operations.
- Revenues for fiscal year 2024 were \$2,528,453, while expenditures totaled \$1,650,123. In addition, the CRA transfers funds to the City's general fund to cover the payroll-related expenditures and liabilities, which are allocated to the CRA based on the actual work performed by the City employees. Transfers for fiscal year 2024 totaled \$91,573.
- For the period ended September 30, 2024, actual revenues were more than budgeted revenues by \$863,227, while actual expenditures were \$7,561,851 less than budgeted expenditures.

Overview of the Financial Statements

This discussion and analysis is intended to serve as an introduction to the CRA's basic financial statements, which are comprised of the following four (4) components:

- Government-Wide Financial Statements
- Fund Financial Statements
- Notes to the Financial Statements
- Required Supplementary Information

Government-Wide Financial Statements

The *government-wide financial statements* are designed to provide readers with a broad overview of the CRA's finances, in a manner similar to a private-sector business.

**OCALA COMMUNITY REDEVELOPMENT AGENCY
CITY OF OCALA, FLORIDA
MANAGEMENT'S DISCUSSION AND ANALYSIS
SEPTEMBER 30, 2024**

The *Statement of Net Position* presents financial information on all of the CRA's assets and liabilities, with the difference reported as net position. Over time, increases or decreases in net position may serve as a useful indicator of whether the financial position of the CRA is improving or deteriorating.

The *Statement of Activities* presents information showing how the CRA's net position changed during the most recent fiscal year. All changes in net position are reported as soon as the underlying event giving rise to the change occurs, *regardless of the timing of related cash flows*. Thus, revenues and expenses are reported for some items that will only result in cash flows in future fiscal periods.

The government-wide financial statements listed above distinguish functions of the CRA that are principally supported by ad-valorem taxes and intergovernmental revenues (*governmental activities*) from other functions that are intended to recover all, or a significant portion, of their costs through user fees and charges (*business-type activities*). The governmental activity of the CRA is community redevelopment.

The government-wide financial statements include only the activities of the CRA. However, the CRA is considered a blended component unit the City and, as such, the financial information of the CRA is included in the City's Annual Comprehensive Financial Report for each fiscal year.

Fund Financial Statements

A *fund* is a grouping of related accounts that is used to maintain control over resources that have been segregated for specific activities or objectives. The CRA uses fund accounting to ensure and demonstrate compliance with finance-related legal requirements.

Governmental Funds

Governmental funds are used to account for essentially the same functions reported as *governmental activities* in the government-wide financial statements. However, unlike the government-wide financial statements, governmental fund financial statements focus on *near-term inflows and outflows of spendable resources*, as well as on *balances of spendable resources* available at the end of the fiscal year. Such information may be useful in evaluating the CRA's *near-term* financing requirements.

Because the focus of governmental funds is narrower than that of the government-wide financial statements, it is useful to compare the information presented for *governmental funds* with similar information presented for *governmental activities* in the government-wide financial statements. By doing so, readers may better understand the long-term impact of the CRA's *near-term* financing decisions. Both the governmental fund balance sheet and the governmental fund statement of revenues, expenditures, and changes in fund balance provide a reconciliation to facilitate this comparison between *governmental funds* and *governmental activities*.

Special Revenue Funds

Special revenue funds are used to account for and report the proceeds of specific revenue sources that are restricted or committed to expenditures for specified purposes other than debt service or capital projects. The CRA's expendable financial resources and the related liabilities are accounted for through a special revenue fund.

**OCALA COMMUNITY REDEVELOPMENT AGENCY
CITY OF OCALA, FLORIDA
MANAGEMENT'S DISCUSSION AND ANALYSIS
SEPTEMBER 30, 2024**

Restricted Fund Balance

Fund balance should be reported as *restricted* when constraints are placed on the use of resources such as enabling legislation, which authorizes the government to access, levy, charge, or otherwise mandate payment of resources.

Notes to the Financial Statements

The notes provide additional information that is essential to a full understanding of the data provided in the government-wide and fund financial statements.

Required Supplementary Information

Included in this section of the report is the Budgetary Comparison Schedule.

Government-Wide Financial Analysis

Statement of Net Position

As noted earlier, net position may serve over time as a useful indicator of the CRA's financial position. In the case of the CRA, assets exceeded liabilities by \$5,110,233 (net position) as of the close of the most recent fiscal year, an increase of \$3,375,511 compared to the prior year. This increase was primarily due to significant budgeted project expenditures not occurring in the prior year.

The following table reflects a summary of the *Statement of Net Position* for the current and prior year:

Ocala Community Redevelopment Agency		
	2024	2023
Assets		
Equity in Pooled Cash and Investment Fund	\$ 11,156,930	\$ 8,144,131
Accrued Interest Receivable	44,855	23,941
Prepays	395	1,435
Total Assets	11,202,180	8,169,507
Liabilities and Fund Balances		
Liabilities		
Accounts Payable and Accrued Liabilities	91,947	34,785
Due to Primary Government	400,000	400,000
Interfund Advances Payable to Primary Government	5,600,000	6,000,000
Total Liabilities	6,091,947	6,434,785
Net Position		
Restricted	7,063,236	5,541,151
Unrestricted	(1,953,003)	(3,806,429)
Total Net Position	\$ 5,110,233	\$ 1,734,722

**OCALA COMMUNITY REDEVELOPMENT AGENCY
CITY OF OCALA, FLORIDA
MANAGEMENT'S DISCUSSION AND ANALYSIS
SEPTEMBER 30, 2024**

Statement of Activities

The following table reflects the *Statement of Activities* for the current and prior year:

	2024	2023
Ocala Community Redevelopment Agency		
Revenues		
Property Tax	\$ 1,665,227	\$ 1,268,761
Investment Income (Loss)	843,231	315,911
Miscellaneous	19,995	70,216
Total Revenues	2,528,453	1,654,888
Expenses		
Current:		
Economic Environment	596,223	329,183
Total Expenses	596,223	329,183
Excess of Revenues Over Expenses	1,932,230	1,325,705
Transfers and Capital Contributions		
Transfers In from Primary Government	2,588,754	1,957,175
Transfers Out to Primary Government	(91,573)	(79,161)
Capital Outlay Contributed to Primary Government	(1,053,900)	(320,302)
Total Transfers and Capital Contributions	1,443,281	1,557,712
Net Change in Net Position	3,375,511	2,883,417
Net Position, Beginning of Year	1,734,722	(1,148,695)
Net Position, End of Year	\$ 5,110,233	\$ 1,734,722

As of the end of the fiscal year 2024, the CRA's net position was \$5,110,233, an increase of \$3,375,511 from the prior year. This increase was attributed to various construction projects that were expected, but the related expenses did not occur yet in the current year and are expected to be completed in future years.

Financial Analysis of the CRA's Funds

Governmental Funds

The focus of the CRA's *governmental funds* is to provide information on *near-term* inflows, outflows, and balances of *spendable resources*. Such information is useful in assessing the CRA's financing requirements. In particular, *unassigned fund balance* may serve as a useful measure of a government's net resources available for spending at the end of the fiscal year.

The CRA's fund balance of \$7,062,841 is restricted for redevelopment projects within the CRA district. Additionally, \$395 is reported as non-spendable. The deficit fund balance of \$1,953,003 is unrestricted.

Property taxes totaling \$4,253,981 represented approximately 83% of all revenues. This amount includes both Marion County and the City's portion of the tax increment financing revenues, which amounts to \$1,665,227 and \$2,588,754, respectively. Property tax revenue increased \$1,028,045, or 32% from the previous year. The increase in tax increment financing revenues received by the CRA in the current year resulted from increased property values within the CRA district.

**OCALA COMMUNITY REDEVELOPMENT AGENCY
CITY OF OCALA, FLORIDA
MANAGEMENT'S DISCUSSION AND ANALYSIS
SEPTEMBER 30, 2024**

Capital Assets and Debt Administration

The CRA's capital assets are considered to be property of the City and, therefore, are included as capital assets in the City's government-wide financial statements. Capital asset activity for the year ended September 30, 2024, can be found in the City's audited financial statements.

The CRA has two interfund advances payable, involving the West Ocala and Downtown subareas and multiple funds of the City. The interfund advances payable are related to redevelopment projects within each subarea's boundaries. Additionally, both interfund advances payable were approved through City Budget Resolutions. For further detail regarding the CRA's interfund advances payable, see Note 5.

Budgetary Highlights

An annual budget is prepared for the CRA and approved by the Council and adopted through a Budget Resolution. The legal level of control is maintained at the fund level. During 2024, the Council approved a supplemental budget appropriation to provide for unanticipated requirements of the period. This appropriation caused an increase from the original budget of \$5,427,192 for expenditures, and a decrease of \$82,690 for total revenues. Budget appropriations may not be legally exceeded on a fund basis. Appropriations lapse at the end of the fiscal year. The budget is adopted on a basis consistent with generally accepted accounting principles.

Economic Factors and Future Developments

The CRA will continue to plan projects and infrastructure improvements that align with its redevelopment priorities for the designated subareas within the district. The CRA will continue to implement the community's shared development goals through its redevelopment strategies and critical tasks.

Request for Information

This financial information is designed to present users with a general overview of the CRA's finances for all those with an interest in its finances. Questions concerning any of the information provided in this report or requests for additional financial information should be addressed to the Finance Department, 201 SE 3rd Street, Ocala, Florida 34471, or telephone (352) 629-2489.

FINANCIAL STATEMENTS

OCALA COMMUNITY REDEVELOPMENT AGENCY
STATEMENT OF NET POSITION AND GOVERNMENTAL FUND BALANCE SHEET
SEPTEMBER 30, 2024

	Special Revenue Fund	Adjustments (Note 2)	Statement of Net Position
Assets			
Equity in Pooled Cash and Investment Fund	\$ 11,156,930	\$ -	\$ 11,156,930
Accrued Interest Receivable	44,855	-	44,855
Prepays	395	-	395
Total Assets	<u>11,202,180</u>	<u>-</u>	<u>11,202,180</u>
Liabilities			
Accounts Payable and Accrued Liabilities	49,326	-	49,326
Due to Primary Government	400,000	-	400,000
Interfund Advances Payable to Primary Government	5,600,000	-	5,600,000
Retainage on Contracts	42,621	-	42,621
Total Liabilities	<u>6,091,947</u>	<u>-</u>	<u>6,091,947</u>
Fund Balance			
Non-Spendable	395	(395)	-
Restricted	7,062,841	(7,062,841)	-
Unassigned	(1,953,003)	1,953,003	-
Total Fund Balance	<u>5,110,233</u>	<u>(5,110,233)</u>	<u>-</u>
Total Liabilities and Fund Balance	<u>\$ 11,202,180</u>		
Net Position			
Restricted for:			
Community Redevelopment Projects		7,063,236	7,063,236
Unrestricted		(1,953,003)	(1,953,003)
Total Net Position		<u>\$ 5,110,233</u>	<u>\$ 5,110,233</u>

See accompanying notes.

OCALA COMMUNITY REDEVELOPMENT AGENCY
STATEMENT OF ACTIVITIES AND GOVERNMENTAL FUND STATEMENT OF REVENUES,
EXPENDITURES, AND CHANGES IN FUND BALANCE
SEPTEMBER 30, 2024

	<u>Special Revenue Fund</u>	<u>Adjustments (Note 2)</u>	<u>Statement of Activities</u>
Revenues			
Property Taxes	\$ 1,665,227	\$ -	\$ 1,665,227
Investment Income	843,231	-	843,231
Miscellaneous	19,995	-	19,995
Total Revenues	<u>2,528,453</u>	<u>-</u>	<u>2,528,453</u>
Expenditures/Expenses			
Current:			
Economic Environment	516,223	-	516,223
Capital Outlay	1,053,900	(1,053,900)	-
Debt Service:			
Interest	80,000	-	80,000
Total Expenditures/Expenses	<u>1,650,123</u>	<u>(1,053,900)</u>	<u>596,223</u>
Excess of Revenue Over Expenditures/Expenses	<u>878,330</u>	<u>1,053,900</u>	<u>1,932,230</u>
Other Financing Sources (Uses)			
Capital Outlay Contributed to Primary Government	-	(1,053,900)	(1,053,900)
Transfers In from Primary Government	2,588,754	-	2,588,754
Transfers Out to Primary Government	(91,573)	-	(91,573)
Total Other Financing Sources (Uses)	<u>2,497,181</u>	<u>(1,053,900)</u>	<u>1,443,281</u>
Net Change in Fund Balance/Net Position	3,375,511	-	3,375,511
Fund Balance/Net Position, Beginning of Year	<u>1,734,722</u>	<u>-</u>	<u>1,734,722</u>
Fund Balance/Net Position, End of Year	<u>\$ 5,110,233</u>	<u>\$ -</u>	<u>\$ 5,110,233</u>

See accompanying notes.

NOTES TO FINANCIAL STATEMENTS
OCALA COMMUNITY REDEVELOPMENT AGENCY
OCALA, FLORIDA
SEPTEMBER 30, 2024

Note 1 - Summary of Significant Accounting Policies

The Ocala Community Redevelopment Agency's (the CRA) financial statements are prepared in accordance with generally accepted accounting principles, as applicable to governments. The following is a summary of the more significant policies:

Reporting Entity

The CRA was created pursuant to Chapter 163.356, Florida Statutes, City Ordinance 2009, and City Resolutions 88-37, 88-52, and 89-44. The West Ocala and East Ocala subareas were created by the revised City Ordinance 2016-2 and City Resolutions 2016-1 and 2016-4. The purpose of the CRA is to establish the redevelopment priorities and carry out the activities for the designated geographic boundaries within the CRA subareas. The Governing Board of the CRA is the City Council (the Council). The City of Ocala, Florida (the City) is responsible for the CRA's operations; therefore, the City exercises significant influence over its operations and fiscal management. The CRA is considered a component unit for financial reporting purposes and is presented as a blended major governmental fund within the City's overall basic financial statements.

Financial Statements

The financial statements are presented for the purpose of complying with state law, specifically Florida Statutes, Section 163.387(8)(a), which requires separate audited financial statements for each Community Redevelopment Agency that has revenues or expenditures that exceed \$100,000.

Entity-wide financial statements are prepared at the City-wide level by the City and include the CRA. Copies of that report can be obtained from the City's Office of Budget and Finance.

Measurement Focus, Basis of Accounting, and Financial Statement Presentation

Government-Wide Financial Statements

The government-wide financial statements are reported using the economic resources measurement focus and the accrual basis of accounting. Revenues are recorded when earned and expenses are recorded when a liability is incurred, regardless of the timing of the related cash flows. Property taxes are recognized as revenue in the year for which they are levied. Grants and similar items are recognized as revenue as soon as all eligibility requirements imposed by the provider have been met.

Fund Financial Statements

Governmental fund financial statements are reported using the current financial resources measurement focus and the modified accrual basis of accounting. Revenues are recognized as soon as they are both measurable and available. Revenues are considered to be available when they are collectible within the current period or soon enough thereafter to pay liabilities of the current period. For this purpose, the government considers revenues to be available if they are collected within 60 days of the end of the current fiscal period. Expenditures generally are recorded when a liability is incurred, as under accrual accounting, except for debt service expenditures, which are recorded only when payment is due.

Considering that the fund statements are presented on a different measurement focus and basis of accounting than the government-wide governmental activities column, a reconciliation is sometimes necessary to explain the adjustments needed to reconcile the fund based financial statements to the governmental activities column of the government-wide presentation.

NOTES TO FINANCIAL STATEMENTS
OCALA COMMUNITY REDEVELOPMENT AGENCY
OCALA, FLORIDA
SEPTEMBER 30, 2024

Tax increment financing revenue, when levied, for and interest associated with the current fiscal period, are both considered to be measurable and have been recognized as revenues of the current fiscal year, if available.

When both restricted and unrestricted resources are available for use, it is the CRA's policy to use restricted resources first, and then unrestricted resources as they are needed.

The special revenue fund is used to account for all financial resources received by the CRA. The special revenue fund serves as the primary operating fund of the CRA. The CRA does not have any non-major funds.

Budgetary Requirements

An annual budget is prepared for all funds of the City, including the CRA. The budget amounts presented in the accompanying financial statements are as originally adopted, or as legally amended, by the Council during the year ended September 30, 2024. The City Manager is authorized to transfer budgeted amounts within the fund; however, any budget amendments that alter the total expenditures of the fund must be approved by the Council. During 2024, the Council approved supplemental budget appropriations to provide for unanticipated requirements of the period. Budget appropriations may not be legally exceeded on a fund basis. Appropriations lapse at the end of each fiscal year. The budget is adopted on a basis consistent with generally accepted accounting principles. The budgetary comparisons reflect only those activities for which legally adopted budgets are prepared. For the year ended September 30, 2024, no expenditures exceeded the budget at the fund level for the CRA.

Assets, Liabilities, and Net Position

Equity in Pooled Cash and Investments

The CRA participates in the City's pooled cash investment fund, which allows the CRA to pool monies with the various funds of the City for investment purposes. Interest income earned as a result of pooling is allocated to the CRA based on its equity in the pool at the end of each month. All investments are stated at fair value, based on quoted market prices at the end of the fiscal year.

Capital Assets

Capital assets include property, plant, equipment, and infrastructure assets (e.g., roads, bridges, sidewalks, and similar items). The CRA's capital assets are considered to be property of the City and, therefore, are included as capital assets in the City's government-wide financial statements. Capital asset activity for the year ended September 30, 2024, can be found in the City's audited financial statements. As the capital assets are retained by the City, the CRA contributes capital to the general fund for capital outlay related to the CRA's redevelopment and infrastructure projects.

Interfund Activity and Contributions

During the course of normal operations, the CRA has various transactions with other funds. Interfund transactions are reflected as loans or transfers. Loans are reported as receivables and payables as appropriate and are subject to elimination upon consolidation. Interfund payables and receivables are non-interest bearing. Interfund advances are liquidated in accordance with the Council's resolution and

NOTES TO FINANCIAL STATEMENTS
OCALA COMMUNITY REDEVELOPMENT AGENCY
OCALA, FLORIDA
SEPTEMBER 30, 2024

may bear interest. All other interfund transactions are treated as transfers. Transfers between the CRA and other governmental or proprietary funds are netted as part of the City's reconciliation to the government-wide presentation. For further detail, see Note 5.

The CRA transfers funds to the general fund to cover a portion of payroll-related expenses and liabilities incurred by City employees for work performed for the CRA.

Capital outlay is contributed by the CRA to the general fund for capital outlay incurred for the CRA's redevelopment and infrastructure projects.

Nature and Purpose of the Fund Balance

In the fund financial statements, the governmental fund reports fund classifications that comprise a hierarchy based primarily on the extent to which the CRA is bound to honor constraints on the specific purposes for which amounts in the fund can be spent. Amounts that are restricted to specific purposes either by: a) constraints placed on the use of resources by creditors, grantors, contributors, or laws or regulations of other governments; or b) imposed by law through constitutional provisions or enabling legislation, are classified as restricted fund balances. Amounts that can only be used for specific purposes pursuant to constraints imposed by the Council through an ordinance or resolution are classified as committed fund balances. Amounts that are constrained by the CRA's intent to be used for specific purposes, but are neither restricted nor committed, are classified as assigned fund balances. Assignments are made by the Council or the City Manager. Non-spendable fund balances include amounts that cannot be spent because they are either: a) not in spendable form, or b) legally or contractually required to be maintained intact. Unassigned fund balance represents fund balance that is not restricted, committed, or assigned to specific purposes within the CRA.

Unspent tax increment financing revenues are restricted for future redevelopment projects and are reported as restricted fund balance in the financial statements. Unassigned fund balance, if any, represents fund balance that has not been restricted, committed, or assigned to specific purposes within the CRA.

Net Position

The government-wide statements utilized a net position presentation. Restricted net position are unspent tax increment financing revenues that are restricted for future redevelopment projects. Unrestricted net position represents the net position of the CRA that is not restricted for any project or purpose.

Other Significant Accounting Policies

Use of Estimates

The preparation of financial statements in conformity with generally accepted accounting principles requires management to make estimates and assumptions that affect the reported amounts of assets and liabilities and disclosure of contingent assets and liabilities at the date of the financial statements and the reported amounts of revenues and expenses during the reporting period. Actual results could differ from those estimates.

NOTES TO FINANCIAL STATEMENTS
OCALA COMMUNITY REDEVELOPMENT AGENCY
OCALA, FLORIDA
SEPTEMBER 30, 2024

Payroll-Related Expenses and Liabilities

The employees that manage or are involved in day-to-day operations of the CRA are employees of the City. The actual payroll-related expenses and liabilities of these employees are covered by the CRA through a transfer of funds to the general fund. The payroll expenses for the fiscal year ended September 30, 2024, are reported in the City's audited financial statements.

Note 2 - Explanation of Certain Differences Between the Government-Wide and Fund Financial Statements

Statement of Net Position and Governmental Fund Balance Sheet

The statement of net position and governmental fund balance sheet includes a reconciliation between fund balance - total governmental funds and net position of governmental activities as reported in the government-wide statement of net position.

Statement of Activities and Governmental Fund Statement of Revenues, Expenditures, and Changes in Fund Balance

The statement of activities and governmental fund statement of revenues, expenditures, and changes in fund balance includes a reconciliation between the capital outlay of the governmental fund and the capital outlay contributed to the primary government as reported in the government-wide statement of activities.

Note 3 - Cash, Cash Equivalents, and Investments

Equity in Pooled Cash and Investments

The CRA participates in the City's cash and investment pool. At September 30, 2024, the carrying amount of the CRA's deposits was \$11,156,930. The City's deposits, consisting of interest and non-interest-bearing accounts, are entirely insured by federal deposit insurance or by collateral held by the City's agent pursuant to the *Florida Security for Public Deposits Act* (the Act) as required by Chapter 280, Florida Statutes. Additionally, the City's deposits are held by a bank that qualifies as a public depository, pursuant to the same Act. All qualified public depositories must deposit with the State Treasurer eligible collateral in such amounts as required by the Act. Qualified public depositories are required to assume mutual responsibility against loss caused by default or insolvency of other qualified public depositories.

Cash equivalents consist of:

- Amounts placed with the State Board of Administration (SBA) for participation in the Local Government Surplus Funds Trust Fund are reported at net asset value (NAV). As of September 30, 2024, the Florida PRIME investment pool had a weighted average maturity of 39 days and is reported at amortized cost under Governmental Accounting Standards Board (GASB) Statement No. 79. There are no withdrawal restrictions, but the executive director may temporarily limit transactions for up to 48 hours in the event of liquidity or operational disruptions.

NOTES TO FINANCIAL STATEMENTS
OCALA COMMUNITY REDEVELOPMENT AGENCY
OCALA, FLORIDA
SEPTEMBER 30, 2024

- Investments in the Florida Fixed Income Trust (FL-FIT) and Florida Surplus Asset Fund Trust (FL SAFE) follow Florida Investment Statutes and aim to provide stable returns with low volatility. FL SAFE investments qualify for amortized cost measurement under GASB Statement No. 79 and are not subject to fair value hierarchy under GASB Statement No. 72. The Trustees may temporarily suspend redemptions under specific conditions, such as national emergencies or market disruptions, but this does not affect ownership or accrued interest. Participants may withdraw redemption requests or receive payment based on the post-suspension NAV.

Investments

The CRA's investments follow the City's investment guidelines, as defined by the City Ordinance and the written investment policy that is approved by the Council. The investment policy specifies limits by instrument and issuer (within instrument) and establishes a diversified investment strategy, minimum credit quality, and authorized institutions available as counterparties. Implementation and direction of investment strategies, within policy limits, are established by an internal investment committee and managed by external financial manager.

The fair values of the CRA's fixed maturity investments fluctuate in response to changes in market interest rates. Increases in prevailing interest rates generally translate into decreases in fair values of those instruments. Fair values of interest rate-sensitive instruments may also be affected by the credit worthiness of the issuer, prepayment options, relative values of alternative investments, the liquidity of the instrument, duration of the instrument, and other general market conditions.

A. Derivatives

The CRA has no derivative instruments in its portfolio at September 30, 2024. Pursuant to the City's investment policy guidelines, derivative instruments are authorized, but limited in use if only the Chief Financial Officer has sufficient understanding or expertise.

B. General Investment Guidelines

The City's comprehensive investment policy was adopted on December 8, 1992, and amended on September 5, 1995 and September 17, 2013. Pursuant to Section 218.415, the investment policy establishes permitted investments, asset allocation limits, issue limits, credit rating requirements, and maturity limits to protect the cash and investment assets. The City's investment policy allows for the following investments: local government investment pools, United States government securities, United States government agency securities, federal instrumentalities, interest bearing time certificates of deposit or saving accounts, repurchase agreements, commercial paper, bankers' acceptances, state and/or local government taxable and/or tax exempt debt, money market mutual funds, intergovernmental investment pools, corporate obligations or corporate notes, collateralized mortgage obligations, mortgage-backed securities, asset-backed securities, Yankee securities, Eurodollar securities, money market mutual funds, bond funds, and any investment security authorized by Florida Statute 218.415.

The City's investment policy also requires that investments be rated as follows: corporate notes, state and local government debt, general obligation or revenue bonds rated BBB by Standard & Poor's (S&P) or Moody's Rating Services (Moody's); commercial paper rated at least Prime-2 by Moody's or A-3 by S&P; mortgage and ABS rated AAA or equivalent by Moody's or S&P; or money market mutual funds comprised of only those investment instruments authorized in the policy. The City's policy does not require a minimum rating for U.S. Government securities, agencies, or federal instrumentalities.

NOTES TO FINANCIAL STATEMENTS
OCALA COMMUNITY REDEVELOPMENT AGENCY
OCALA, FLORIDA
SEPTEMBER 30, 2024

C. Third-Party Portfolio Managers

Pursuant to the City’s investment policy, third-party managers were set up in the following investment pool tiers:

- Pool I (short-term investments) duration of one to three years.
- Pool II (short intermediate investments) duration of one to five years.
- Pool III (intermediate investments) duration of one to ten years.

The City’s independent advisors provide performance measurement services, which: (a) compares individual manager performances to their respective monthly index, (b) compares manager performance to their respective industry peer group quarterly, and (c) reviews portfolio compliance. Each manager has a goal of exceeding their respective benchmark, net of fees, over a market cycle. Each manager has an individual policy limitation that, when combined, does not exceed 10% for each sector. The effective duration of the portfolio shall not exceed 120%, nor be less than 50% of the target benchmark.

The benchmarks for each portfolio were chosen to better reflect the investments held in the account. Pool I is measured against Bank of America Merrill Lynch 1-3 Year Unsubordinated U.S. Treasury/Agencies index, Pool II is benchmarked against Bank of America Merrill Lynch 1-5 Year Government/Corporate index, and Pool III is compared to the Bank of America Merrill Lynch 1-10 Year Domestic Master index.

Security Type	Average Rating	Fair Value	Effective Duration
Carrying Value of Cash	N/A	\$ 1,655,418	N/A
Treasury Investment Portfolio	AA+	5,720,667	2.66 years
SBA Florida PRIME	AAAm	1,646,833	81 days
FL-FIT	AAAf/S1	1,650,436	305 days
FL SAFE	AAAm	483,576	57 days
Total		<u><u>\$ 11,156,930</u></u>	1.43 years

The CRA utilizes “effective duration” as a measurement of interest rate risk and as of September 30, 2024, the Treasury investment portfolio had an overall effective duration of 1.43 years. The Treasury investment portfolio had the following investment types and effect duration presented in terms of years at September 30, 2024.

Security Type	Average Rating	Fair Value	Weighted Average Maturity Years
U.S. Treasury Bond/Note	AA+	\$ 2,409,039	2.5
Federal Agency Bond/Note	AA	286,941	0.69
Mortgage Backed Pass-Through Security	AA+	724,763	6.18
Corporate Notes	A+	1,851,239	1.81
ABS/CMBS	AAA	398,146	0.62
GSE Collateralized Mortgage Obligations	AA	5,755	0.00
Municipal Bond/Note	AA+	4,158	0.75
Money Market Mutual Fund	A-1	40,626	0.00
Total Treasury Portfolio - Pools I, II, and III		<u><u>\$ 5,720,667</u></u>	2.50

NOTES TO FINANCIAL STATEMENTS
OCALA COMMUNITY REDEVELOPMENT AGENCY
OCALA, FLORIDA
SEPTEMBER 30, 2024

D. Interest Rate Risk

Interest rate risk exists when there is a possibility that changes in interest rates could adversely affect an investment's fair value.

The City's investment policy sets limits for investment maturities to match known cash needs and anticipated cash flow requirements. Investments of bond reserves, construction funds, and other non-operating funds, "core funds," shall have a term appropriate to the need for the funds and in accordance with debt covenants, but in no event shall exceed seven years. No more than 50% of the City's total investment portfolio shall be placed in securities maturing more than three years.

E. Credit Risk

Credit risk is the risk that an issuer of a debt security will not fulfill its obligation to the holder of the investment. This risk is measured by the assignment of a rating to each debt security by a nationally recognized credit rating agency. The City's investment policy limits investments to those described above.

F. Custodial Credit Risk

For an investment, custodial credit risk is the risk that, in the event of the failure of the counterparty, the CRA will not be able to recover the value of its investments or collateral securities that are in the possession of an outside party.

The City's investment policy, pursuant to Section 218.415(18), Florida Statutes, requires securities, except for certificates of deposits, shall be held with a third-party custodian; and all securities purchased by, and all collateral obtained by the City should be properly designated as an asset of the City. The securities must be held in an account separate and apart from the assets of the financial institution. A third-party custodian is defined as any bank depository chartered by the federal government, the State of Florida, or by a national association organized and existing under the laws of the United States which is authorized to accept and execute trusts, and which is doing business in the State of Florida. Certificates of deposits will be placed in the provider's safekeeping department for the term of the deposit.

As of September 30, 2024, the CRA's investment portfolio was held with a third-party custodian as required by the City's investment policy.

G. Concentration of Credit Risk

Assets held are diversified to control the risk of loss resulting from over concentration of assets in a specific maturity, a specific issuer, a specific instrument, a class of instruments, or a dealer through whom these instruments are bought and sold.

The City's investment policy has established asset allocation and issuer limits on the following investments, which are designed to reduce concentration of credit risk of the CRA's investment portfolio and must be observed by investment managers.

NOTES TO FINANCIAL STATEMENTS
OCALA COMMUNITY REDEVELOPMENT AGENCY
OCALA, FLORIDA
SEPTEMBER 30, 2024

	Sector Allocations		Individual Issue/ Fund Limit
	Minimum	Maximum	
U.S. Treasury and Federal Agencies	35%	None	None
Corporate Debt Obligations	None	50%	5%
Mortgage/Asset Backed Securities	None	30%	5%
Municipal Securities	None	20%	5%
Certificates of Deposit	None	20%	5%
Repurchase Agreements	None	25%	15%
Local Government Investment Pools	None	25%	25%
Participation in Collateral or Otherwise			
Collateralized Debt Instruments (Issuer Level)	None	20%	5%
Participation in Collateral or Otherwise			
Collateralized Debt Instruments (Security Level)	None	None	5%
Money Market Mutual/Trust	None	30%	15%
Yankee and Euro Dollars Securities	None	15%	3%

As of September 30, 2024, the CRA's investment portfolio was in compliance with all diversification requirements of the City's investment policy.

H. Foreign Currency Risk

The CRA is not exposed to this type of risk.

I. Fair Value Measurement

The CRA measures and records its investments using fair value measurement guidelines established in accordance with GASB Statements. The GASB defines fair value as the price that would be received to sell an asset or paid to transfer a liability in an orderly transaction between market participants at the measurement date. The framework for measuring fair value provides a fair value hierarchy that prioritizes the inputs to valuation techniques.

These guidelines recognize a three-tiered fair value hierarchy, in order of highest priority, as follows:

- **Level 1:** Investments whose values are based on unadjusted quoted prices for identical investments in active markets that the CRA has the ability to access.
- **Level 2:** Investments whose inputs – other than quoted market prices – are observable either directly or indirectly.
- **Level 3:** Investments whose inputs are unobservable.

The fair value measurement level within the fair value hierarchy is based on the lowest level of any input that is significant to the entire fair value measurement. Valuation techniques used should maximize the use of observable inputs and minimize the use of unobservable inputs. The CRA does not have any investments that are measured using Level 3 inputs.

NOTES TO FINANCIAL STATEMENTS
OCALA COMMUNITY REDEVELOPMENT AGENCY
OCALA, FLORIDA
SEPTEMBER 30, 2024

The following table summarizes the CRA’s investments within the fair value hierarchy at September 30, 2024:

	<u>Fair Value</u>	<u>Level 1</u>	<u>Level 2</u>
U.S. Treasury Bond/Note	\$ 2,409,039	\$ 2,409,039	\$ -
Federal Agency Bond/Note	286,941	-	286,941
Mortgage Backed Pass-Through Security	724,763	-	724,763
Corporate Notes	1,851,239	-	1,851,239
ABS/MBS	398,146	-	398,146
GSE Collateralized Mortgage Obligations	5,755	-	5,755
Municipal Bond/Note	4,158	-	4,158
Total Investments at Fair Value	<u>\$ 5,680,041</u>	<u>\$ 2,409,039</u>	<u>\$ 3,271,002</u>
Investment Measured at NAV			
Money Market Mutual Fund	40,626		
	<u>\$ 5,720,667</u>		

Debt securities categorized as Level 1 are valued based on prices quoted in active markets for those securities. Debt securities categorized as Level 2 are valued using a matrix pricing technique that values securities based on their relationship to benchmark quoted prices.

Note 4 - Tax Increment Financing Revenue

The CRA is primarily funded through tax increment financing revenue. The tax increment revenue is calculated by applying the adopted millage rate to the increase in current year taxable assessed valuations within the designated CRA districts, using the year in which they were established as the “base year.” The City and Marion County are required to contribute the following percentages of the incremental property taxes levied each year to the four subareas:

	<u>City of Ocala</u>	<u>Marion County</u>
Downtown	95%	95%
North Magnolia	95%	95%
West Ocala	75%	75%
East Ocala	75%	75%

Note 5 - Interfund Activity

As of the close of the most recent fiscal year, the CRA had three interfund advances payable. These advances, between the West Ocala subarea and the City’s General Fund, Water Resources Fund, and Electric Fund, were approved by Budget Resolution 2019-180 for the construction of the Ocala Community Center at Reed Place, which is located within the West Ocala subarea. Annual principal and interest payments of \$480,000 are to be made over 20 years at a 2% interest rate.

**NOTES TO FINANCIAL STATEMENTS
 OCALA COMMUNITY REDEVELOPMENT AGENCY
 OCALA, FLORIDA
 SEPTEMBER 30, 2024**

The following tables reflect the interfund advances payable and amounts due to the primary government for the current year:

Interfund Advances Payable to Primary Government

<u>Subarea</u>	<u>Project Description</u>	<u>September 30, 2024 Balance</u>	<u>Interest Rate</u>
West Ocala	Community Center Construction	\$ 5,600,000	2.0%
		<u>\$ 5,600,000</u>	

Due to Primary Government

<u>Subarea</u>	<u>Project Description</u>	<u>September 30, 2024 Balance</u>
West Ocala	Community Center Construction	\$ 400,000
		<u>\$ 400,000</u>

Note 6 - Deficit Net Position

As of September 30, 2024, the CRA had a deficit unrestricted net position of \$1,953,003. This is related to construction projects within the West Ocala Redevelopment subarea.

REQUIRED SUPPLEMENTARY INFORMATION

**OCALA COMMUNITY REDEVELOPMENT AGENCY
SCHEDULE OF REVENUES, EXPENDITURES, AND CHANGES IN
FUND BALANCE - BUDGET AND ACTUAL
SEPTEMBER 30, 2024**

	<u>Budgeted Amounts</u>		<u>Actual</u>	<u>Variance</u>
	<u>Original</u>	<u>Final</u>		
Revenues				
Property Taxes	\$ 1,747,915	\$ 1,665,226	\$ 1,665,227	\$ 1
Investment Income	-	-	843,231	843,231
Miscellaneous	-	-	19,995	19,995
Total Revenues	<u>1,747,915</u>	<u>1,665,226</u>	<u>2,528,453</u>	<u>863,227</u>
Expenditures				
Current:				
Economic Environment	1,074,782	3,028,003	516,223	2,511,780
Capital Outlay	2,230,000	5,703,971	1,053,900	4,650,071
Debt Service:				
Principal	400,000	400,000	-	400,000
Interest	80,000	80,000	80,000	-
Total Expenditures	<u>3,784,782</u>	<u>9,211,974</u>	<u>1,650,123</u>	<u>7,561,851</u>
Excess (Deficiency) of Revenues Over (Under) Expenditures	<u>(2,036,867)</u>	<u>(7,546,748)</u>	<u>878,330</u>	<u>8,425,078</u>
Other Financing Sources (Uses)				
Transfers In from Primary Government	2,576,207	2,568,755	2,588,754	19,999
Transfers Out to Primary Government	-	-	(91,573)	(91,573)
Total Other Financing Sources (Uses)	<u>2,576,207</u>	<u>2,568,755</u>	<u>2,497,181</u>	<u>(71,574)</u>
Net Change in Fund Balance	539,340	(4,977,993)	3,375,511	8,353,504
Fund Balances, Beginning of Year	<u>1,734,722</u>	<u>1,734,722</u>	<u>1,734,722</u>	<u>-</u>
Fund Balances, End of Year	<u>\$ 2,274,062</u>	<u>\$ (3,243,271)</u>	<u>\$ 5,110,233</u>	<u>\$ 8,353,504</u>

OTHER REPORTS

**INDEPENDENT AUDITOR'S REPORT ON INTERNAL CONTROL OVER FINANCIAL REPORTING
AND ON COMPLIANCE AND OTHER MATTERS BASED ON AN AUDIT OF FINANCIAL STATEMENTS
PERFORMED IN ACCORDANCE WITH GOVERNMENT AUDITING STANDARDS**

The Honorable Members of the City Council
Ocala Community Redevelopment Agency
Ocala, Florida

We have audited, in accordance with the auditing standards generally accepted in the United States of America and the standards applicable to financial audits contained in *Government Auditing Standards*, issued by the Comptroller General of the United States, the financial statements of the Ocala Community Redevelopment Agency (the CRA) as of and for the year ended September 30, 2024, and the related notes to the financial statements, which collectively comprise the CRA's financial statements and have issued our report thereon dated March 26, 2025.

Report on Internal Control Over Financial Reporting

In planning and performing our audit of the financial statements, we considered the CRA's internal control over financial reporting (internal control) as a basis for designing auditing procedures that are appropriate in the circumstances for the purpose of expressing our opinion on the financial statements, but not for the purpose of expressing an opinion on the effectiveness on the CRA's internal control. Accordingly, we do not express an opinion on the effectiveness of the CRA's internal control.

A *deficiency in internal control* exists when the design or operation of a control does not allow management or employees, in the normal course of performing their assigned functions, to prevent, or detect and correct, misstatements on a timely basis. A *material weakness* is a deficiency, or a combination of deficiencies, in internal control such that there is a reasonable possibility that a material misstatement of the entity's financial statements will not be prevented, or detected and corrected, on a timely basis. A *significant deficiency* is a deficiency, or a combination of deficiencies, in internal control that is less severe than a material weakness, yet important enough to merit attention by those charged with governance.

Our consideration of internal control over financial reporting was for the limited purpose described in the first paragraph of this section and was not designed to identify all deficiencies in internal control that might be material weaknesses or significant deficiencies. Given these limitations, during our audit we did not identify any deficiencies in internal control that we consider to be material weaknesses. However, material weaknesses or significant deficiencies may exist that have not been identified.

Report on Compliance and Other Matters

As part of obtaining reasonable assurance about whether the CRA's financial statements are free from material misstatement, we performed tests of its compliance with certain provisions of laws, regulations, contracts and grant agreements, non-compliance with which could have a direct and material effect on

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The Honorable Members of the City Council
Ocala Community Redevelopment Agency
Ocala, Florida

**INDEPENDENT AUDITOR'S REPORT ON INTERNAL CONTROL OVER FINANCIAL REPORTING
AND ON COMPLIANCE AND OTHER MATTERS BASED ON AN AUDIT OF FINANCIAL STATEMENTS
PERFORMED IN ACCORDANCE WITH *GOVERNMENT AUDITING STANDARDS***

the financial statements. However, providing an opinion on compliance with those provisions was not an objective of our audit and, accordingly, we do not express such an opinion. The results of our tests disclosed no instances of non-compliance that are required to be reported under *Government Auditing Standards*.

Purpose of this Report

The purpose of this report is solely to describe the scope of our testing of internal control and compliance and the results of that testing, and not to provide an opinion on the effectiveness of the CRA's internal control or on compliance. This report is an integral part of an audit performed in accordance with *Government Auditing Standards* in considering the CRA's internal control and compliance. Accordingly, this communication is not suitable for any other purpose.

Purvis Gray

March 26, 2025
Ocala, Florida

INDEPENDENT ACCOUNTANT'S REPORT ON COMPLIANCE WITH SECTIONS 163.387(6) AND (7), FLORIDA STATUTES

The Honorable Members of the City Council
Ocala Community Redevelopment Agency
Ocala, Florida

We have examined the Ocala Community Redevelopment Agency's (the CRA) compliance with the requirements of Sections 163.387(6) and (7), Florida Statutes, as of and for the year ended September 30, 2024, as required by Section 10.556(10)(f), *Rules of the Auditor General*. Management is responsible for the CRA's compliance with those requirements. Our responsibility is to express an opinion on the CRA's compliance based on our examination.

Our examination was conducted in accordance with attestation standards established by the American Institute of Certified Public Accountants. Those standards require that we plan and perform the examination to obtain reasonable assurance about whether the CRA complied, in all material respects, with the requirements referenced above. An examination involves performing procedures to obtain evidence about whether the CRA complied with the specific requirements. The nature, timing, and extent of procedures selected depend on our judgement, including an assessment of the risk of material non-compliance, whether due to fraud or error. We believe that the evidence we obtained is sufficient and appropriate to provide a reasonable basis for our opinion.

We are required to be independent and to meet our other ethical responsibilities in accordance with relevant ethical requirements relating to the engagement.

Our examination does not provide a legal determination on the CRA's compliance with specific requirements.

In our opinion, the CRA complied, in all material respects, with the aforementioned requirements for the year ended September 30, 2024.

This report is intended solely for the information and use of the Legislative Auditing Committee, members of the Florida Senate and the Florida House of Representatives, the Florida Auditor General, the CRA, its management, and the Council of Directors of the City of Ocala, Florida, and is not intended to be, and should not be, used by anyone other than these specified parties.

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March 26, 2025
Ocala, Florida

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INDEPENDENT ACCOUNTANT'S REPORT ON COMPLIANCE WITH SECTION 218.415, FLORIDA STATUTES

The Honorable Members of the City Council
Ocala Community Redevelopment Agency
Ocala, Florida

We have examined the Ocala Community Redevelopment Agency's (the CRA) compliance with the requirements of Section 218.415, Florida Statutes, as of and for the year ended September 30, 2024, as required by Section 10.556(10)(a), *Rules of the Auditor General*. Management is responsible for the CRA's compliance with those requirements. Our responsibility is to express an opinion on the CRA's compliance based on our examination.

Our examination was conducted in accordance with attestation standards established by the American Institute of Certified Public Accountants. Those standards require that we plan and perform the examination to obtain reasonable assurance about whether the CRA complied, in all material respects, with the requirements referenced above. An examination involves performing procedures to obtain evidence about whether the CRA complied with the specific requirements. The nature, timing, and extent of procedures selected depend on our judgement, including an assessment of the risk of material non-compliance, whether due to fraud or error. We believe that the evidence we obtained is sufficient and appropriate to provide a reasonable basis for our opinion.

We are required to be independent and to meet our other ethical responsibilities in accordance with relevant ethical requirements relating to the engagement.

Our examination does not provide a legal determination on the CRA's compliance with specific requirements.

In our opinion, the CRA complied, in all material respects, with the aforementioned requirements for the year ended September 30, 2024.

This report is intended solely for the information and use of the Legislative Auditing Committee, members of the Florida Senate and the Florida House of Representatives, the Florida Auditor General, the CRA, its management, and the City of Ocala City Council, Florida, and is not intended to be, and should not be, used by anyone other than these specified parties.

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March 26, 2025
Ocala, Florida

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MANAGEMENT LETTER

The Honorable Members of the City Council
Ocala Community Redevelopment Agency
Ocala, Florida

Report on the Financial Statements

We have audited the financial statements of the Ocala Community Redevelopment Agency (the CRA) as of and for the fiscal year ended September 30, 2024, and have issued our report thereon dated March 26, 2025.

Auditor's Responsibility

We conducted our audit in accordance with auditing standards generally accepted in the United States of America; the standards applicable to financial audits contained in *Government Auditing Standards*, issued by the Comptroller General of the United States; and Chapter 10.550, *Rules of the Auditor General*.

Other Reporting Requirements

We have issued our Independent Auditor's Report on Internal Control Over Financial Reporting and on Compliance and Other Matters Based on an Audit of Financial Statements Performed in Accordance with *Government Auditing Standards*; and Independent Accountant's Report on examination conducted in accordance with American Institute of Certified Public Accountants *Professional Standards*, AT-C Section 315, regarding compliance requirements in accordance with Chapter 10.550, *Rules of the Auditor General*. Disclosures in those reports and schedule, which are dated March 26, 2025, should be considered in conjunction with this management letter.

Prior Audit Findings

Section 10.554(1)(i)1., *Rules of the Auditor General*, requires that we determine whether or not corrective actions have been taken to address findings and recommendations made in the preceding annual financial audit report. There were no findings and recommendations made in the preceding annual financial audit report.

Official Title and Legal Authority

Section 10.554(1)(i)4., *Rules of the Auditor General*, requires that the name or official title and legal authority for the primary government be disclosed in the Management Letter, unless disclosed in the notes to the financial statements (see Note 1 of the CRA's financial statements as of and for the year ended September 30, 2024, for this information).

Financial Condition and Management

Sections 10.554(1)(i)5.a. and 10.556(7), *Rules of the Auditor General*, require us to apply appropriate procedures and communicate the results of our determination as to whether or not the CRA has met one or more of the conditions described in Section 218.503(1), Florida Statutes, and identify the specific condition(s) met. In connection with our audit, we determined that the CRA did not meet any of the conditions described in Section 218.503(1), Florida Statutes.

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The Honorable Members of the City Council
 Ocala Community Redevelopment Agency
 Ocala, Florida

MANAGEMENT LETTER

Pursuant to Sections 10.554(1)(i)5.b. and 10.556(8), *Rules of the Auditor General*, we applied financial condition assessment procedures. It is management’s responsibility to monitor the CRA’s financial condition, and our financial condition assessment was based in part on representations made by management and the review of financial information provided by same.

Section 10.554(1)(i)2., *Rules of the Auditor General*, requires that we communicate any recommendations to improve financial management. In connection with our audit, we did not have any such recommendations.

Property Assessed Clean Energy (PACE) Programs

As required by Section 10.554(1)(i)6.a., *Rules of the Auditor General*, the CRA states that a PACE program, authorized pursuant to Section 163.081 or Section 163.082, Florida Statutes, operated within the CRA’s geographical boundaries during the fiscal year under audit.

As required by Sections 10.554(1)(i)6.b. and 10.554(1)(i)6.c., *Rules of the Auditor General*, the following are the program administrators and their contact information:

Program Administrator	Address	Phone Number	Third-Party Administrators
Florida Green Finance Authority	2501A Burns Rd., Palm Beach Gardens, Florida 33410	(561) 630-4922	Petros Pace Finance, LLC 300 Colorado St., Ste 2000 Austin, Texas 78701 Attn: Tommie Deavenport, COO (512) 599-9037 Renew Financial Group LLC 555 12th St., Ste 1650, Oakland, California 94607 Attn: Todd Wodraska (844) 736-3934
Green Corridor Pace District	5385 North Nob Hill Rd., Sunrise, Florida 33351	(786) 271-9208	Ygrene Energy Fund 6303 Blue Lagoon Dr., Ste 400, Miami, Florida 33126 (866) 634-1358 Willdan Financial Services 2401 E Katella Ave., Ste 300, Anaheim, California 92806 (866) 807-6864

The Honorable Members of the City Council
 Ocala Community Redevelopment Agency
 Ocala, Florida

MANAGEMENT LETTER

Program Administrator	Address	Phone Number	Third-Party Administrators
Florida Development Finance Corp		(407) 712-6352	<p>Allectrify Colin Bishopp - CEO (202) 550-7570 colin@allectrify.com</p> <p>Fran Faulknor - CIO (240) 393-5569 fran@allectrify.com</p> <p>Aaron Jordan - Director (202) 550-7570 aaron@allectrify.com</p> <p>Colin Kalvas - Counsel (202) 550-7570 ckalvas@brickergraydon.com</p> <p>Bayview PACE Victoria DaSilva - Investment Associate victoriadasilva@bayview.com</p> <p>Danny Roberts - Asst. VP (844) 518-2343 dannyroberts@bayview.com</p> <p>Ebee Management Group Teresa Smith - Strategic Growth (419) 340-0420 tsmith@ebeeco.com</p> <p>Enhanced Capital Ian McCulley imcculley@enhancedcapital.com</p> <p>FBRT Green Capital, LLC Lain Gutierrez - Managing Director (212) 588-1420 l.gutierrez@benefitstreetpartners.com</p>

The Honorable Members of the City Council
 Ocala Community Redevelopment Agency
 Ocala, Florida

MANAGEMENT LETTER

Program Administrator	Address	Phone Number	Third-Party Administrators
Florida Development Finance Corp			<p>Forbright Bank Martin Gitlin - Attorney (203) 557-3894 martin@cleanenergycounsel.com</p> <p>Omayra Rodriguez - Director (301) 299-8810 orodriguez@forbrightbank.com</p> <p>Imperial Ridge Joel Poppert - Managing Director (303) 390-1655 jpoppert@imperialridgecap.com</p> <p>Kevin Morse - Managing Director (303) 390-1655 kmorse@imperialridgecap.com</p> <p>Lord Capital LLC Stephen Ceurvorst (212) 400-7150 sceurvorst@lordcap.com</p> <p>Joseph Lau - President (212) 400-7150 jlau@lordcap.com</p> <p>Nuveen Green Capital Robert Dimatteo (917) 968-0948 robert.dimatteo@nuveen.com</p> <p>Alicia Helgans (203) 875-9501 alicia.helgans@nuveen.com</p> <p>Tara Crotty (917) 208-4016 tara.crotty@nuveen.com</p>

The Honorable Members of the City Council
 Ocala Community Redevelopment Agency
 Ocala, Florida

MANAGEMENT LETTER

Program Administrator	Address	Phone Number	Third-Party Administrators
Florida Development Finance Corp			<p>PACE Equity Shay Harold (407) 227-4275 sharold@pace-equity.com</p> <p>PACE Loan Group Rafi Golberstein - CEO (612) 355-2606 rafi@paceloangroup.com</p> <p>Matthew McCormack - Junior Originator (612) 355-2630 matthew@paceloangroup.com</p> <p>Peachtree Group Robert Loeb (770) 299-2516 rloeb@stonehillsc.com</p> <p>Allison Neary (470) 298-3715 aneary@stonehillsc.com</p> <p>Petros PACE Finance John Gamm - VP Legal (512) 599-9027 john@petrospartners.com</p> <p>Andy Meyer - SVP (636) 577-0378 andy@petrospartners.com</p> <p>Poppy Bank Andrew Fuller (888) 636-9994 afuller@poppy.bank</p> <p>Rockwood Todd Velnosky - Principal (314) 380-5999 tvelnosky@rockwoodam.com</p>

The Honorable Members of the City Council
 Ocala Community Redevelopment Agency
 Ocala, Florida

MANAGEMENT LETTER

Program Administrator	Address	Phone Number	Third-Party Administrators
Florida Development Finance Corp			<p>Sustainable Equity, LLC Byron DeLear (314) 445-7911 byron@sustainableequity.org</p> <p>Twain Financial Partners Ammie Minton - Asst. Director (314) 300-4202 ammie.minton@twainfinancial.com</p> <p>Jela Dilber - Director (314) 300-4183 jela.dilber@twainfinancial.com</p>

Special District Component Units

Section 10.554(1)(i)5.c., *Rules of the Auditor General*, requires, if appropriate, that we communicate the failure of a special district that is a component unit of a county, municipality, or special district, to provide the financial information necessary for proper reporting of the component unit, within the audited financial statements of the county, municipality, or special district in accordance with Section 218.39(3)(b), Florida Statutes. In connection with our audit, we determined that all special district component units provided the necessary information for proper reporting in accordance with Section 218.39(3)(b), Florida Statutes.

As required by Section 218.39(3)(c), Florida Statutes, and Section 10.554(1)(i)7, *Rules of the Auditor General*, the CRA reported the following information that was not subject to auditing procedures:

- The total number of district employees compensated in the last pay period of the district’s fiscal year as 0.
- The total number of independent contractors to whom non-employee compensation was paid in the last month of the district’s fiscal year as 0.
- All compensation earned by or awarded to employees, whether paid or accrued, regardless of contingency as \$0.
- All compensation earned by or awarded to non-employee independent contractors, whether paid or accrued, regardless of contingency as \$0.
- Each construction project with a total cost of at least \$65,000 approved by the district that is scheduled to begin on or after October 1 of the fiscal year being reported, together with the total expenditures for such project as:

Projects	Proposed Budget	2024 Expenditures
Marion Heights Pavement Widening	\$ 805,005.00	\$ 538,415.83
Downtown Brewery Sidewalks/On-Street Parking	\$ 415,325.42	\$ 253,861.41
Forge Site Sidewalk	\$ 115,023.63	\$ 115,023.63

The Honorable Members of the City Council
Ocala Community Redevelopment Agency
Ocala, Florida

MANAGEMENT LETTER

- A budget variance based on the budget adopted under Section 189.016(4), Florida Statutes, before the beginning of the fiscal year being reported if the district amends a final adopted budget under Section 189.016(6), Florida Statutes; see schedule of Revenues, Expenditures, and Changes in Fund Balance - Budget and Actual as presented in the financial statements for the year ended September 30, 2024.

Additional Matters

Section 10.554(1)(i)3., *Rules of the Auditor General*, requires us to communicate non-compliance with provisions of contracts or grant agreements, or fraud, waste, or abuse, that has occurred or is likely to have occurred, that has an effect on the financial statements that is less than material but warrants the attention of those charged with governance. In connection with our audit, we did not note any such findings.

Purpose of this Letter

Our management letter is intended solely for the information and use of the Legislative Auditing Committee, members of the Florida Senate and the Florida House of Representatives, the Florida Auditor General, federal and other granting agencies, the Honorable Mayor, and City of Ocala City Council and management, and is not intended to be, and should not be, used by anyone other than these specified parties.

Purvis Gray

March 26, 2025
Ocala, Florida

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COMMUNICATION WITH THOSE CHARGED WITH GOVERNANCE

The Honorable Members of the City Council
Ocala Community Redevelopment Agency
Ocala, Florida

We have audited the financial statements of the governmental activities and the major fund of the Community Redevelopment Agency (the CRA), a component unit of the City of Ocala, Florida (the City) for the year ended September 30, 2024. Professional standards require that we provide you with information about our responsibilities under generally accepted auditing standards and *Government Auditing Standards*, as well as certain information related to the planned scope and timing of our audit. We have communicated such information in our required communication letter to you dated August 27, 2024. Professional standards also require that we communicate to you the following information related to our audit.

Significant Audit Matters

Qualitative Aspects of Accounting Practices

Management is responsible for the selection and use of appropriate accounting policies. The significant accounting policies used by the CRA are described in Note 1 to the financial statements. No new accounting policies were adopted, and the application of existing policies was not changed during the year ended September 30, 2024. We noted no transactions entered into by the CRA during the year for which there is a lack of authoritative guidance or consensus. All significant transactions have been recognized in the financial statements in the proper period.

Accounting estimates are an integral part of the financial statements prepared by management and are based on management's knowledge and experience about past and current events, and assumptions about future events. Certain accounting estimates are particularly sensitive because of their significance to the financial statements and because of the possibility that future events affecting them may differ significantly from those expected. No significant accounting estimates were noted during our audit.

The financial statement disclosures are neutral, consistent, and clear.

Difficulties Encountered in Performing the Audit

We encountered no significant difficulties in dealing with management in performing and completing our audit.

Corrected and Uncorrected Misstatements

Professional standards require us to accumulate all known and likely misstatements identified during the audit, other than those that are clearly trivial, and communicate them to the appropriate level of management. Management has corrected all such misstatements. In addition, none of the misstatements detected as a result of audit procedures and corrected by management were material, either individually or in the aggregate, to each opinion unit's financial statements taken as a whole.

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The Honorable Members of the City Council
Ocala Community Redevelopment Agency
Ocala, Florida

Disagreements with Management

For purposes of this letter, a disagreement with management is a financial accounting, reporting, or auditing matter, whether or not resolved to our satisfaction, that could be significant to the financial statements or the auditor's report. We are pleased to report that no such disagreements arose during the course of our audit.

Management Representations

We have requested certain representations from management that are included in the management representation letter dated March 26, 2025.

Management Consultations with Other Independent Accountants

In some cases, management may decide to consult with other accountants about auditing and accounting matters, similar to obtaining a "second opinion" on certain situations. If a consultation involves application of an accounting principle to the CRA's financial statements or a determination of the type of auditor's opinion that may be expressed on those statements, our professional standards require the consulting accountant to check with us to determine that the consultant has all the relevant facts. To our knowledge, there were no such consultations with other accountants.

Other Audit Findings or Issues

We generally discuss a variety of matters, including the application of accounting principles and auditing standards, with management each year prior to retention as the CRA's auditors. However, these discussions occurred in the normal course of our professional relationship and our responses were not a condition to our retention.

The following is an audit matter that we would like to bring to the attention of the CRA Board of Directors and management of the CRA:

- **Governmental Accounting Standards Board Statement No. 102, *Certain Risk Disclosures***, which will become effective for the year ending September 30, 2025. This statement requires a government to assess whether a concentration or constraint makes the primary government reporting unit or other reporting units that report a liability for revenue debt vulnerable to the risk of a substantial impact. Additionally, this statement requires a government to assess whether an event or events associated with a concentration or constraint that could cause the substantial impact have occurred, have begun to occur, or are more-likely-than-not to begin to occur within 12 months of the date the financial statements are issued.

Other Matters

We applied certain limited procedures on the required supplementary information (RSI) that supplements the basic financial statements. Our procedures consisted of inquiries of management regarding the methods of preparing the information and comparing the information for consistency with management's responses to our inquiries, the basic financial statements, and other knowledge we obtained during our audit of the basic financial statements. We did not audit the RSI and do not express an opinion or provide any assurance on the RSI.

The Honorable Members of the City Council
Ocala Community Redevelopment Agency
Ocala, Florida

Restriction on Use

This information is intended solely for the use of the Board of Directors and management of the CRA, and is not intended to be, and should not be, used by anyone other than these specified parties.

Purvis Gray

March 26, 2025
Ocala, Florida

Ocala Community Redevelopment Agency
City of Ocala, Growth Management Department

201 SE Third St., Second Floor
Ocala, Florida, 34471
cra@ocalafl.gov



Ocala

Legislation Text

110 SE Watula Avenue
Ocala, FL 34471

www.ocalafl.gov

File #: 2026-1100

Agenda Item #: 5b.

Submitted By: Edwin R. Carreras Rivera, Esq.

Presentation By: Roberto Ellis

Department: Growth Management

FORMAL TITLE:

Downtown Community Redevelopment Area Commercial Property Improvement Grant for property located at 343 NE First Avenue, in an amount not to exceed \$50,000

OCALA'S RELEVANT STRATEGIC GOALS:

Economic Hub,

PROOF OF PUBLICATION:

N/A

BACKGROUND

Program Objective

The Downtown Community Redevelopment Area (CRA) Commercial Property Improvement Grant supports interior renovations for business purposes, façade modernization, signage, awnings, ADA compliance, and other exterior improvements to enhance corridor vitality and attract business investment. Funding is provided through the CRA trust fund consistent with the adopted CRA Plan and Florida Statutes (Chapter 163, Part III).

Project Summary

Grant ID: CRA26-0010

Applicant: The Forge at Madison Commons, LLC

Address: 343 NE First Avenue

Parcel ID: 28234-010-00

Scope of Work: Renovation of three 40-foot shipping containers repurposed as permanent commercial units. The scope includes structural upgrades, replacement of façade materials, and installation of fixtures, furniture, and equipment to support food service operations. Each unit will also be updated to meet current building and fire code requirements, including enhancements to fire protection systems and life safety features.

Quote(s): Low Quote(s): \$165,371 High Quote(s): \$176,985

Recommended Grant Amount: \$50,000

Property Information

This property contains two commercial structures built in 1920. The larger building is being rehabilitated to accommodate multiple food-service tenants and office space. The owners acquired the property in July 2020 and have implemented plans to redevelop the entire site. The secondary building is being converted into a microbrewery. The property currently has a taxable value of \$810,781 and sits on a 2.64-acre lot. Its taxable value is expected to increase following reassessment once the significant capital investment is completed.

Maximum Grant Amount

The maximum grant amount is \$50,000, covering up to 50 percent of project costs. The attached grant framework outlines the elements of eligible work.

FINDINGS AND CONCLUSIONS

Eligibility Review

Staff verified the property location within the CRA, compliance with the program guide, and confirmed that work will begin after approval. The scope addresses conditions of blight and will contribute to the economic revitalization of Midtown Ocala. A prior redevelopment agreement for this property does not preclude the developer from applying for an additional commercial improvement grant.

The Forge - Redevelopment Project

The City previously identified this property as a catalytic site in the Midtown Master Plan, anticipating that its redevelopment would generate significant economic activity within the Community Redevelopment Area (CRA). In 2022, the City entered into a redevelopment agreement to support Phase 1 of the project, providing fee contributions, streetscape improvements, and a grant. In return, the applicant committed to a minimum investment of \$4 million. Phase 1 is complete, and preparations for opening are pending the completion of Phase 2, which was not subject to the terms of the agreement.

The improvements proposed in this application fall under Phase 2 and were not included in the original redevelopment agreement. The applicant plans to make additional investments to build out more food-service space for lease to small and emerging local businesses.

When complete, The Forge will function as a multi-venue food and entertainment destination that stimulates economic activity, supports community gathering, and strengthens the connection between Midtown Ocala and Tusawilla Park. The project enhances the district's appeal for residents and visitors, further contributing to growth and revitalization within the CRA.

Site Visit Review

Staff completed a site visit on April 6, 2026, and confirmed the scope and quotes. The proposed improvements will support the ongoing redevelopment and economic expansion at The Forge as part of a broader revitalization effort within the CRA. Staff observed that the scope of work is warranted given that:

- The Forge introduced additional restaurant and food service opportunities by installing three 40-foot shipping containers that were engineered and designed to serve as permanent, fixed commercial units. These containers have been welded to footer plates embedded in large concrete footings, establishing them as long-term structures intended to house new food offerings and generate fresh economic activity in the district.
- The application covers three units that are currently leased (Slider Shack, Ramen Noodles, and Pastry Planet). These units require substantial improvements to ensure safe, compliant, and functional

commercial use.

- By turning previously unused space into viable, code-compliant, fully built-out food service locations, this project directly contributes to economic development goals. It enhances the commercial offerings available to residents and visitors.

The buildout parameters for the containers are detailed in the Application Package attachments. These include architectural, structural, and engineering specifications that outline how each container is to be converted into a functional commercial space.

CRA Plan Compliance

The proposed project aligns with the Downtown CRA Redevelopment Plan, advancing goals to enhance the urban core, promote adaptive reuse, and improve public realm connectivity. In accordance with Strategy 4.1.4 - Facilitate adaptive re-use opportunities and the creation of flexible and convertible spaces in Downtown, and Strategy 6.2.8 - Enhance and promote the façade improvement and/or design assistance program to assist owners of existing structures in improving aesthetics and exterior function, collectively, this project will strengthen the district’s economic vitality and visual character. These investments will generate new economic activity, support multiple small businesses, and enhance the vibrancy and commercial diversity of the CRA area.

CRA Advisory Committee Recommendation:

This application is being taken directly to the CRA Board for review and consideration.

Staff Recommendation

Staff recommends approval.

FISCAL IMPACT:

Adequate funding is available in the Downtown CRA Grants account (621-016-012-559-55-82010).

PROCUREMENT REVIEW:

N/A

LEGAL REVIEW:

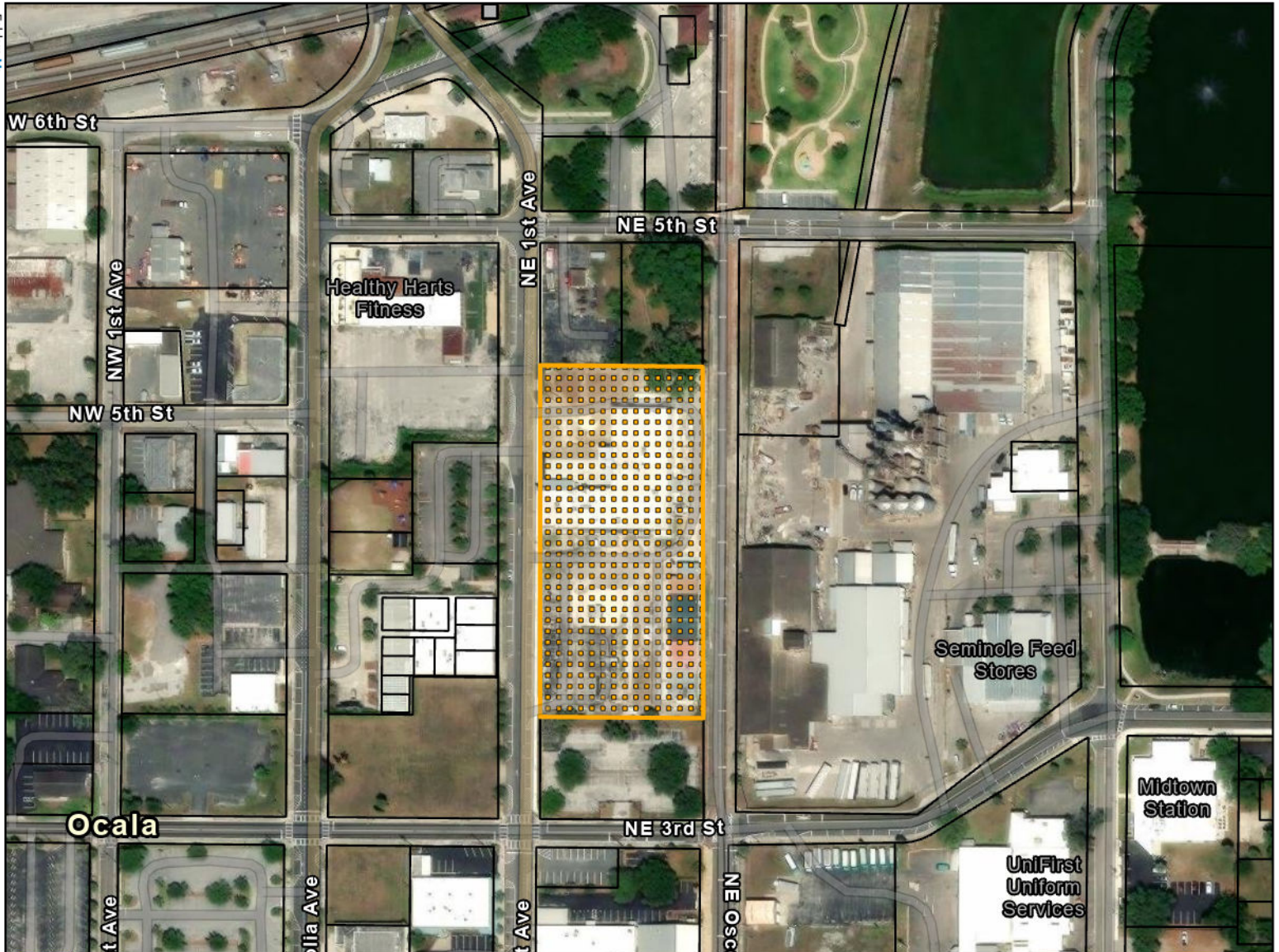
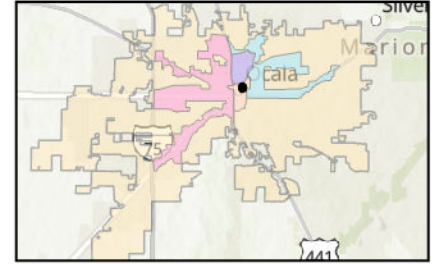
N/A



ALTERNATIVE:

- Approve
- Approve with Changes
- Table
- Deny

AERIAL MAP

Parcel: 28234-010-00
 Case Number: CRA26-0010
 Property Size: Approximately 2.64 acres
 CRA Location: Downtown Ocala
 Proposal: A Request for CRA fund use.



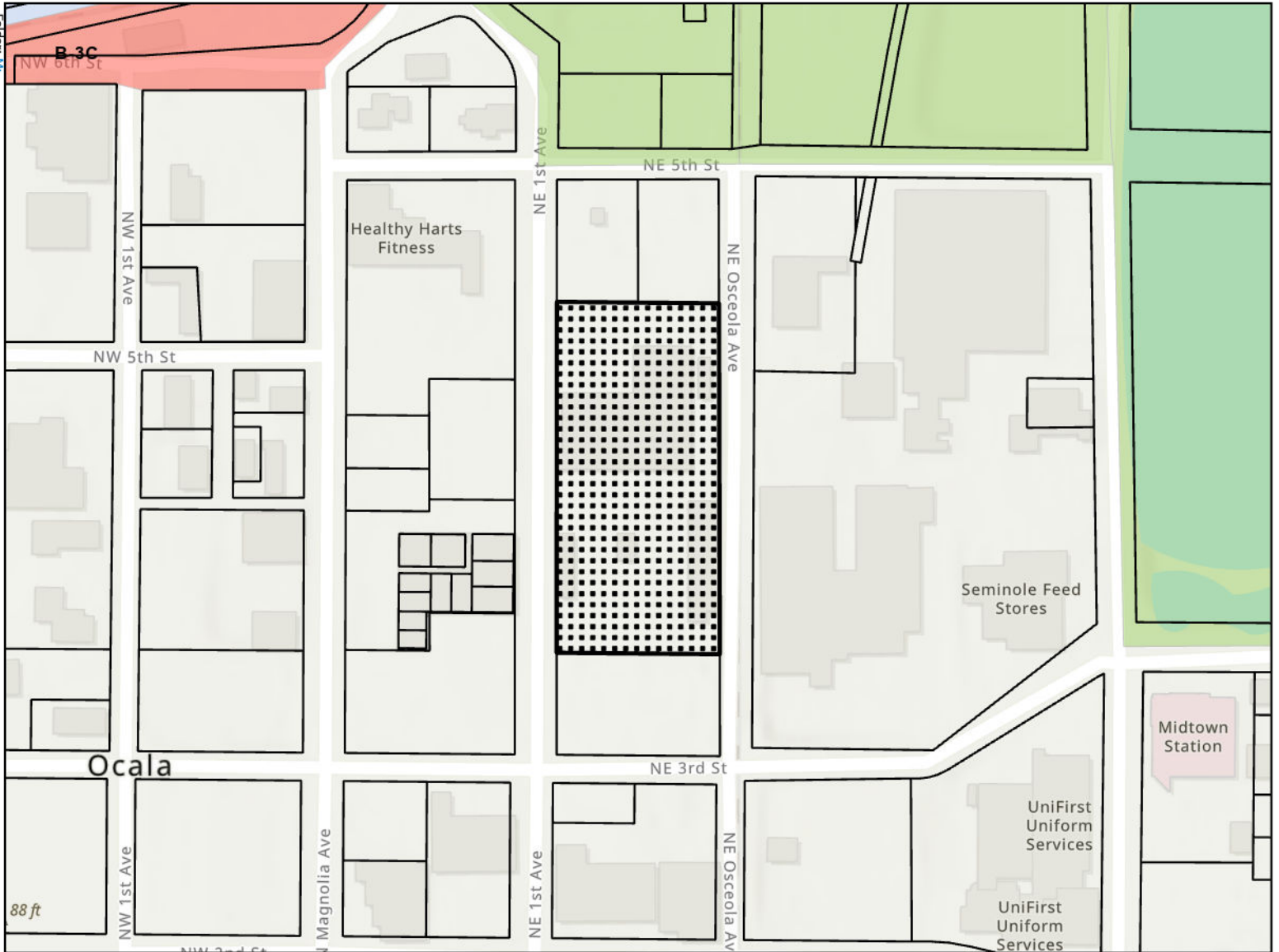
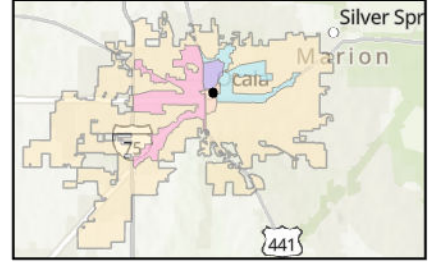
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-  Parcels



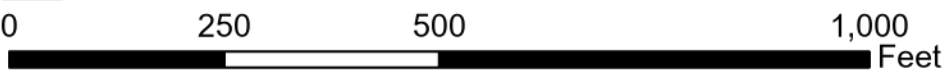
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CASE MAP

Parcel: 28234-010-00
Case Number: CRA26-0010
Property Size: Approximately 2.64 acres
CRA Location Proposal: Downtown Ocala
Proposal: A Request for CRA fund use.



- Parcels
- B-3C: CRA Mixed Use 2
- GU: Governmental Use
- M-1: Light Industrial
- Subject Property

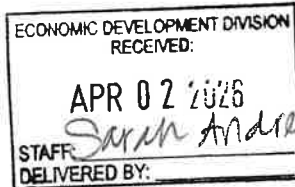


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APPLICATION PACKAGE



City of Ocala
 Growth Management Department
 201 S.E. 3rd Street, 2nd Floor
 352-629-8421 | www.ocalafl.gov



DATE SUBMITTED: 3/30/26
 GRANT ID: CRA26-0010
 (STAFF ONLY)

RESIDENTIAL
 COMMERCIAL

CRA GRANT APPLICATION

1. PROPERTY OWNER INFORMATION

Property Owner Name The Forge at Madison Commons, LLC
 Property Owner Mailing Address 343 NE 1st Avenue, Unit 5, Ocala, FL 34470 (28234-010-00)
 E-mail sheila.gibson88@yahoo.com Phone No. 352-581-9911
 Authorized Representative (If different from property owner) Joel Gibson
 E-mail joelgibson88@gmail.com Phone No. 352-581-9911

2. BUSINESS INFORMATION

REQUIRED FOR COMMERCIAL GRANTS PROGRAMS ONLY

Business Name The Forge
 Type of Business 343 NE 1st Ave., Unit 5, Ocala FL
 Business Address 343 NE 1st Ave., Unit 5, Ocala FL
 Business E-mail hello@theforgeocala.com Business Phone No. 352-230-9600
 Primary Contact (If different from applicant) Joel or Sheila Gibson
 How long has the business been at its current location? 3 Years
 If the business is a tenant, what are the start and end date of the lease? N/A

3. CRA SUBAREA

West Ocala East Ocala North Magnolia Downtown

4. PROGRAM TYPE

Residential Commercial Historic Building
 New Construction Incentive

APPLICANT MUST REVIEW PROGRAM GUIDE AND GRANT FRAMEWORK BEFORE SELECTING THE APPLICABLE PROGRAM TYPE

5. PROJECT DESCRIPTION

Project Site Address 343 NE 1st Ave, Unit 5, Ocala FL 34470 Parcel ID 28234-010-00
 Current Use of Property Restaurant/Retail/Entertainment Proposed Use Same
 Proposed Scope of Work (Attach additional sheets if needed)

Please make reference to the document attach titled: Community Redevelopment Agency (CRA Grant Application for The Forge

Explain your need for grant assistance and the expected benefits of your project (Attach additional sheets if needed)

See note above

RESIDENTIAL PROPERTIES ONLY

Rental Property Yes No Is this your primary residence? Yes No
 How long have your resided at the home? _____ What is the size of your household? _____

GRANT ID: _____

6. PROJECT COSTS

APPLICANT MUST SUBMIT TWO QUOTES FOR EACH WORK ITEM

Work Item 1 Kitchen Improvements-See Attached
Work Item 2 Interior and Exterior Restoration
Work Item 3 See Attached

High Quote 1: _____
High Quote 2: _____
High Quote 3: _____
Total: 0 _____

Low Quote 1: _____
Low Quote 2: _____
Low Quote 3: _____
Total: 0 _____

*IF MORE THAN 3 WORK ITEMS, ATTACH
ADDITIONAL SHEET

7. SCHEDULE

Start Date: 5/1/26

Estimated Time For Completion (Weeks/Months): 2 Months

8. APPLICATION CHECKLIST

- REVIEW OF APPROPRIATE GRANT PROGRAM FRAMEWORK (SEE PROGRAM GUIDE)
- COMPLETED APPLICATION
- APPLICANT/PROPERTY OWNER SIGNATURE AFFIXED
- PROOF OF PROPERTY OWNERSHIP
- PROOF OF CURRENT PROPERTY TAXES
- IMAGES OR SKETCHES OF PROPOSED DESIGNS, COLORS OR GRAPHICAL REPRESENTATIONS
- AT LEAST TWO QUOTES PROVIDED WITH AN ITEMIZED LIST OF COST ESTIMATES FROM VENDORS
- COLOR IMAGES OF EXISTING CONDITIONS OF THE BUILDING/PROJECT AREA

9. SUPPLEMENTAL INFORMATION

USE THIS SECTION TO PROVIDE ANY ADDITIONAL INFORMATION THAT MAY ASSIST IN THE REVIEW OF YOUR APPLICATION

We attached the following documents to the application:

- 1- 40' Container Shell (Anchorage) Blueprints
- 2- Pictures of the Containers (Permanent Structures)
- 3- Design of Heating and A/C for Containers
- 4-Property Tax Card

GENERAL TERMS AND CONDITIONS

It is expressly understood and agreed that the applicant shall be solely responsible for all safety conditions and compliance with all safety regulations, building codes, ordinances, and other applicable regulations.

It is expressly understood and agreed that the applicant will not seek to hold the City of Ocala, the Grant Review Committee (Committee) and/or its agents, employees, board members, officers and/or directors liable for any property damage, personal injury, or other loss relating in any way to the Program.


It is expressly understood and agreed that the applicant will hold harmless the City, its agents, officers, employees and attorneys for all costs incurred in additional investigation or study of, or for supplementing, redrafting, revising, or amending any document (such as an Environmental Impact Report, specific plan, or general plan amendment) if made necessary by said proceeding and if the applicant desires to pursue such approvals and/or clearances, after initiation of the proceeding, which are conditioned on the approval of these documents.

The applicant authorizes the City of Ocala to promote any approved project including but not limited to displaying a sign at the site, during and after construction, and using photographs and descriptions of the project in City of Ocala materials and press releases.

If the applicant fails to perform the work approved by the Community Redevelopment Agency Board, the City reserves the right to cancel the grant. The applicant also understands that any work started/completed before the application is approved by the Committee is done at their own risk, and that such work will jeopardize their grant award.

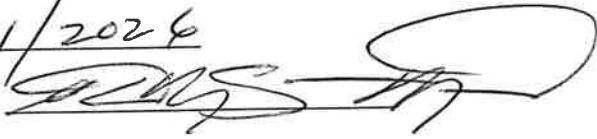
Completion of this application by the applicant DOES NOT guarantee that grant monies will be awarded to the applicant.

I certify that all of the foregoing information is accurate and that the work will be performed in accordance with the Program Guide and all applicable construction and zoning laws.

<p align="center">APPLICANT (PROPERTY OWNER/AUTHORIZED REPRESENTATIVE)</p>	<p align="center">OWNER APPROVAL FOR TENANT APPLICANT</p>
<p>I, <u>JOEL GIBSON</u>, property owner/authorized representative of the property at <u>343 NE 1ST AVE OCALA FL</u>, have read and understand the terms and conditions of the Program and agree to the general conditions and terms outlined in the application process and guidelines of the Program.</p> <p>SIGNATURE: <u></u> DATE: <u>3/29/26</u></p>	<p>I, _____, owner of the property at _____ have read and understand the terms and conditions of the Program and agree to the general conditions and terms outlined in the application process and guidelines of the Program. I give my consent to the applicant to move forward with improvements on the property as outlined in the Project Description section of this application.</p> <p>SIGNATURE _____ DATE _____</p>

FOR STAFF USE ONLY

- Is the property fully exempt from Marion County property taxes? Yes No
- Are property taxes paid and up to date? Yes No
- Is the property currently in condemnation or receivership? Yes No
- Is there an active City code enforcement case on the property? Yes No
- Is the building listed on the National Register of Historic Places? Yes No N/A
- Is this the first application submitted for the Fiscal Year? Yes No
- Is the property within the CRA subarea boundary? (Downtown) Yes No
- Was the proof of ownership verified? Yes No
- Is the applicant applying for the first time? Yes No
- Is the property zoned correctly? Yes No
- Does the business have an active business license? Yes No N/A
- Is the business/property owner registered in the State of Florida? Yes No N/A

Date Received: 3/31/2024
Signature (Staff Member): 

Project Site Address: 343 NE 1st Ave. Ocala, FL, 34470

Parcel ID: 28234-010-00

Current and Proposed Use of The Property: Restaurant/Retail/Entertainment for Midtown Ocala

Proposed Scope of Work and Need for Grant Assistance:

At The Forge we have plans to create additional restaurants through offering three 40 foot long shipping containers (Conex's) to create up to five separate, permanently fixed locations for food offerings (four 20'X8' units and one unit that is 40'X8'). By doing this, we hope to enhance the overall appeal of the facility and the midtown area, provide additional venues, and create opportunities for small businesses and start-ups to open in a cost-effective manner, thereby providing a stronger pathway to their success. This application is for three units that are currently leased and build out permits are being applied for. These units will be called 1) Slider Shack, 2) Ramen Noodles, and 3) Pastry Planet. These units are each 20'x8' and have specific buildout parameters as you will see when you review their plans.

The Conex units were engineered to be a permanent part of the site as they have been welded to footer plates embedded in large concrete footings. The design by Miles Christian Anderson is attached for you to review. Of course, one of the main goals of this project has been to bring the buildings into compliance with current building and fire codes.

Currently, the Conex's are in their permanent locations and the exterior has been painted. No further work has been done up to this point. We are in the process of submitting the drawings for the build out permits to the City and hope to begin creating the "cargo cuisine" area beginning in May 2026.

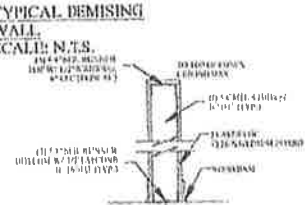
We are seeking this grant to help offset the costs of construction of this phase of our project. We are submitting for the buildout of two of the three containers, as we currently have these leased and drawings mostly completed. The third container will be built out after the drawings are completed later this summer. The entirety of The Forge project has almost tripled from the original cost estimates. To help bring this project to completion, we are seeking financial assistance through the CRA grant.

When completed, The Forge will be a multi-venue food and entertainment complex that will provide economic stimulation, community congregation, and a linkage between downtown Ocala and Tusawilla Park. We already have many start up, locally owned businesses leasing space from The Forge. We expect the facility will be a major asset for the City of Ocala, the community, and our business partners. Your consideration of our project as a candidate for this Grant is greatly appreciated.

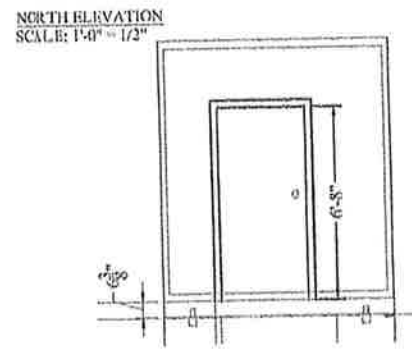
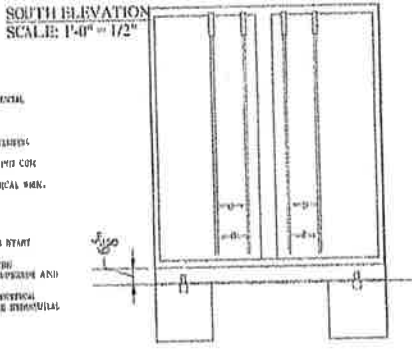
BUILDING CODES CRITERIA
 BUILDING CODE: 2008 FLORIDA BUILDING CODE, ALL EDITIONS
 ELECTRICAL CODE: 2008 FLORIDA ELECTRICAL CODE, ALL EDITIONS
 PLUMBING CODE: 2008 FLORIDA PLUMBING CODE-REVISIONS, ALL EDITIONS
 MECHANICAL CODE: 2008 FLORIDA MECHANICAL CODE-REVISIONS, ALL EDITIONS
 GAS CODE: 2008 FLORIDA BUILDING CODE-PLUMBING, GAS, AND MECHANICAL

GENERAL CONSTRUCTION NOTES
 NO-1 THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO PURCHASE OR START OF CONSTRUCTION.
 NO-2 THE GENERAL CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, THE WORK PERSONS, AND OTHER PEOPLE DURING CONSTRUCTION BY MEANS OF GUARDRAILS AND SAFETY NETS AND BE RESPONSIBLE FOR ALL CONSTRUCTION.
 NO-3 THE GENERAL CONTRACTOR SHALL OBTAIN ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR THE DESIGN, FABRICATION AND ERECTION OF STEEL FOR BUILDINGS INCLUDING: DIMENSIONS, SPECIFICATIONS FOR THE STRUCTURAL JOINTS UNDER ASTM A-360 BOLTS STRUCTURAL WELDED JOINTS AND D.I.I.
 ALL DIMENSIONS FOR THE DESIGN OF LIGHT GAUGE COLD FORMED STEEL ARE MECHANICAL PERM.

STRUCTURAL STEEL
 S-1 STEEL PIPE SHALL CONFORM TO THE AISC SPECIFICATIONS FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDING LATEST EDITION.
 S-2 STRUCTURAL WELDS SHALL CONFORM TO AISC-360 FLORIDA BUILDING CODE, ALL EDITIONS EXCEPT OTHERWISE NOTED.

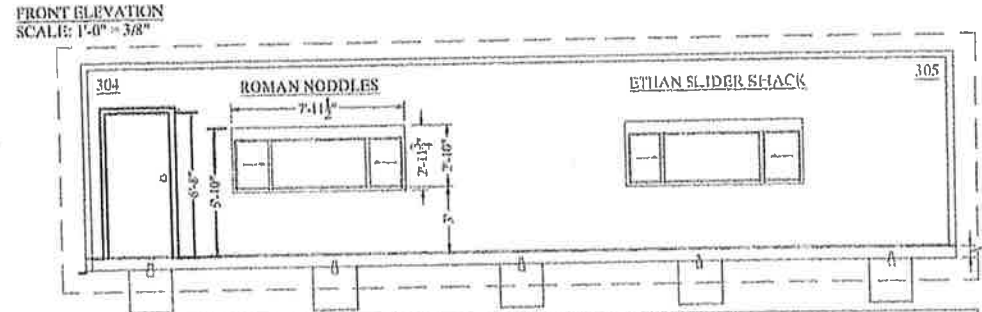


CONTRACTOR MAY USE 2X4 FRAMING IN PLACE OF LIGHTWEIGHT STEEL MATERIAL (SHOWN AT 10" OC); SINGLE 10" PLATE, SINK PLATE AND ANCHOR TO SLAB WITH 3" TAPCON AT 10" O.C.



ROMEN NODDLE & ETHAN SLIDER SHACK

FORGE - 40' CONTAINER - UNITS 304 & 305



"SLIDER SHACK & BURGER Cafe - ELECTRICAL SCHEDULE

ITEM NO.	QTY	EQUIPMENT CATEGORY	MANUFACTURER	MODEL NUMBER	AMPS	W	V	PHASE	TYPE	CONCAT	TRUSS	REMARKS
E-1	1	POWER CHASER	BY OWNER		5.4			1PH				NEW EQUIPMENT
E-2	1	STRENGTHY FLEXER	BY OWNER		6.8			1PH				NEW EQUIPMENT
E-3	2	FRESH COOL	BY OWNER									NEW EQUIPMENT
E-4	1	FLAT TOP FREEZER	BY OWNER									NEW EQUIPMENT
E-5	1	HAND WASH	BY OWNER									NEW EQUIPMENT
E-6	1	PREP SLIDER W/ SINK	VEVOR		8.4			1PH				NEW EQUIPMENT
E-7	2	PREP SLIDER W/ TABLE	VEVOR		8.4			1PH				NEW EQUIPMENT
E-8	1	TABLE & COOLER	VEVOR		8.4			1PH				NEW EQUIPMENT
E-9	1	ICE MACHINE	VEVOR COMMERCIAL		20			1PH				NEW EQUIPMENT
E-10	1	COFFEE MACHINE	VEVOR		0			1PH				NEW EQUIPMENT



LIFE SAFETY PLAN DISTANCES

TYPE	DISTANCE
EXIT	20'
STAIR	20'

ENGINEER'S NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA BUILDING CODE, ALL EDITIONS.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO PURCHASE OR START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, THE WORK PERSONS, AND OTHER PEOPLE DURING CONSTRUCTION BY MEANS OF GUARDRAILS AND SAFETY NETS AND BE RESPONSIBLE FOR ALL CONSTRUCTION.
4. THE CONTRACTOR SHALL OBTAIN ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR THE DESIGN, FABRICATION AND ERECTION OF STEEL FOR BUILDINGS INCLUDING: DIMENSIONS, SPECIFICATIONS FOR THE STRUCTURAL JOINTS UNDER ASTM A-360 BOLTS STRUCTURAL WELDED JOINTS AND D.I.I.
5. ALL DIMENSIONS FOR THE DESIGN OF LIGHT GAUGE COLD FORMED STEEL ARE MECHANICAL PERM.
6. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL JURISDICTION.
7. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
8. THE CONTRACTOR SHALL MAINTAIN ALL NECESSARY RECORDS AND DRAWINGS.
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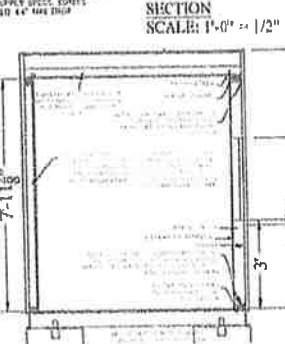
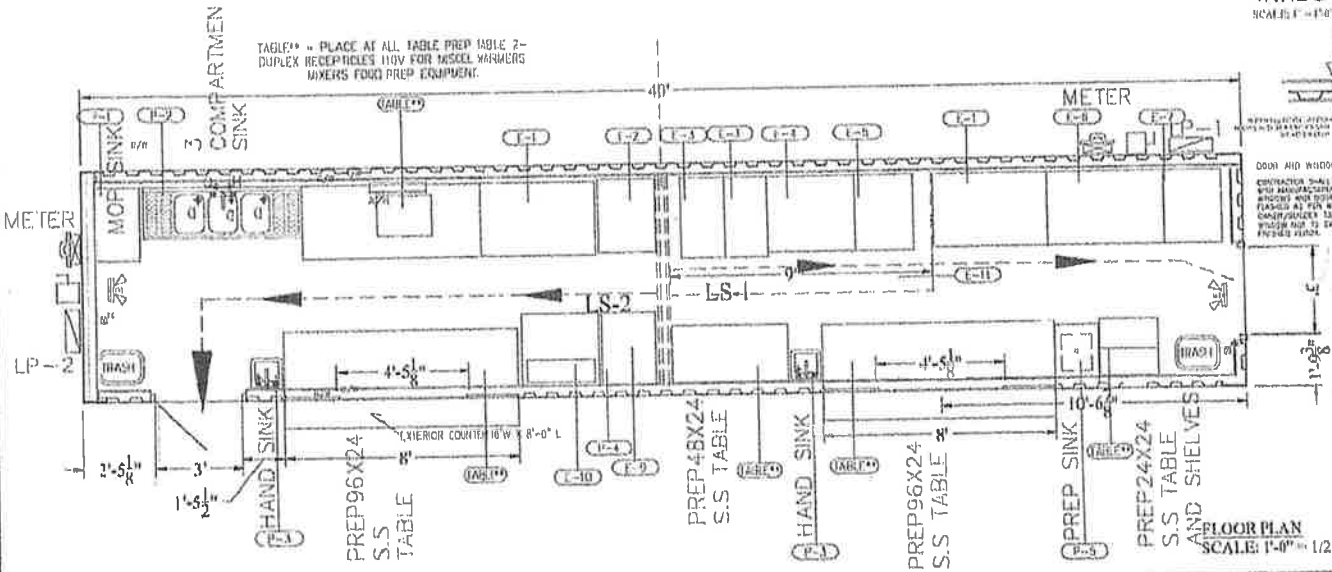
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Miles C Anderson
 Digitally signed by Miles C Anderson
 Date: 2026.03.19 11:04:27 -04'00'

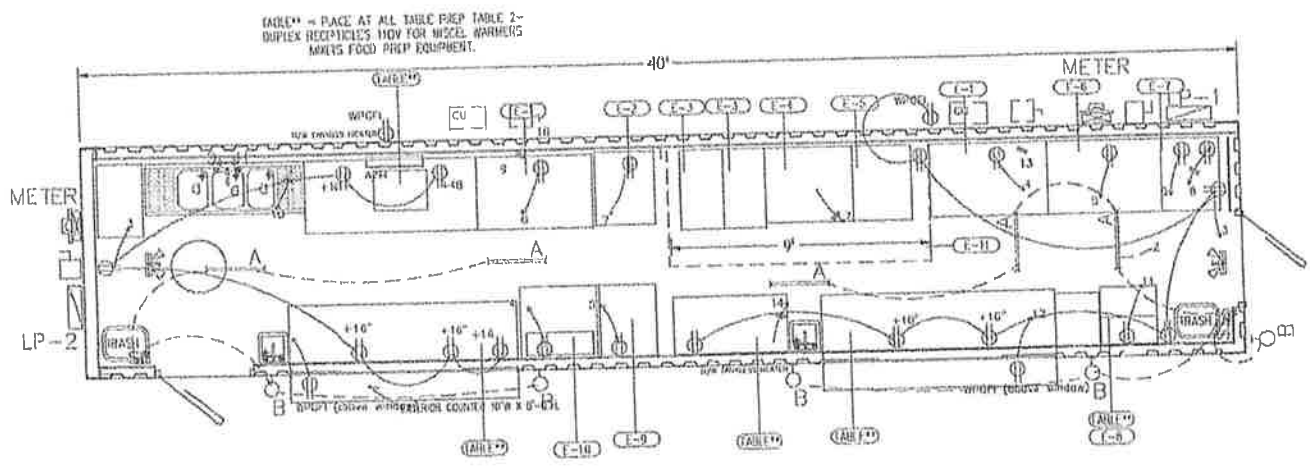


MILES CHRISTIAN ANDERSON CONSULTING ENGINEERS, INC.
 1515 E. PALM BEACH BLVD., SUITE 110
 BOCA RATON, FLORIDA 33432
 PHONE: (561) 991-1111
 FAX: (561) 991-1112

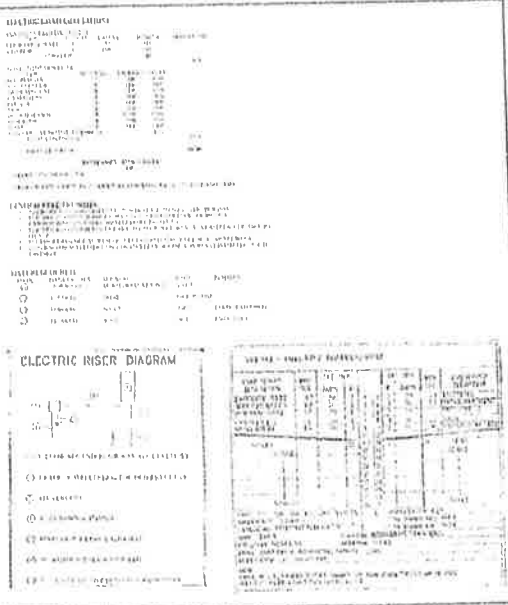


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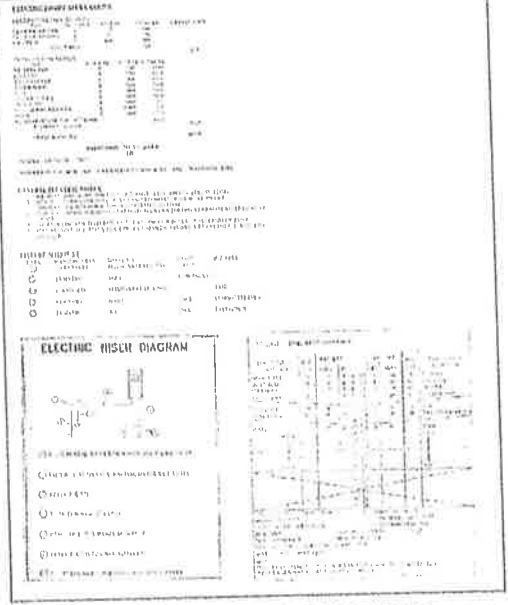
FORGE CONTAINER BUILD OUT COVER



POWER AND LIGHTING PLAN
SCALE: 1/4" = 1/2"



ROMEN NODDLES - ELECTRIC



ETHAN'S SLIDER SHACK - ELECTRIC

Robert J Brady
J Brady

Design: 11/20/14
 Drawn: 11/20/14
 Checked: 11/20/14
 Scale: 1/4" = 1/2"
 Date: 11/20/14
 Project: 11/20/14

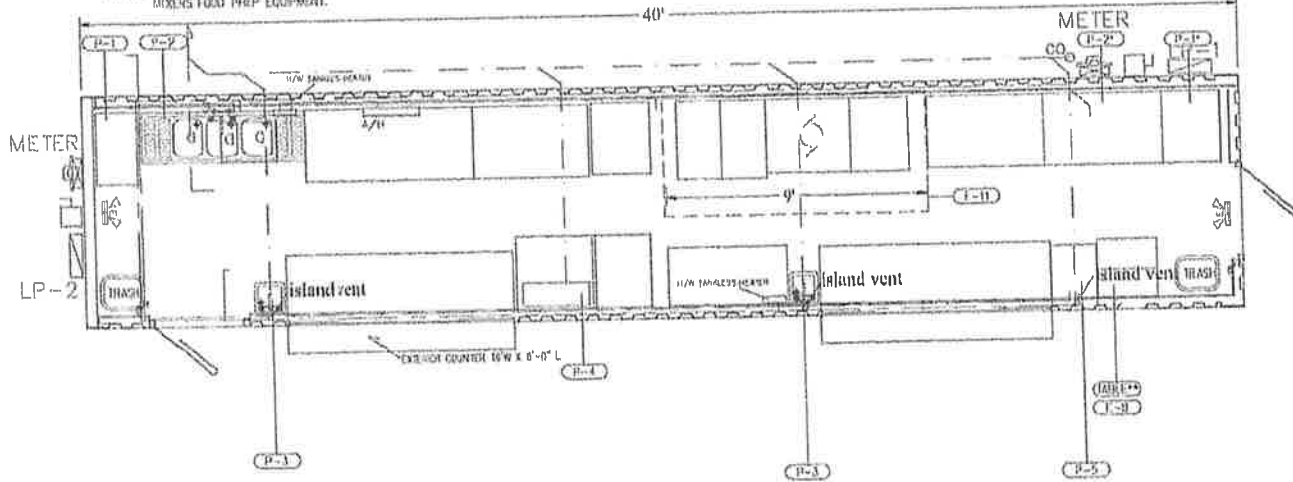
MOLES CHRISTY ANDERSON CONSULTING ENGINEERS, INC.
 ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING
 1015 E. THIRD STREET, SUITE 102
 DENVER, COLORADO 80202
 TEL: (303) 533-4444
 FAX: (303) 533-4444



DATE: 3-12-26
 DRAWN BY: MCA
 CHECKED BY: MCA
 REVISION:
 JOB NO.: 24-024(20) FLE-RAD.0

FORGE CONTAINER BUILD OUT
ELECTRIC

TABLE** PLACE AT ALL TABLE PITCH TABLE 7--
DUPLIC RECEPTS 110V FOR MISCEL. BARBERS
MIXERS FOOD PREP EQUIPMENT.



GENERAL PLUMBING NOTES AND SPECIFICATIONS

1. DRAWINGS ARE DIAGNOSTIC. DO NOT SCALE DRAWINGS. USE DIMENSIONS FOR WORK. CONTRACTOR SHALL REFER TO ALL PLANS, SPECIFICATIONS, ARCHITECTURAL, MECHANICAL, ELECTRICAL AND GENERAL CONDITIONS, AND SHALL COORDINATE WORK WITH ALL OTHER TRADES.
2. PLUMBING CONTRACTOR SHALL EXAMINE THESE P. AND ASSESS SPECIFICATIONS AND REPORT ANY DISCREPANCIES TO OWNER AND GENERAL CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. ALL PLUMBING WORK SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS AND PLUMBING REQUIREMENTS.
4. MINIMUM PITCH OF HORIZONTAL BRANCHES AND MAIN LINES SHALL BE 1/4" PER 10' TYPICAL FOR DW.
5. ALL WATER PIPING SHALL BE SCH. 40 PIPE OR EQUIV.
6. ALL SANITARY WASTE AND VENTS SHALL COMPLY WITH SECTION 10.2.
7. ALL CONDENSATE DRAINS AND FURRING LINES SHALL HAVE DROPT BRANCH CONNECTIONS.
8. SUPPLEMENTAL MATERIAL AND LABOR NECESSARY FOR INSTALLATION OF SYSTEM, WHETHER SHOWN OR SPECIFIED SHALL BE PROVIDED TO INSURE A COMPLETE OPERATING PLUMBING INSTALLATION.
9. FLEXIBILITY OF THE CALLED ASSEMBLY SHALL BE MAINTAINED WITH EQUIPMENT OR MATERIALS TO PROVIDE A PERMANENT EQUIVALENT TO, OR BETTER THAN, THE ASSEMBLY'S RATING.
10. PROVIDE VALVES FOR DRAINAGE AS REQUIRED BY APPLICABLE CODE, AND VALVES FOR ISOLATION OF ALL CONNECTIONS AS TO PROVIDE MAINTENANCE OF SYSTEM WITHOUT DISTURBING ASSEMBLY TO EQUIPMENT BEING SERVED.
11. ALL FLOOR DRAINS SHALL BE EQUIPPED WITH VACUUM BREAKERS.
12. ALL WATER LINES AND SANITARY WASTE LINES LOCATED ABOVE GRADE SHALL BE INSULATED WITH 1" MINIMUM INSULATION.
13. PLUMBING CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND ELEVATIONS PRIOR TO COMMENCEMENT OF WORK.
14. PLUMBING CONTRACTOR SHALL VERIFY PIPING AS REQUIRED TO CLEAN STRUCTURAL MEMBERS.
15. ALL PLUMBING FIXTURES SHALL COMPLY WITH WATER CONSERVATION REQUIREMENTS.
16. PLUMBING CONTRACTOR SHALL PROVIDE "AS-BUILT" DRAWINGS TO OWNER PRIOR TO FINAL PAYMENT.

PLUMBING FIXTURE SCHEDULE

ITEM	SYM MODEL	H.W.	C.W.	DRAIN	REMARKS
P-1	KOP SINK	18"	18"	3"	FAUCET INCLUDED
P-2	COMB. SINK	18"	18"	3"	FAUCET INCLUDED
P-3	HAND SINK	18"	18"	1-1/2"	SPEARMARKER BOTTLE
P-4	RT. WASH	18"	18"	1-1/2"	
P-5	DRINK SINK	18"	18"	2"	FAUCET INCLUDED
P-6	DRINK MACHINE	18"	18"	2"	ARCHITECT DRAW
P-7	HAND SINK	18"	18"	1-1/2"	
P-8	DRINK WH.	18"	18"	1-1/2"	
P-9	WATER DR.	18"	18"	1-1/2"	

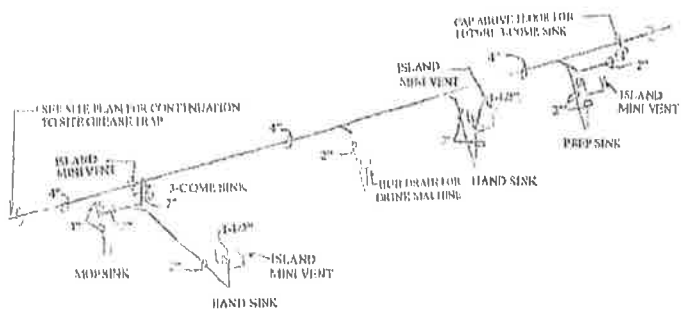
NOTE: EQUIVALENT FIXTURES BY OTHER MANUFACTURERS MAY BE FURNISHED WITH APPROVAL.

SANITARY AND WATER SUPPLY
SCALE 1/4" = 1/2"

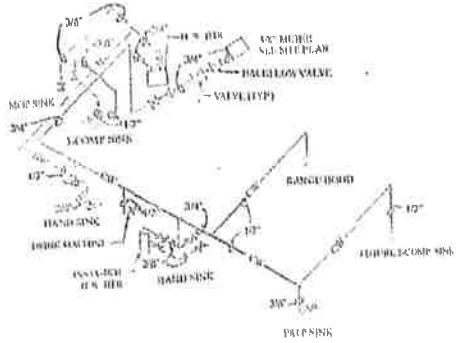
NOTE: P-1 AND P-2 USE PUBLIC FIXTURES CAPPED

LEGEND:

- CW COLD WATER
- HW HOT WATER
- RAN SANITARY WASTE
- D.O. CLEANOUT
- VALVE



SANITARY RISER



WATER SUPPLY RISER

Robert J Brady
Digitally signed by Robert J Brady
Date: 2020.03.19 16:27:59 -0400

MASS CHRISTIAN INGENIER CONSULTING ENGINEERS, INC.
REGISTERED PROFESSIONAL ENGINEERS
100 E. BROAD STREET, SUITE 137
ROSLINDALE, MASSACHUSETTS 02127, 617-621-1137



DATE: 9-16-25
CHECKED: MCA
REVISED:
JOB NO.: 24-024(20) FLS-RADJ

FORGE CONTAINER BUILD OUT
PLUMBING

SHEET
MEP-2

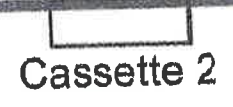


Level 1

Condensing Unit

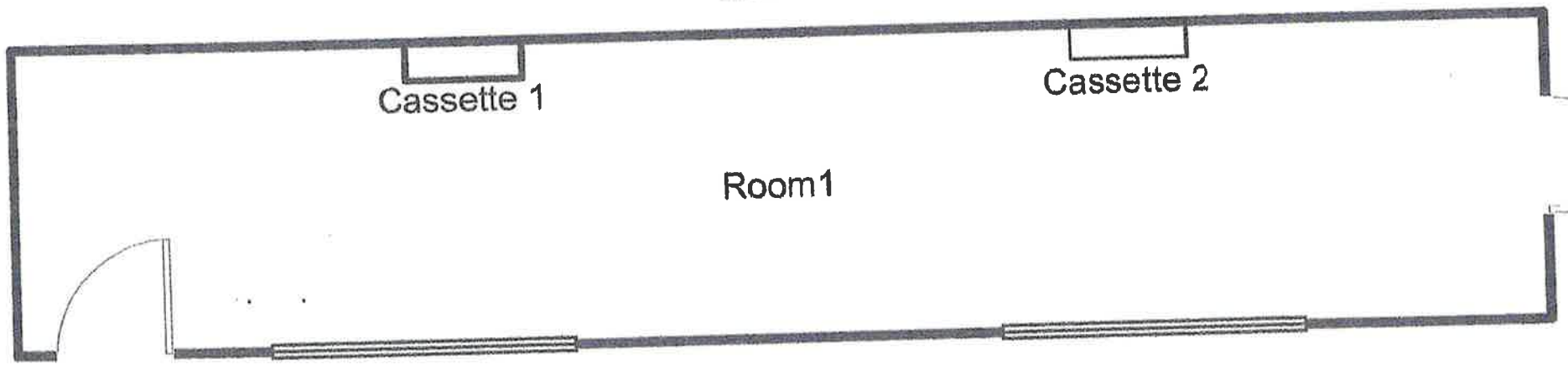


Cassette 1



Cassette 2

Room1

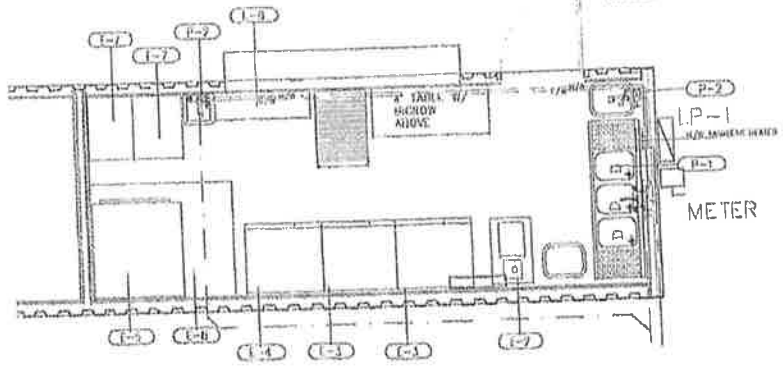


Job #:
Performed by Air Design for:
 Roman Noddle & Elhan Slider Shack
 Ocala, FL

Air Design Heating & A/C Inc.
 PO Box 729
 Ocala, FL 34478
 Phone: 352-629-2626 Fax: 352-368-6788 license: ...
 www.AirDesignAC.com sales@airdesignac.com

Scale: 1 : 50
 Page 1
 Right-Suite@ Universal 2025
 25.0.03 RSU59051
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 Project2.rup

SANITARY & WATER
 SCALE: 1/4" = 1/2"

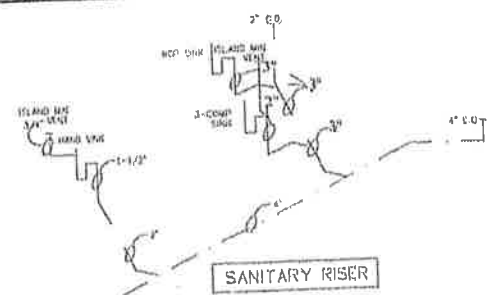


LEGEND:

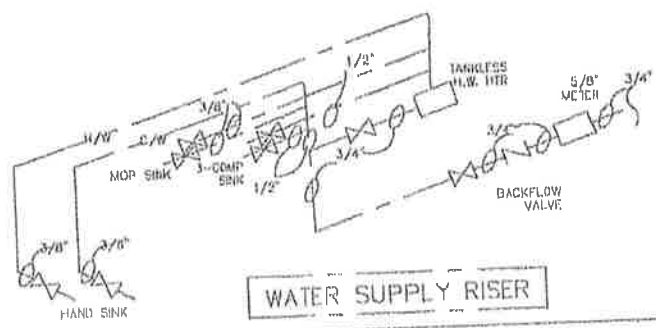
- CR COLD WATER
- HW HOT WATER
- DN DRAIN
- WV WASTE VENT
- CL CLEANOUT
- Y YIELD

FIXTURE SCHEDULE:

ITEM	MANUFACTURE	QTY	LN	DRN	BACKFLOW
3-COMP SINK	AS OWNED	1/2"	3/4"	1-1/2"	BACKFLOW PREVENTER
WASH SINK	AS OWNED	1/2"	3/4"	1-1/2"	BACKFLOW PREVENTER
WASH SINK	AS OWNED	1/2"	3/4"	1-1/2"	BACKFLOW PREVENTER



SANITARY RISER



WATER SUPPLY RISER

GENERAL PLUMBING NOTES AND SPECIFICATIONS

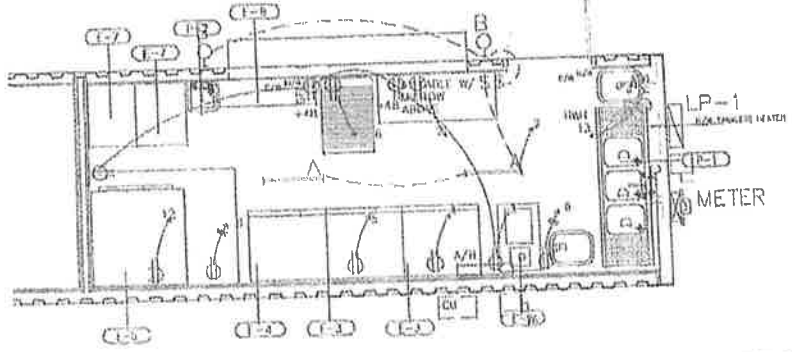
- DRAWINGS ARE DIAGNOSTIC. DO NOT SCALE DRAWINGS. USE DIMENSIONS SHOWN. CONTRACTOR SHALL REFER TO ALL PLANS, GE. SITE, ARCHITECTURAL, MECHANICAL, ELECTRICAL AND GENERAL CONDITIONS, AND SHALL COORDINATE WORK WITH ALL OTHER TRADES.
- PLUMBING CONTRACTOR SHALL EXAMINE THESE PLANS AND SPECIFICATIONS AND REPORT ANY DISCREPANCIES TO ENGINEER AND GENERAL CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL PLUMBING WORK SHALL CONFORM TO 2018 IBC AND THE BUILDING AND PLUMBING REGULATIONS.
- MINIMUM PITCH OF HORIZONTAL BRANCHES AND RISE/LEADER SHALL BE 1/4" PER HORIZONTAL FOOT.
- ALL WATER PIPING SHALL BE SCH 40 PVC OR CPVC.
- SANITARY WASTE AND VENT SHALL CONFORM TO SECTION 703.
- CONDENSATE DRAINS AND PRIME/LEADS SHALL HAVE INDIRECT DRAIN CONNECTIONS.
- SUPPLEMENTAL MATERIAL AND LABOR NECESSARY FOR INSTALLATION OF SYSTEM, WHETHER SHOWN OR SPECIFIED SHALL BE PROVIDED TO INSURE A COMPLETE, OPERATING PLUMBING INSTALLATION.
- PROTECTION OF FIRE-RATED ASSEMBLIES SHALL BE THE SEALER'S VTY EQUIPMENT OR SEALANTS TO PROVIDE A FIRE RATING EQUIVALENT TO, OR BETTER THAN, THE ASSEMBLY'S RATING.
- ISOLATE VALVES FOR DRAINAGE AS REQUIRED BY APPLICABLE CODE, AND VALVES FOR ISOLATION OF ALL FIXTURES SO AS TO PROVIDE ADVISING OF SYSTEM WITHOUT DISTURBING AREAS UNRELATED TO EQUIPMENT BEING SERVED.
- ALL RISERS SHALL BE EQUIPPED WITH VACUUM BREAKERS.
- ALL WATER LINES AND SANITARY SEWER LINES LOCATED ABOVE GRADE SHALL BE INSULATED WITH 1" MINIMUM, OR EQUIVALENT.
- PLUMBING CONTRACTOR SHALL VERIFY THE IN-LOCATIONS AND ELEVATIONS PRIOR TO BEGINNING WORK.
- PLUMBING CONTRACTOR SHALL ROUTE PIPING AS REQUIRED TO CLEAR ARCHITECTURAL MEMBERS.
- ALL PLUMBING FIXTURES SHALL COMPLY WITH WATER CONSERVATION REQUIREMENTS.
- PLUMBING CONTRACTOR SHALL PROVIDE "AS-BUILT" DRAWINGS TO GENERAL CONTRACTOR PRIOR TO FINAL PAYMENT.

ELECTRIC RISER DIAGRAM



- GENERAL INSTRUCTIONS:**
- CONTRACTOR SHALL VERIFY ALL ELECTRICAL CONDITIONS PRIOR TO START OF WORK.
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- FIXTURE SCHEDULE:**
- | SYM | DESCRIPTION | QTY | LN | DRN | BACKFLOW |
|-----|-------------|-----|----|-----|----------|
| 1 | 110V/20A | 4 | 4 | 4 | 4 |
| 2 | 110V/20A | 4 | 4 | 4 | 4 |
| 3 | 110V/20A | 4 | 4 | 4 | 4 |

POWER & ELECTRIC SUPPLY
 SCALE: 1/4" = 1/2"



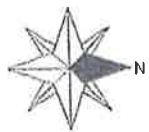
CONDENSER LOAD CALCULATIONS

CONDENSER NUMBER	TRAILING	CONDENSER	CONDENSER	CONDENSER
1	1	1	1	1
2	1	1	1	1
3	1	1	1	1
4	1	1	1	1
5	1	1	1	1
6	1	1	1	1
7	1	1	1	1
8	1	1	1	1
9	1	1	1	1
10	1	1	1	1
11	1	1	1	1
12	1	1	1	1
13	1	1	1	1
14	1	1	1	1
15	1	1	1	1
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99	1	1	1	1
100	1	1	1	1

NOTE: MINI-SPLIT SYSTEM = 24,000 BTU (MAX)

Robert J. Brady
 J. Brady
 12.15.2025

Robert J. Brady
 J. Brady
 12.15.2025



Level 1

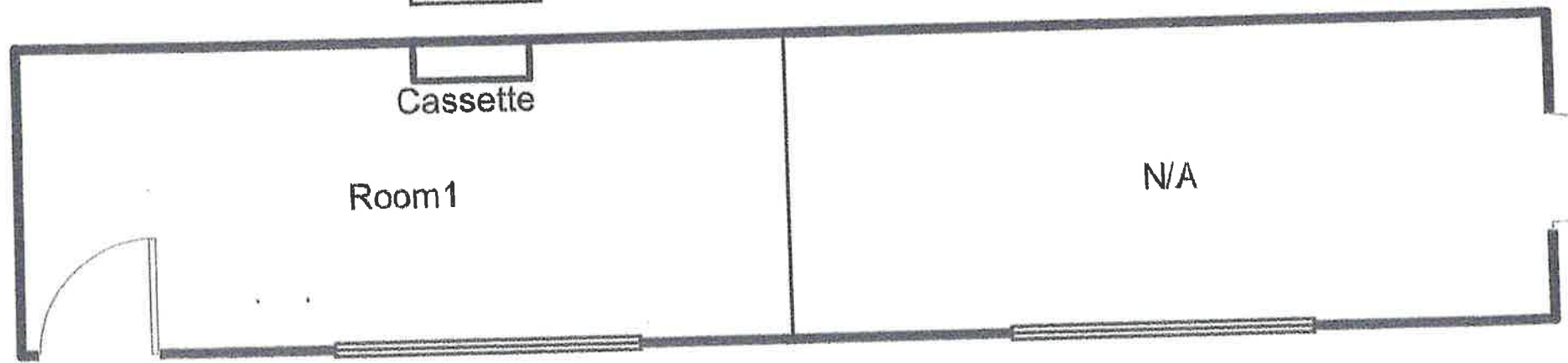
Condensing Unit



Cassette

Room 1

N/A



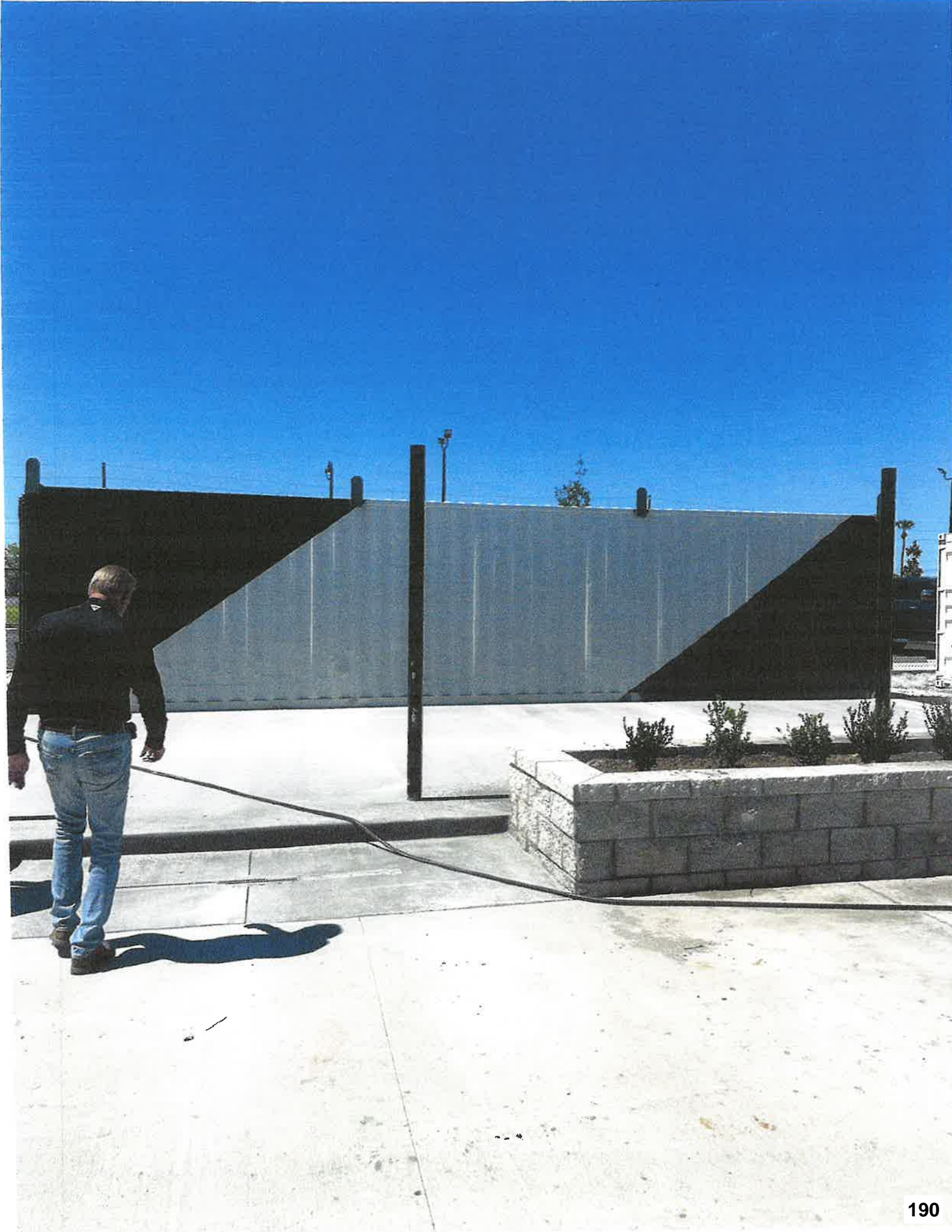
Job #:
Performed by Air Design for:
Pastry Planet
Ocala, FL

Air Design Heating & A/C Inc.
PO Box 729
Ocala, FL 34478
Phone: 352-629-2626 Fax: 352-368-6788 License: ...
www.AirDesignAC.com sales@airdesignac.com

Scale: 1 : 50
Page 1
Right-Suite® Universal 2025
25.0.03 RSU59051
2026-Mar-24 15:38:20
...y - Food Truck\Pastry Planet.rup















Right-Suite® Universal 2025 Short Form

Mini Split

Air Design Heating & A/C Inc.

Job:
Date: Mar 24, 2026
By: Air Design

PO Box 729, Ocala, FL 34478 Phone: 352-629-2626 Fax: 352-368-6788 Email: sales@airdesignac.com Web: www.AirDesignAC.com License: CAC1814997

Project Information

For: Romen Noddle & Ethan Slider Shack
Ocala, FL

		Htg	Clg		Htg	Clg	
Outside db	(°F)	34	93	Inside db	(°F)	70	75
Outside RH	(%)	-	49	Inside RH	(%)	-	50
Outside wb	(°F)	-	77	Inside wb	(°F)	-	63
Daily range	(°F)	-	18	Design TD	(°F)	36	18
Moisture diff.	(gr/lb)	-	50				

Heating Equipment

Make Samsung Electronics Co., LTD.
Model AJ048BXJ5CH

AHRI ref. 207698738
Type Split ASHP
Efficiency 8.65 HSPF2

Heating Input
Heating Output 47.5 MBtuh @47°F
Humidifier 4.1 gpd
Leaving Air Temp 97.9 °F
Actual Heating Fan 1550 cfm

Backup:
Input = 13 kW, Output = 44491 Btuh, 100 AFUE

Cooling Equipment

Make Samsung Electronics Co., LTD.
Cond AJ048BXJ5CH
Coil 2 - AR24DXFAMWKNVCV
AHRI ref. 207698738
Type Split ASHP
Efficiency 9.6 EER2, 18.75 SEER2

Sensible Cooling 32.5 MBtuh
Latent Cooling 13.9 MBtuh
Total Cooling 46.5 MBtuh
Leaving Air Temp 55.0 °F
Actual Cooling Fan 1550 cfm

System Type
Fan Motor Heat Type
Fan & Motor Combined Efficiency
Static Pressure Across Fan

PEAKCV
PACKAGE
0 %
0 in H2O

NAME	Area ft²	Heat Loss	Sensible Gain	Latent Gain	Htg cfm	Clg cfm	Time
Room1	320	13481	33827	3494	1550	1550	Jul 1700 LDT
Mini Split	320	13481	33827	3494	1550	1550	Jul 1700 LDT



Right-Suite® Universal 2025 25.0.03 RSU59051

Project2.rup Calc - GLTD Building Front faces: C

2026-Mar-24 15:03:58

Page 1

Project Information

For: Romen Noddle & Ethan Slider Shack
Ocala, FL

Zone: Mini Split

COOLING LOAD

1. DESIGN CONDITIONS		at Jul 1700 LDT		Peak load at Jul 1700 LDT		
Inside:	75 °F	Outside:	93 °F	TD:	18 °F	
OutRH:	49 %	MoistDiff:	50.1 gr/lb	Mult:	1.0	Ins.wb 63 °F
					Sensible	Latent
2. SOLAR RADIATION THROUGH GLASS					2440	-
3. TRANSMISSION GAINS					3741	-
Walls:					-	-
Glass:					-	-
Doors:					-	-
Partitions:					-	-
Floors:					-	-
Ceilings:					-	-
4. INTERNAL HEAT GAIN					26035	720
Occupants:					-	-
Lights:					-	-
Motors:					-	-
Appliances:					-	-
5. INFILTRATION: Outside air cfm:					-	-
6. SUBTOTAL: Space load					0	0
Envelope					32216	720
Less external					720	-
Redistribution					-	-
7. SUPPLY DUCT					0	-
8. SUBTOTAL: Space load + supply duct					32216	-
Actual cfm:					-	-
9. VENTILATION: 1550 at supply TD:					20	-
10. RETURN AIR LOAD: Make-up air cfm:					82	1611
11. RETURN DUCT: Lighting + plenum (net)					0	2774
12. TOTAL LOADS ON EQUIPMENT					0	-
					33827	3494

HEATING LOAD

13. DESIGN CONDITIONS		Outside:		Mult: 1.0	
Inside:	70 °F	34 °F		TD:	36 °F
14. TRANSMISSION LOSSES		8208			
Walls:		2907			-
Glass:		1192			-
Doors:		133			-
Partitions:		0			-
Floors:		3418			-
Ceilings:		558			-
15. INFILTRATION: Outside air cfm:			13		506
16. SUBTOTAL: Space load					8713
Envelope		8713			-
Less external		0			-
Less transfer		0			-
Redistribution		0			-
17. SUPPLY DUCT:					0
18. VENTILATION: Make-up air cfm:			82		3223
19. HUMIDIFICATION					1545
Piping					0
20. RETURN DUCT					0
21. TOTAL HEATING LOAD ON EQUIPMENT					13481



Right-Suite® Universal 2025 Short Form

Mini Split

Air Design Heating & A/C Inc.

Job:
Date: Mar 24, 2026
By: Air Design

PO Box 729, Ocala, FL 34479 Phone: 352-620-2926 Fax: 352-388-6788 Email: sales@airdesignac.com Web: www.AirDesignAC.com License: CAC1814987

Project Information

For: Pastry Planet
Ocala, FL

	Htg	Clg		Htg	Clg
Outside db (°F)	34	93	Inside db (°F)	70	75
Outside RH (%)	-	49	Inside RH (%)	-	50
Outside wb (°F)	-	77	Inside wb (°F)	-	63
Daily range (°F)	-	18	Design TD (°F)	36	18
Moisture diff. (gr/lb)	-	50			

Heating Equipment

Make Samsung Electronics Co., LTD.
Model AR18CSFCMWKX
AHRI ref. 210445765
Type Split ASHP
Efficiency 8 HSPF2
Heating Input 21.0 MBtuh @47°F
Heating Output 2.1 gpd
Humidifier 101.9 °F
Leaving Air Temp 600 cfm
Actual Heating Fan
Backup:
Input = 13 kW, Output = 44491 Btuh, 100 AFUE

System Type
Fan Motor Heat Type
Fan & Motor Combined Efficiency
Static Pressure Across Fan

Cooling Equipment

Make Samsung Electronics Co., LTD.
Cond AR18CSFCMWKX
Coil AR18CSFCMWKN
AHRI ref. 210445765
Type Split ASHP
Efficiency 11.0 EER2, 18.7 SEER2
Sensible Cooling 12.6 MBtuh
Latent Cooling 5.4 MBtuh
Total Cooling 18.0 MBtuh
Leaving Air Temp 55.0 °F
Actual Cooling Fan 600 cfm

PEAKCV
PACKAGE
0 %
0 in H2O

NAME	Area ft²	Heat Loss	Sensible Gain	Latent Gain	Htg cfm	Clg cfm	Time
Room1	160	7261	12889	1747	600	600	Jul 1700 LDT
Mini Split	160	7261	12889	1747	600	600	Jul 1700 LDT



Right-Suite® Universal 2025 Load Summary
Mini Split
Air Design Heating & A/C Inc.

Job:
 Date: Mar 24, 2026
 By: Air Design

PO Box 729, Ocala, FL 34478 Phone: 352-629-2626 Fax: 352-368-6788 Email: sales@airdesignac.com Web: www.AirDesignAC.com License: CAC1814997

Project Information

For: Pastry Planet
 Ocala, FL

Zone: Mini Split

COOLING LOAD

1. DESIGN CONDITIONS	at Jul 1700 LDT	Peak load at Jul 1700 LDT		
Inside: 75 °F	Outside: 93 °F	TD: 18 °F		
OutRH: 49 %	MoistDiff: 50.1 gr/lb	Mult: 1.0	Ins.wb	63 °F
			Sensible	Latent
2. SOLAR RADIATION THROUGH GLASS			1220	-
3. TRANSMISSION GAINS	Sensible		1996	-
Walls:	1082		-	-
Glass:	265		-	-
Doors:	30		-	-
Partitions:	0		-	-
Floors:	0		-	-
Ceilings:	620		-	-
4. INTERNAL HEAT GAIN	Sensible	Latent	8867	360
Occupants:	408	360	-	-
Lights:	859	-	-	-
Motors:	0	-	-	-
Appliances:	7600	0	-	-
5. INFILTRATION:	Outside air cfm:	0	0	0
6. SUBTOTAL:	Space load	Latent	12083	360
Envelope	Sensible	360	-	-
Less external	12083	-	-	-
Redistribution	0	0	-	-
7. SUPPLY DUCT			12083	-
8. SUBTOTAL:	Space load + supply duct		-	-
Actual cfm:	600 at supply TD:	20	806	1387
9. VENTILATION:	Make-up air cfm:	41	0	-
10. RETURN AIR LOAD:	Lighting + plenum (net)		0	-
11. RETURN DUCT			12889	1747
12. TOTAL LOADS ON EQUIPMENT				

HEATING LOAD

13. DESIGN CONDITIONS	Outside: 34 °F	Mult: 1.0		
Inside: 70 °F		TD: 36 °F		
14. TRANSMISSION LOSSES			4624	
Walls:	1689		-	
Glass:	596		-	
Doors:	67		-	
Partitions:	0		-	
Floors:	1994		-	
Ceilings:	279		-	
15. INFILTRATION:	Outside air cfm:	6	253	
16. SUBTOTAL:	Space load		4877	
Envelope	4877		-	
Less external	0		-	
Less transfer	0		-	
Redistribution	0		-	
17. SUPPLY DUCT:			0	
18. VENTILATION:	Make-up air cfm:	41	1611	
19. HUMIDIFICATION			773	
Piping			0	
20. RETURN DUCT			0	
21. TOTAL HEATING LOAD ON EQUIPMENT			7261	

George Albright
REAL ESTATE

Marion County

Ad Valorem Taxes

ACCOUNT NUMBER: R28234-010-00 2025
 ASSESSED VALUE: 810,781
 TAXING AUTHORITY
 COUNTY GENERAL COUNTY
 FINE & FORFEITURE
 COUNTY HEALTH
 SCHOOL SCHOOL R.I.E.
 SCHOOL VOTE
 SCHOOL DISCRETIONARY
 SCHOOL CAPITAL IMPR
 WATER ST JOHNS MANAGEMENT DIST
 MUNIC Ocala BASIC
 EXEMPTION:NONE

EXEMPTIONS: *	NONE	*	EXEMPTIONS	TAXABLE VALUE:	TAXES
MILLAGE		ASSESSED		810,781	810,781
3.0900		810,781	0	810,781	2,505.31
.8300		810,781	0	810,781	672.95
.1000		810,781	0	810,781	81.08
3.0720		810,781	0	810,781	2,490.72
1.0000		810,781	0	810,781	810.78
.7480		810,781	0	810,781	606.46
1.5000		810,781	0	810,781	1,216.17
.1793		810,781	0	810,781	145.37
6.6177		810,781	0	810,781	5,365.51
					13,894.35

Non-Ad Valorem Assessments

LEVYING AUTHORITY
 X902 Ocala FIRE

PURPOSE	RATES/BASIS	AMOUNT
COMMERCIAL FIRE	PER ASMT UNIT	7,150.00
NON AD VALOREM ASSESSMENTS:		7,150.00
COMBINED TAXES & ASSESSMENTS TOTAL:		21,044.35

R28234-010-00 2025
 FORGE AT MADISON COMMONS LLC
 101 E SILVER SPRINGS BLVD STE #301
 Ocala FL 34470

*** PAID *** PAID *** PAID ***
 03/15/26 PERIOD 05

MAR 31 2026	APR 30 2026	MAY 31 2026	CERTIFIED	FUNDS	PAST DUE ON
21,044.35	21,675.68	21,681.58	AFTER	APRIL 30 2026	APR 1 2026
Marion County					

George Albright
 REAL ESTATE

MAR 31 2026	APR 30 2026	MAY 31 2026	CERTIFIED	FUNDS	PAST DUE ON
21,044.35	21,675.68	21,681.58	AFTER	APRIL 30 2026	APR 1 2026

EX-TYPE	ESCROW	MILLAGE	TAXES LEVIED	REMIT PAYMENT IN U.S. FUNDS TO:
		1001		

VALUES AND EXEMPTIONS TAXES 13,894.35 George Albright
 ASSESSMENT 810,781 SP. ASMT 7,150.00 503 SE 25TH AVENUE
 TAXABLE 810,781 Ocala Fl 34471

17 15 22
 SEC 17 TWP 15 RGE 22 PLAT BOOK A
 PAGE 114 WESTON CENTRAL CITY
 LOTS 10 THRU 19 & UNNUMBERED LOT
 LYING E OF & ADJ TO LOT 10 ALL
 OF THE ABOVE ALSO BEING DESC AS
 SEE TAX ROLL FOR MORE LEGAL

R28234-010-00 2025
 FORGE AT MADISON COMMONS LLC
 101 E SILVER SPRINGS BLVD STE #301
 Ocala FL 34470

*** PAID *** PAID *** PAID ***
 03/15/26 PERIOD 05
 995-2025-0051406.0001
 \$21,044.35 CH



PO Box 1074, Belleview, FL 34420
352-286-0396

FloridasFinestRestorations@gmail.com

ESTIMATE #1295

*HONORED FOR 60 DAYS
PRICING SUBJECT TO CHANGE
DUE TO INFLATION

DATE: MARCH 26, 2026

CLIENT:

Romen Noodle & Ethan Slider Shack
The Forge / Joel Gibson
Ocala, FL

DESCRIPTION	Materials	Labor	TOTAL
- Metal Framing			\$5,700
- Welding to include window boxes			\$4,000
- Electrical			\$27,400
- Plumbing			\$11,200
- HVAC			\$4,000
- Drywall			\$3,800
- FRP			\$6,000
SUBTOTAL			
TOTAL			\$62,100

Additional Information/Comments:

Sun Shade	\$6000	<u>Total: 95,357</u>
Kitchen Equip Installed	\$8619	
Ventilation/Exhaust	\$18608	



PO Box 1074, Belleview, FL 34420
352-286-0396

FloridasFinestRestorations@gmail.com

ESTIMATE #1295
*HONORED FOR 60 DAYS
PRICING SUBJECT TO CHANGE
DUE TO INFLATION

DATE: MARCH 26, 2026

CLIENT:
Planet Pastries
The Forge / Joel Gibson
Ocala, FL

DESCRIPTION	Materials	Labor	TOTAL
- Metal Framing			\$4,500
- Welding to include window boxes			\$4,000
- Electrical			\$18,800
- Plumbing			\$5,500
- HVAC			\$4,000
- Drywall			\$2,700
- FRP			\$4,500
SUBTOTAL			
TOTAL			\$44,000

Additional Information/Comments:

Sunshade \$3,000
Kitchen Equipment Installed \$2,500
Ventilation Exhaust \$11,948

Total:
61,448

Hutchinson Development, Inc.

6347 S. Magnolia Avenue, Ocala FL 34474

The Forge at Madison Commons at 343 NE 1st Ave. Ocala FL 34470

Construction costs for Conex's (Pastry Planet, Slider Shack and Ramen Noodles)

	Pastry Planet	Slider Shack	Ramen Noodles
Windows	\$5,090	\$5,090	\$5,090
Doors	\$2,037	\$2,037	\$2,037
Plumbing	\$7,000	\$7,100	\$6,100
HVAC	\$4,000	\$4,000	\$4,000
Framing	\$507	\$507	\$507
Insulation	\$1,750	\$1,750	\$1,750
Floors	\$1,700	\$1,700	\$1,700
Walls	\$3,250	\$3,250	\$3,250
Electrical	\$17,500	\$15,000	\$16,000
Ventilation/Exhaust	\$11,948	\$18,608	
Kitchen Equipment Installed	\$2,500	\$8,649	
Sun Shading	\$3,000	\$3,000	\$3,000
Total	\$60,282	\$70,691	\$43,434
Grand Total		\$174,407	

W B H

WILLIAM B. HUTCHINSON
HUTCHINSON DEVELOPMENT
352-266-6843
3-31-26

Shipping & Billing

Review & Payment

Order Confirmation

Review & Payment

Important Information about your Delivery!

Your order will be delivered curbside on a full size 18 wheeler.

[View Details & Options](#)

You are responsible for: Bringing the shipment into your location and noting damaged or missing items on the carrier's delivery receipt

Use Our Live Chat

Mon-Thurs 8AM-8PM EST
Fri 8AM-6PM EST
Sat 9AM-4PM EST



[Chat Now](#)

[Help Center](#) Your Cart ID: Q1Q03Q

Enter payment info to complete your order

[Enter Card](#)

Billing Address

Sheila Gibson
Just Desserts Ice
Cream &
1430 sw 43rd pl Ocala
FL
Ocala, FL 34471
United States
1 352 615 6294

Shipping Address

Sheila Gibson
Just Desserts Ice
Cream &
343 NE First Ave.,
Ocala FL
Ocala, FL 34470
United States
1 352 615 6294



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per \$1 spent at WebstaurantStore!

50% Off a Plus membership

[Learn More](#)

Must apply here for this offer. Offer varies elsewhere.

ITEM

QTY:

QTY

PRICE

Estimated Tax 

\$1,284.35 *\$1,284.35*

Total (USD)

\$19,038.88 *\$19,038.88*

Payment

Credit Card

Sheila Gibson 7080

 Default 

Apple Pay



LEAF Financing

Finance your purchase with up to 60 month terms



Pay Over Time

As low as \$1,657.58 per month



Alternate Payment

Pay by check, wire transfer, or ACH



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Halifax PTH040 2' x 40" Type 1
Corrosion Trailer / Food Truck Hood
System with Integrated Fan

#2527TH040 - EACH

Qty:

1

\$3,729.00

~~\$4,298.00~~

\$ 4,298.00

plus Discounted Shipping

Usually Ships in 3 - 5 Bus. Days

Ships via Common Carriers

Wall Panels (2) 48" x 84" uninsulated stainless
steel panels

Qty:

\$669.00

Hanging Brackets Loose

Qty:

\$0.00

Light Configuration: Installed

Qty:

\$0.00

Halifax CH044B Package Type 2
Condensate Hood System - 4' x 48"

#2520CH044B - EACH

Qty:

1

\$2,799.00

~~\$1,088.00~~

\$ 3,088.00

plus Discounted Shipping

Usually Ships in 5 - 7 Bus. Days

Ships via Common Carriers

Exhaust Fan Mounting Curb Type: Roof (Flat)

Qty:

\$0.00

How Many Stories is Your Building? 1 story

Qty:

\$0.00

What is Your Ceiling Height? Less than 10' (Low
Ceiling Hood Needed)

Qty:

\$0.00

Wall Panels (1) 48" x 84" uninsulated stainless
steel panel

Qty:

\$289.00

T&S HG-4B-4BK Safe-T-Link 4B"
Quick Disconnect Gas Appliance
Connector 1" NPT with Installation
Kit

#510HD4E4BK - EACH

Qty:

1

\$132.99

~~\$132.99~~

\$ 132.99

plus Free Shipping

Usually Ships in 1 - 2 Bus. Days



Steelton 20" x 16" x 12" 18 Gauge
304 Stainless Steel One
Compartment Floor Mount Sink
Arrives in 2 - 4 business days
#227840 - EACH

Qty: 1

\$278.40

\$278.40

\$278.49

Plus Free Shipping



Regency 17" x 15" Wall Mounted
Hand Sink with Gooseneck Faucet
and Wrist Blades
Arrives in 2 - 4 business days
#200117WKR - EACH

Qty: 1

\$169.99

\$169.99

\$169.99

Plus Free Shipping



Regency 66" 16-Gauge Stainless
Steel Three Compartment
Commercial Sink with Stainless Steel
Legs, Cross Bracing, and 2
Drainboards - 10" x 14" x 12" Bowls
Arrives in 2 - 4 business days
#200231011R - EACH

Qty: 1

\$579.00

\$579.00

\$579.00

Plus Discounted Shipping

Ships via Common Carrier



Garland G60-4G36RR Natural Gas 4
Burner 60" Range with 36" Griddle
and 2 Standard Ovens - 262,000
BTU
Arrives in 2 - 4 business days
#372000430HRN - EACH

Qty: 1

\$8,149.00

\$8,149.00

\$8,149.00

Plus Free Shipping

Subtotal

\$16,695.47

\$16,695.47

Shipping & Handling








\$1,059.00: Common Carrier w/ Liftgate

FREE Call Before Delivery

Search The Restaurant Store

Orlando, FL
Deliver to 34471

My Cart

	<p>Garland G60-4G36RR Natural Gas 4 Burner 60" Range with 36" Griddle and 2 Standard Ovens - 262,000 BTU #372G60436RRN FREE shipping</p>	<p>\$8,697.49</p>	<p>1</p>	<p>\$8,697.49</p>
<p>① Item ships via Common Carrier</p> <p>5 Year Extended Warranty Powered by Safeware PWI:421140 Change Extended Warranty.</p>				
	<p>Advance Tabco FE-3-1416-12RL Spacesaver Stainless Steel 3 Compartment Commercial Sink with 2 Drainboards - 66" #109FE3141612</p>	<p>\$769.00</p>	<p>1</p>	<p>\$769.00</p>
<p>① Item ships via Common Carrier ① Usually ships in 5-6 business days</p>				
	<p>Regency 17" x 15" Wall Mounted Hand Sink with Gooseneck Faucet and Wrist Blades #600HS17WBK FREE shipping</p>	<p>\$159.99</p>	<p>1</p>	<p>\$159.99</p>
	<p>Steelton PQ828 20" x 16" x 12" 18 Gauge 304 Stainless Steel One Compartment Floor Mop Sink #522MS162012</p>	<p>\$278.99</p>	<p>1</p>	<p>\$278.99</p>
	<p>Halifax FTH1940 9' x 40" Type 1 Concession Trailer / Food Truck Hood System with Integrated Fan #421FTH1940</p>	<p>\$4,108.00</p>	<p>1</p>	<p>\$4,108.00</p>
<p>① Item ships via Common Carrier ① Usually ships in 3-5 business days</p> <p>Hanging Brackets: Loose</p> <p>Light Configuration: Installed</p> <p>Wall Panels: (2) 48" x 84" un-insulated stainless steel panels Remove Accessory.</p>				
	<p>T&S HG-4E-48K Safe-T-Link 48" Quick Disconnect Gas Appliance Connector 1" NPT with Installation Kit #510HG4E48K</p>	<p>\$133.99</p>	<p>1</p>	<p>\$133.99</p>
<p>① Usually ships in 1-2 business days</p>				
	<p>Halifax CH0448 Package Type 2 Condensate Hood System - 4' x 48" #421CHP448</p>	<p>\$2,948.00</p>	<p>1</p>	<p>\$2,948.00</p>
<p>① Item ships via Common Carrier ① Usually ships in 5-7 business days</p>				

Exhaust Fan Mounting Curb Type: Roof (Flat)

How Many Stories Is Your Building?: 1 story

Wall Panels: (1) 48" x 84" uninsulated stainless steel panel [Remove Accessory](#)

What is Your Ceiling Height?: Less than 10' (Low Ceiling Hood Needed)

Subtotal

\$17,095.46

Leasing available for as low as \$392.04/mo. ?

You're saving \$2,357.00 because you have membership!

Ship to: 34470 - Commercial

Shipping

Common Carrier + Liftgate ?

\$970.97

Common Carrier ?

\$915.97

Next & Second Day orders received after 2:00 PM Eastern Time will be processed on the following business day.

Add a Coupon Code

We accept



As low as \$1697/month
Select Credit Key at checkout

Other ways to pay

Sign up for our emails

Don't miss out on exclusive offers & more!

First name *

Last name *

Email *

Subscribe

717-392-7261

Email Us

Quick Picks

Chat Online

Track Order



Information

Customer Service

My Account

Webstraunt (bid) OK

Kitchen Equipment

The Restaurant Store (bid) OK

Equipment

Halifax FTHI940 9'x40" Type 1 concession trailer / food truck hood system with integrated fan
 Regency 66" 16 gauge stainless steel three compartment commercial sink with stainless steel legs, cross bracing, and two drainboards
 Skeelton PQ828 20"x16"x12" 18 gauge 304 stainless steel one compartment floor mop sink
 Regency 17"x15" wall mounted hand sin with gooseneck faucet and wrist blades
 T&S HG-4E-48K Safe T Link 48" quick disconnect gas appliance connector 1" NPT with installation kit
 Garland G60-4G36RR Natural Gas 4 burner 60" Range with 36" griddle and 2 standard ovens 262,000 BTU
 Halifax CHO448 Package type 2 condensate hood system 4'x48"
 Shipping

Price

Equipment

Halifax FTHI940 9'x40" Type 1 concession trailer / food truck hood system with integrated fan
 Advance Tabco FE-3-1416-12RL Space saver stainless steel 3 compartment sink with two drainboards 66"
 Skeelton PQ828 20"x16"x12" 18 gauge 304 stainless steel one compartment floor mop sink
 Regency 17"x15" wall mounted hand sin with gooseneck faucet and wrist blades
 T&S HG-4E-48K Safe T Link 48" quick disconnect gas appliance connector 1" NPT with installation kit
 Garland G60-4G36RR Natural Gas 4 burner 60" Range with 36" griddle and 2 standard ovens 262,000 BTU
 Halifax CHO448 Package type 2 condensate hood system 4'x48"
 Shipping

Price

4,108
 769
 279
 160
 134
 8,697
 2,948
 17,095
 970
 18,065

16,353
 1047
 17,400

STAFF SUPPORTING DOCUMENTS

PROJECT HIGHLIGHTS: THE FORGE AT MADDISON COMMONS

1. Project Overview

This project renovates three 40-foot Conex shipping containers repurposed as permanent commercial units at The Forge. Each unit will receive structural upgrades, façade replacement, and installation of fixtures, furniture, and equipment to support food-service operations. Work also includes updates required to meet current building and fire-safety codes.

2. Unit Design & Configuration

The containers measure 40 ft x 8 ft, with interior sections of approximately 20 ft x 8 ft designed specifically for commercial food-service buildouts. These units were purpose-engineered with structural modifications that allow for permanent on-site placement and long-term commercial use.

3. Structural & Life-Safety Enhancements

- Reinforcement of structural components.
- Improvements to fire protection and life-safety systems.
- Replacement of exterior façade materials for durability and code compliance.

4. Blueprint Documentation

The blueprint set includes detailed plans for:

- Permanent Anchorage: Welding each container to footer plates embedded in large concrete footings.
- Container Buildout: Interior wall construction, layout modifications, and commercial-grade structural enhancements.
- Electrical Buildout: Wiring, panel locations, equipment loads, and code-compliant electrical infrastructure.
- Plumbing Buildout: Water supply lines, waste lines, grease-management components, and required fixtures.

5. Project Purpose & Outcomes

These improvements ensure each unit meets commercial standards, complies with life-safety codes, and provides a durable, long-term venue for food-service tenants. They are essential for operational readiness, tenant support, and sustained viability of the commercial space.

PROJECT COST SUMMARY

Table 1 - Project Cost Summary

Application ID: CRA26-0010
Address: 343 NE 1st Avenue
CRA subarea: Downtown

Ocala Community Redevelopment Agency

No.	Eligible work item	High quotes	Low quotes
1	Kitchen Improvements	\$ 19,038.88	\$ 18,066.46
2	Full Interior and Exterior Containers Restoration (Permanent)	\$ 157,946.00	\$ 147,305.00
Total		\$ 176,984.88	\$ 165,371.46
CRA Grant 50% Match (\$165,371.46 x 50% Match)			\$ 82,685.73
Maximum CRA grant allowed that can be awarded based on 50% match.			\$ 50,000.00

BIDS

Kitchen Improvements			
	High Quote		Low Quote
Suppliers	Webstraunt	The Restaurant Store	
Improvements	\$ 16,695.47	\$ 17,095.49	
Tax	\$ 1,284.35	\$ -	
Shipping	\$ 1,059.06	\$ 970.97	
Total	\$ 19,038.88	\$ 18,066.46	

Full Interior and Exterior Containers Restoration (Permanent)			
	High Quote		Low Quote
Suppliers	Hutchinson Development	Florida Restoration	
Windows	\$ 15,270.00	\$ 8,000.00	
Plumbing	\$ 20,200.00	\$ 16,700.00	
HVAC	\$ 12,000.00	\$ 9,500.00	
Framing	\$ 1,521.00	\$ 9,700.00	
Walls	\$ 9,750.00	\$ 6,500.00	
Electrical	\$ 48,500.00	\$ 46,200.00	
Ventilation/Exhaust	\$ 30,556.00	\$ 30,556.00	
Kitchen Equipment Installation	\$ 11,149.00	\$ 11,149.00	
Sun Shading	\$ 9,000.00	\$ 9,000.00	
Total	\$ 157,946.00	\$ 147,305.00	

Refer to the bids included in the Application Packet.

Full Interior and Exterior Containers Restoration (Permanent)				
Florida Restoration	Romen Noodle	Slider Shack	Planet Pastries	
Windows	\$ 2,000.00	\$ 2,000.00	\$ 4,000.00	
Plumbing	\$ 5,600.00	\$ 5,600.00	\$ 5,500.00	
HVAC	\$ 2,000.00	\$ 2,000.00	\$ 5,500.00	
Framing	\$ 2,850.00	\$ 2,850.00	\$ 4,000.00	
Walls	\$ 1,900.00	\$ 1,900.00	\$ 2,700.00	
Electrical	\$ 13,700.00	\$ 13,700.00	\$ 18,800.00	
Ventilation/Exhaust	\$ 9,304.00	\$ 9,304.00	\$ 11,948.00	
Kitchen Equipment Installation	\$ 4,324.50	\$ 4,324.50	\$ 2,500.00	
Sun Shading	\$ 3,000.00	\$ 3,000.00	\$ 3,000.00	
	\$ 44,678.50	\$ 44,678.50	\$ 57,948.00	
Total Florida Restorations	\$ 147,305.00			

Hutchinson Development	Romen Noodle	Slider Shack	Planet Pastries	
Windows	\$ 5,090.00	\$ 5,090.00	\$ 5,090.00	
Plumbing	\$ 6,100.00	\$ 7,100.00	\$ 7,000.00	
HVAC	\$ 4,000.00	\$ 4,000.00	\$ 4,000.00	
Framing	\$ 507.00	\$ 507.00	\$ 507.00	
Walls	\$ 3,250.00	\$ 3,250.00	\$ 3,250.00	
Electrical	\$ 16,000.00	\$ 15,000.00	\$ 17,500.00	
Ventilation/Exhaust	\$ -	\$ 18,608.00	\$ 11,948.00	
Kitchen Equipment Installation	\$ -	\$ 8,649.00	\$ 2,500.00	
Sun Shading	\$ 3,000.00	\$ 3,000.00	\$ 3,000.00	
	\$ 37,947.00	\$ 65,204.00	\$ 54,795.00	
Total Hutchinson Development	\$ 157,946.00			

OWNERSHIP EVIDENCE



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company
THE FORGE AT MADISON COMMONS, LLC

Filing Information

Document Number	L22000204898
FEI/EIN Number	88-2057034
Date Filed	04/29/2022
Effective Date	04/29/2022
State	FL
Status	ACTIVE

Principal Address

343 NE 1st Ave
OCALA, FL 34470

Changed: 01/30/2025

Mailing Address

805 S Magnolia Ave Ste A
OCALA, FL 34471

Changed: 01/30/2025

Registered Agent Name & Address

Gibson, Joel
805 S Magnolia Ave Ste A
OCALA, FL 34471

Name Changed: 01/30/2025

Address Changed: 01/30/2025

Authorized Person(s) Detail

Name & Address

Title MGR

GIBSON, JOEL
1435 SE 73rd Place
OCALA, FL 34480

Annual Reports

Report Year	Filed Date
2024	02/02/2024
2024	06/11/2024
2025	01/30/2025

Document Images

<u>01/30/2025 -- ANNUAL REPORT</u>	View image in PDF format
<u>06/11/2024 -- AMENDED ANNUAL REPORT</u>	View image in PDF format
<u>02/02/2024 -- ANNUAL REPORT</u>	View image in PDF format
<u>02/15/2023 -- ANNUAL REPORT</u>	View image in PDF format
<u>04/29/2022 -- Florida Limited Liability</u>	View image in PDF format

2025 FLORIDA LIMITED LIABILITY COMPANY ANNUAL REPORT

DOCUMENT# L22000204898

Entity Name: THE FORGE AT MADISON COMMONS, LLC

Current Principal Place of Business:

343 NE 1ST AVE
OCALA, FL 34470

Current Mailing Address:

805 S MAGNOLIA AVE STE A
OCALA, FL 34471 US

FEI Number: 88-2057034

Certificate of Status Desired: No

Name and Address of Current Registered Agent:

GIBSON, JOEL
805 S MAGNOLIA AVE STE A
OCALA, FL 34471 US

The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.

SIGNATURE: JOEL GIBSON

01/30/2025

Electronic Signature of Registered Agent

Date

Authorized Person(s) Detail :

Title MGR
Name GIBSON, JOEL
Address 1435 SE 73RD PLACE
City-State-Zip: Ocala FL 34480

I hereby certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath; that I am a managing member or manager of the limited liability company or the receiver or trustee empowered to execute this report as required by Chapter 605, Florida Statutes; and that my name appears above, or on an attachment with all other like empowered.

SIGNATURE: JOEL GIBSON

MGR

01/30/2025

Electronic Signature of Signing Authorized Person(s) Detail

Date

SITE CONDITIONS

SITE CONDITIONS – 343 NE 1ST AVE



IMAGE 1

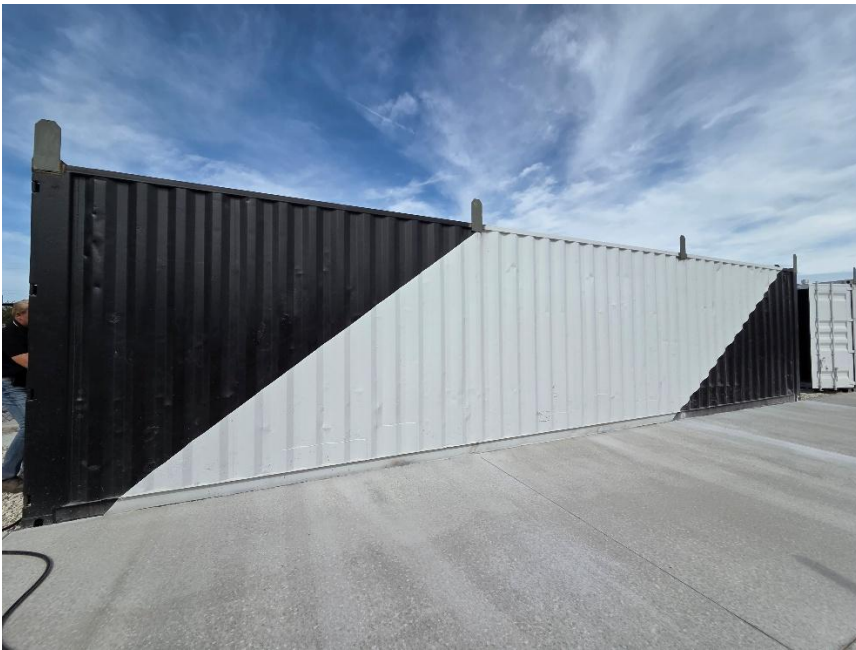


IMAGE 2



IMAGE 3

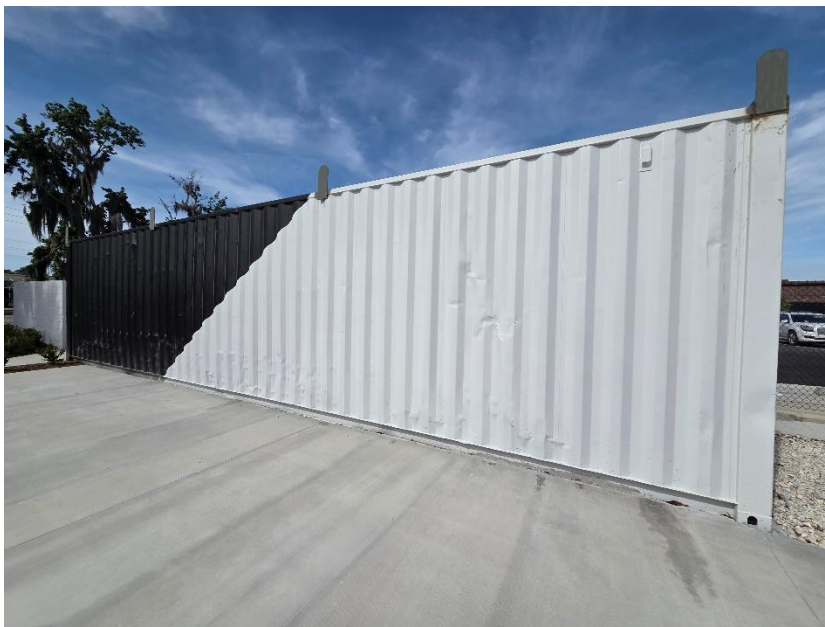


IMAGE 4



BEFORE



AFTER



AFTER

**TAX BILL REVIEW
PROPERTY TAXES CURRENT
AND FULLY PAID**

Jimmy H. Cowan, Jr., CFA

Marion County Property Appraiser



501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

2026 Property Record Card

28234-010-00

[GOOGLE Street View](#)

Prime Key: 1262283

[MAP IT+](#)

Current as of 4/2/2026

Property Information

FORGE AT MADISON COMMONS LLC
C/O THE FORGE
343 NE 1ST AVE UNIT 5
OCALA FL 34470

Taxes / Assessments:

Map ID: 179

Millage: 1001 - OCALA

[M.S.T.U.](#)

[PC:](#) 21

Acres: 2.64

[More Situs](#)

Situs: 343 NE 1ST AVE BLDG 100
OCALA

2025 Certified Value

Land Just Value	\$459,992
Buildings	\$301,601
Miscellaneous	\$49,188
Total Just Value	\$810,781
Total Assessed Value	\$810,781
Exemptions	\$0
Total Taxable	\$810,781

Ex Codes:

History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$459,992	\$301,601	\$49,188	\$810,781	\$810,781	\$0	\$810,781
2024	\$459,992	\$287,360	\$49,188	\$796,540	\$796,540	\$0	\$796,540
2023	\$459,992	\$561,695	\$49,188	\$1,137,810	\$1,137,810	\$0	\$1,137,810

Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
7832/1776	07/2022	07 WARRANTY	4 V-APPRAISERS OPINION	Q	I	\$1,300,000
7227/0369	07/2020	07 WARRANTY	2 V-SALES VERIFICATION	U	I	\$1,800,000
6643/1110	09/2017	94 ROAD AB	0	U	V	\$100
5895/1636	07/2013	09 EASEMNT	0	U	I	\$100
2933/0363	04/2001	07 WARRANTY	2 V-SALES VERIFICATION	Q	I	\$650,000
1420/1366	04/1987	07 WARRANTY	0	Q	I	\$350,000
0921/0268	10/1978	07 WARRANTY	0	U	I	\$100

Property Description

SEC 17 TWP 15 RGE 22
PLAT BOOK A PAGE 114

[Privacy - Terms](#)

WESTON CENTRAL CITY

LOTS 10 THRU 19 & UNNUMBERED LOT LYING E OF & ADJ TO LOT 10

ALL OF THE ABOVE ALSO BEING DESC AS FOLLOWS:

LOTS 10.11.12.13.14.15.16.17.18.19 &

THAT CERTAIN PLOT OF LAND 39 FT IN WIDTH N & S BEING

BOUNDED ON THE N BY LOTS 12.13.14 ON THE E BY OSCEOLA ST ON THE

S BY LOTS 15.17.18 ON THE W BY MAIN ST &

COM AT A PT 429 FT E & 339 FT N OF THE SW COR OF GOV LOT 2

OF SEC 27 TH N 52 YRDS (156 FT) TH W 70 YRDS (210 FT) TO

THE NE COR OF LOT 10 TH S 52 YRDS (156 FT) TH E 70 YRDS

(210 FT) MOL TO THE POB

[Land Data - Warning: Verify Zoning](#)

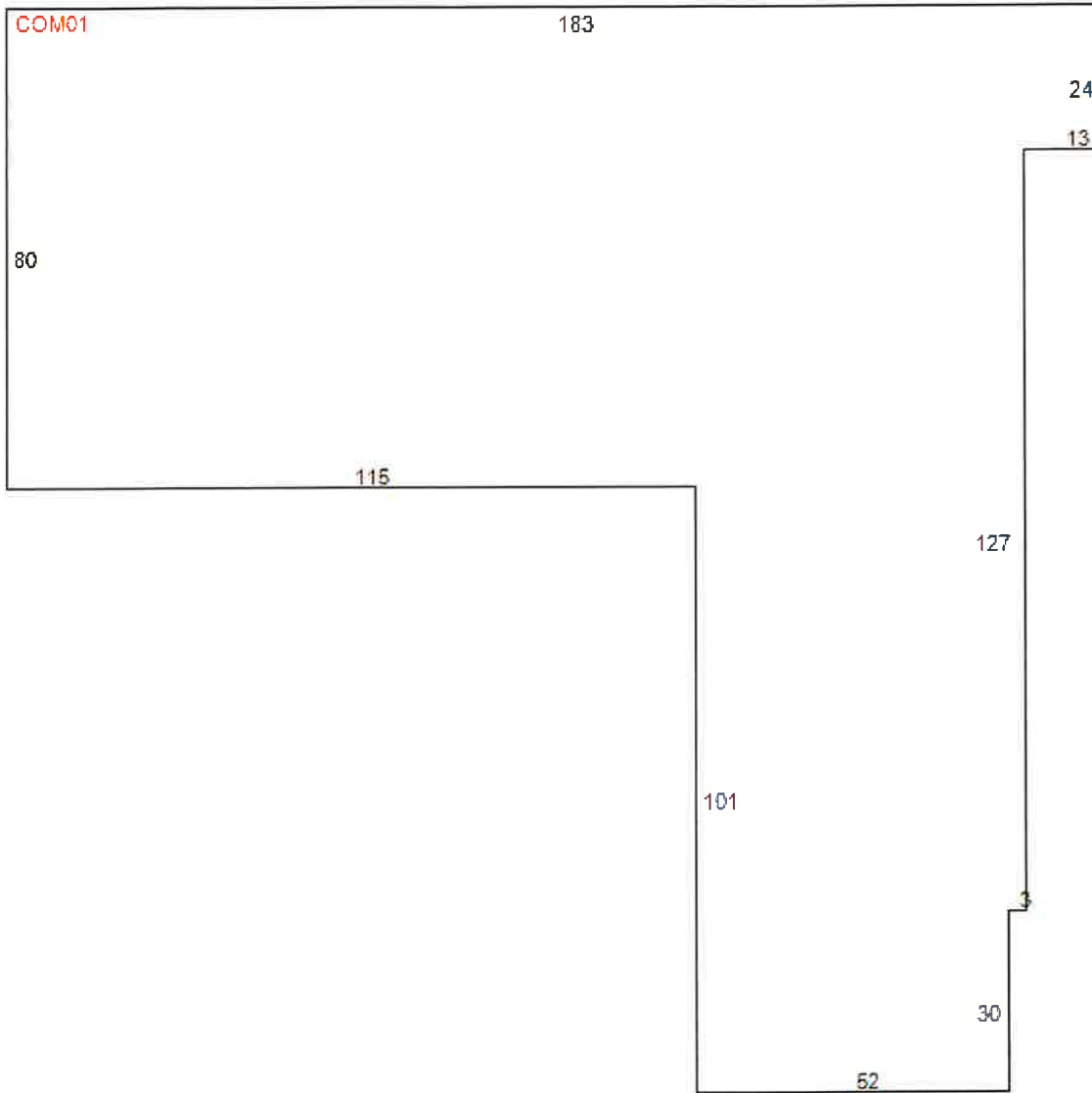
Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class	Value	Just Value
GCSF	2100	232.0	495.0	FBC	114,998.00	SF							
Neighborhood 9979													
Mkt: 2 70													

[Traverse](#)

Building 1 of 2

COM01=L115U80R183D24L13D127L3D30L52U101.

MZS02=2410.
2410



Building Characteristics

Structure	4 - MASONRY NO PILAST	Year Built 1920
Effective Age	9 - 40-99 YRS	Physical Deterioration 0%
Condition	0	Obsolescence: Functional 0%
Quality Grade	500 - FAIR	Obsolescence: Locational 0%
Inspected on	2/27/2024 by 117	Base Perimeter 728

Exterior Wall 24 CONC BLK-PAINT

Section	Wall Height	Stories	Year Built	Basement %	Ground Flr Area	Interior Finish	Sprinkler	A/C
1	18.0	1.00	1920	0	19,377	M00 MINIMUM FINISH	100 %	N N
2	12.0	1.00	1920	0	2,410	MZS MEZZANINE STOR	100 %	N N

Section: 1

Elevator Shafts: 0	Aprtments: 0	Kitchens: 0	4 Fixture Baths: 0	2 Fixture Baths: 0
Elevator Landings: 0	Escalators: 0	Fireplaces: 0	3 Fixture Baths: 0	Extra Fixtures: 0

Traverse

Building 2 of 2

IND01=R171D40L171U40.
 UCN02=L20D30R20U30.D30
 PTO03=L20D10R20U10.

UCN02	IND01	171	
30	30		40
	20		
PTO03	IND01	171	
10	20		

Building Characteristics

Structure 4 - MASONRY NO PILAST
Effective Age 9 - 40-99 YRS
Condition 0
Quality Grade 200 - LOW
Inspected on 2/27/2024 by 117

Year Built 1947
Physical Deterioration 0%
Obsolescence: Functional 0%
Obsolescence: Locational 0%
Base Perimeter 422

Exterior Wall 18 PREFINISHED MTL24 CONC BLK-PAINT

Section	Wall Height	Stories	Year Built	Basement %	Ground Flr Area	Interior Finish	Sprinkler	A/C
1	14.0	1.00	1947	0	6,840	M48 WAREHOUSE/DISTRIBUTE	100 %	N N
2	12.0	1.00	1947	0	600	UCN CANOPY UNFIN	100 %	N N
3	1.0	1.00	1947	0	200	PTO PATIO	100 %	N N

Section: 1

Elevator Shafts: 0 Aprtments: 0 Kitchens: 0 4 Fixture Baths: 0 2 Fixture Baths: 1
 Elevator Landings: 0 Escalators: 0 Fireplaces: 0 3 Fixture Baths: 0 Extra Fixtures: 1

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
144 PAVING ASPHALT	25,155.00	SF	5	1980	1	0.0	0.0
105 FENCE CHAIN LK	569.00	LF	20	1980	5	0.0	0.0
144 PAVING ASPHALT	41,395.00	SF	5	1980	3	0.0	0.0
159 PAV CONCRETE	2,291.00	SF	20	1980	3	0.0	0.0
159 PAV CONCRETE	125.00	SF	20	2002	3	0.0	0.0
159 PAV CONCRETE	960.00	SF	20	2002	5	16.0	60.0

Appraiser Notes

THE FORGE AT MADISON COMMONS (2025)
 -
 BLDG01=
 1ST FLOOR= MIXED USE INCLUDING IGNITE ASIAN FUSION & THE HAMMOCK TAPAS
 2ND FLOOR= FUTURE BLIND EYE BAR.
 -
 BLDG02= NO DBA POSTED / STORAGE
 -
 ALUMINUM FENCING OWNED BY CITY JUST OFF THE PROPERTY LINE

Planning and Building
** Permit Search **

Permit Number	Date Issued	Date Completed	Description
ROW25-0525	11/18/2025	-	343 NE 1ST AVE (INSTALL STREETLIGHT CONDUIT)
BLD25-2442	10/20/2025	12/12/2025	FORGE AT MADISON DUMP PAD
BLD25-2132	10/9/2025	-	FORGE CONEX BOX 1 FOOTERS
BLD25-2202	10/9/2025	-	THE FORGE CONEX FOOTER INSTALL
BLD25-2203	10/9/2025	-	THE FORGE CONEX FOOTER INSTALL
FAL25-0021	8/25/2025	-	THE FORGE INT BUILDOUT FAL
FUGFL25-0012	5/31/2025	-	FORGE AT MADISON FUGFL BACKFLOW
HAR25-0527	5/29/2025	-	THE FORGE INTERIOR BUILD OUT
ELE25-0539	5/29/2025	-	THE FORGE INTERIOR BUILD OUT ELE
FHD25-0003	3/21/2025	-	FORGE AT MADISON/INT RENO
SGN25-0003	2/3/2025	-	THE FORGE SIGN
PLM24-0859	12/27/2024	-	THE FORGE INTERIOR BUILD OUT
BLD24-0905	11/20/2024	-	THE FORGE INTERIOR BUILD OUT
BLD24-2563	10/27/2024	-	FORGE AT MADISON COMMONS REROOF
BLD24-2073	9/19/2024	-	DOWNTOWN OCALA REROOF
DEMO23-0085	7/18/2023	-	FORGE / DEMO BLDG D
BLD22-2282	8/18/2022	-	THE FORGE / INT DEMO
BLD20-2322	11/23/2020	-	BRICK CITY CHURCH / DOOR
BLD13-1683	12/31/2013	-	CITY CHURCH
OC01111	8/26/2010	-	OCALA ZUMBA RENO.
OCO1543	6/1/2005	-	REPAIR
OC01621	8/1/2004	-	FOUNDATION REMEDIATION
OC01614	10/1/2002	-	16 X 60 SLAB
OC00426	3/1/2002	-	CMRA, BLDG03
OC01403	8/1/2001	-	CMRA, CALVARY
OC00491	4/1/2000	-	RE-ROOF
OC00907	6/1/1997	-	CMRA CHURCH
OC00610	4/1/1997	-	CMRA
OC00589	4/1/1995	-	CMRA
OC00370	3/1/1994	-	ROOF
OC02080	12/1/1993	-	ROOF



Tax Roll Property Summary							Help
Account Number		R28234-010-00		Type	REAL ESTATE	Request Future E-Bill	
Address		343 NE 1ST AVE ALL UNITS OCALA			Status		
Sec/Twn/Rng		17 15 22		Subdivision	9979		
Year	Roll	Account Number	Status	Date Paid	Amount Paid	Balance Due	
2011	R	2011 R28234-010-00	PAID	11/2011	12,834.51	Tax Bill	
2012	R	2012 R28234-010-00	PAID	03/2013	12,700.78	Tax Bill	
2013	R	2013 R28234-010-00	PAID	12/2013	13,160.80	Tax Bill	
2014	R	2014 R28234-010-00	PAID	02/2015	13,538.86	Tax Bill	
2015	R	2015 R28234-010-00	PAID	01/2016	14,539.91	Tax Bill	
2016	R	2016 R28234-010-00	PAID	11/2016	14,094.33	Tax Bill	
2017	R	2017 R28234-010-00	PAID	12/2017	14,100.04	Tax Bill	
2018	R	2018 R28234-010-00	PAID	02/2019	14,507.73	Tax Bill	
2019	R	2019 R28234-010-00	PAID	11/2019	14,704.30	Tax Bill	
2020	R	2020 R28234-010-00	PAID	03/2021	15,173.29	Tax Bill	
2021	R	2021 R28234-010-00	PAID	03/2022	21,151.25	Tax Bill	
2022	R	2022 R28234-010-00	PAID	11/2022	21,583.36	Tax Bill	
2023	R	2023 R28234-010-00	PAID	12/2023	26,278.52	Tax Bill	
2024	R	2024 R28234-010-00	PAID	03/2025	21,017.76	Tax Bill	
2025	R	2025 R28234-010-00	PAID	03/2026	21,044.35	Tax Bill	

CURRENT ACCOUNT DETAILS

Account Number	2025	R28234-010-00	Tax Bill
-----------------------	------	---------------	--------------------------

Property Description				Owner Information		
SEC 17 TWP 15 RGE 22 PLAT BOOK A PAGE 114 WESTON CENTRAL CITY LO TS 10 THRU 19 & UNNUMBERED LOT L YING E OF & ADJ TO LOT 10 ALL OF THE ABOVE ALSO BEING DESC AS FO LLOWS: LOTS 10.11.12.13.14.15.16				FORGE AT MADISON COMMONS LLC 101 E SILVER SPRINGS BLVD STE #301 OCALA FL 34470		
Current Values and Exemptions				Taxes and Fees Levied		
ASSESSMENT	810,781			TAXES	13,894.35	
TAXABLE	810,781			SP. ASMT	7,150.00	
MAR 31 2026	APR 30 2026	MAY 31 2026	CERTIFIED	FUNDS	PAST DUE ON	
21,044.35	21,675.68	21,681.58	AFTER	APRIL 30 2026	APR 1 2026	
Post Date	Receipt #	Pmt Type	Status	Disc	Interest	Total
03/15/2026	995 2025 0051406.0001	Full	Pmt Posted	\$.00	\$.00	\$21,044.35

Links of Interest

- [LINK TO PA GIS](#)
[LINK TO PROPERTY APPRAISER WEB](#)

DOWNTOWN OCALA FRAMEWORK



CRA Subarea: **Downtown**

Framework Commercial Building Improvement Grant

ELIGIBLE AREA

Properties within the Downtown Ocala CRA boundary.

ELIGIBLE APPLICANT

Property owner or business owner.

ELIGIBLE BUSINESS

New & existing businesses; Retail, office. Residential on upper floors. Places of worship and residential rental properties are not considered as commercial buildings or businesses for the purpose of this grant.

ELIGIBLE PROPERTIES AND BUILDINGS

Existing buildings only; not for new construction.

Taxable & non-taxable properties; taxable properties are priority.

ELIGIBLE WORK

FACADES - For facades, the intent of this grant is to target projects that undertake a comprehensive restoration of facades that were inappropriately altered and /or renovations that make the building more in compliance with form-based code design and development requirements.

Examples of work items that would be eligible as a comprehensive project:

Painting, Doors, Windows And Signage - only as a component of major restoration or renovation project.

Metal Awnings – Eligible in any type of project.

INTERIOR RENOVATIONS - For interior renovations, the intent of this grant is to target projects that involve comprehensive renovation, such as new tenant build-out of vacant space. These projects would typically involve changes to these building components:

- Structural
- Cosmetic, material change outs – flooring, ceiling
- Fixtures, furniture, equipment
- Improvements to meet Building & Fire Codes for Accessibility, Fire Protection and Life Safety
- HVAC, plumbing, electric
- Conversion of upper floor space to residential

INELIGIBLE WORK

- Routine maintenance procedures, such as painting or minor repairs to existing materials alone, are not eligible; for a grant but may be a component of a larger project.
- Work in progress or performed before approval will not be eligible.
- Reroofing;
- Parking lot improvements



Community Redevelopment Agency (CRA)

CRA Subarea: **Downtown**

INELIGIBLE BUSINESSES

The following business do not fit the vision for downtown and as such are not eligible for either grant.

- Adult Oriented Businesses
- Tattoo Parlors/Shops
- Beauty Salons/Nail Shops on first floor
- Bail / Bonds
- Drug or Alcohol Treatment Facility
- Check Cashing Service
- Pawn Shops
- Used Clothing Consignment or Other Used Merchandise
- Auto Oriented Businesses – Auto repair & services; gas stations
- Dollar or Discount Stores
- Electronic or Vapor Cigarette Store

DESIGN GUIDELINES

All improvements are subject to Downtown Form Based Code

MAXIMUM GRANT

\$50,000 (Reimbursement)

REQUIRED MATCH

The City covers 50%, the applicant covers 50%.



Ocala

Legislation Text

110 SE Watula Avenue
Ocala, FL 34471

www.ocalafl.gov

File #: 2026-1101

Agenda Item #: 5c.

Submitted By: Edwin R. Carreras Rivera, Esq.

Presentation By: Roberto Ellis

Department: Growth Management

FORMAL TITLE:

West Ocala Community Redevelopment Area Residential Property Improvement Grant for property located at 2052 SW Second Street, in an amount not to exceed \$5,216

OCALA'S RELEVANT STRATEGIC GOALS:

Quality of Place

PROOF OF PUBLICATION:

N/A

BACKGROUND:

Program Objective

The West Ocala Community Redevelopment Area (CRA) Residential Property Improvement Grant is designed to incentivize reinvestment in aging structures, address blight conditions, and enhance livability and taxable value. Funding is provided through the CRA trust fund consistent with the adopted CRA Plan and Florida Statutes (Chapter 163, Part III).

Project Summary

Grant ID: CRA26-0008

Applicant: Lisa Coleman

Address: 2052 SW Second Street

Parcel ID: 2260-153-017

Scope of Work: The proposed project involves the complete installation of perimeter fencing.

Quote(s): Low Quote: \$6,954, High Quote: \$8,443

Recommended Grant Amount: \$5,216

Property Information

This property is a single-family residence built in 1992. It has a taxable value of \$68,604, a structure size of 2,851 square feet, and sits on a 0.28-acre lot. The home includes three bedrooms and two bathrooms.

Maximum Grant Amount

The maximum grant amount is \$20,000, covering up to 75 percent (\$5,216) of project costs based on the lowest quote. The attached grant framework outlines the elements of eligible work.

FINDINGS AND CONCLUSIONS:

Eligibility Review

Staff verified the property location within the CRA, compliance with the program guide, and confirmed that work will begin after approval.

The scope addresses conditions of slum and blight in an area with a high share of aging housing stock and substandard structures, improving livability, visual quality, and economic development prosperity.

Site Visit Review

The application was initially submitted in October of 2025, but was not deemed complete. The applicant completed the application on February 20, 2026, and staff conducted a site visit on February 27, 2026, confirming the scope and quotes.

Staff observed that the scope of work is warranted, as installing or replacing perimeter fencing improves safety and visual quality, aligning with West Ocala's residential improvement priorities. The home is the applicant's primary residence. The current scope of work includes the complete installation of a six-foot white vinyl/PVC privacy fence with one double gate and one single gate. Property taxes are current and paid in full.

CRA Plan Compliance

The proposed project aligns with the West Ocala CRA Redevelopment Plan, supporting goals to improve community facilities, enhance gateways, and remediate blighted properties, and is in accordance with Goal 3 - Improve vacant, dilapidated, and nuisance properties, including Objectives 4, 6, and 7 - Establish remediation programs, seek partnerships, and identify areas for new housing opportunities.

CRA Advisory Committee Recommendation

The CRA Advisory Committee recommended approval at their March 26, 2026, meeting.

Staff Recommendation

Refer to the attached attachments, including the case and aerial maps, staff supporting documents, the West Ocala CRA Grant framework, and the CRA26-0008 application packet.

Staff recommends approval.

FISCAL IMPACT:

Adequate funding is available in the West Ocala CRA Grants account 623-016-560-559-55-82010.

Reimbursement occurs after the approved scope of work is completed and verified. The payment will be made in the fiscal year when the project is completed and verified.

PROCUREMENT REVIEW:

N/A

LEGAL REVIEW:

N/A

ALTERNATIVE:

- Approve
- Approve with Changes
- Table
- Deny

APPLICATION PACKAGE

CRA26-0008

SUMMARY REPORT

Parcel Id: 2260-153-017
Parcel Address: 2052 SW 2ND ST,
OCALA, FL 34471

FUNDING REQUEST

Description: Reimbursement
Eligible Cost Total: \$12,000.00
Total Estimated Project Cost:
\$10,000.00
Total Funding Requested:
\$10,000.00
Funding Requested Ratio: 1

PROJECT DETAILS

Project Name: CRA26-0008
Description: Vinyl fencing to enclose
the back and side yards.
Applicant Type: Residential Property
Owner
Applicant Name: Lisa Coleman

PROJECT TIMELINE

- Anticipated completion date**
18 Apr 2026
- Anticipated start date**
01 Apr 2026
- Final Reviewed by CRA Staff**
12 Mar 2026
- Application Started**
21 Oct 2025

Summary Report

Project Details

Project Name

CRA26-0008

Description

Vinyl fencing to enclose the back and side yards.

Applicant Type

Residential Property Owner

Applicant Name

Lisa Coleman

Parcels

Parcel ID

2260-153-017

Address

2052 SW 2ND ST, MARION, OCALA, FL, 34471

Relationship To City

Relationship To City - Intention

Unknown

Funding Request

Description

Reimbursement

Eligible Costs Total

\$12,000.00

Total Estimated Project Cost

\$10,000.00

Total Funding Amount Requested

\$10,000.00

Timeline

Phase 1 Name

Anticipated start date

Phase 1 Date

December 1, 2025

Phase 2 Name

Anticipated completion date

Phase 2 Date

December 5, 2025

KPI Compliance

Title

KPI Type

Recurrence Type

Compliance Status

No data

Developer Info

Applicant / Primary Contact Information

Applicant Type

Residential Property Owner

Name

Lisa Coleman

Business Profile

Business Name

No Information Entered

Phone

No Information Entered

Email

No Information Entered

Physical Address

No Information Entered

Mailing Address

No Information Entered

Years In Business

N/A

Relationship To City

Intention

Unknown

Developer History

Developer

Lisa Coleman

Company

No Information Entered

Contact

lisa.coleman@marion.k12.fl.us

Address

Not Entered

Property Information

Proposed Changes

Estimated Future Assessed Value

\$0.00

Parcels

2052 SW 2ND ST

Parcel ID

2260-153-017

Address

2052 SW 2ND ST

Current Key Details

Last Assessment:2022 - \$112,585.00

Renovations Construction Activities

Exterior - Other

Renovations Construction Activities

No Information Entered

New Construction Construction Activities

No Information Entered

New Construction Construction Activities

No Information Entered

New Construction Construction Activities

No Information Entered

Eligible Costs

Exterior Painting

No Information Entered

Estimated cost of painting project \$0.00

Estimated cost of pressure washing \$0.00

Sub Total \$0.00

Repair/repalcement of exterior windows and/or doors

No Information Entered

Estimated cost of windows \$0.00

Estimated cost of doors \$0.00

Sub Total \$0.00

Demolition

No Information Entered

Estimated cost of demoliton and cleanup \$0.00

Sub Total \$0.00

New landscaping (only include areas visible from the street/sidewalk)

No Information Entered

Estimated cost of landscaping \$0.00

Sub Total **\$0.00**

Fencing (sides and rear only)

No Information Entered

Estimated cost of fencing \$12,000.00

Sub Total **\$12,000.00**

Reroofing

No Information Entered

Estimated cost of reroofing \$0.00

Sub Total **\$0.00**

Weatherization (HVAC and Insulation)

No Information Entered

Estimated cost of HVAC \$0.00

Estimated cost of insulation improvements \$0.00

Sub Total **\$0.00**

New construction

No Information Entered

Estimated cost of new construction \$0.00

Sub Total **\$0.00**

Financial Details

Fund Request

Fund Request Reimbursement

Eligible Costs Total \$12,000.00

Total Estimated Project Cost	\$10,000.00
Total Funding Amount Requested	\$10,000.00
Up Front Funding Amount Requested	Not Specified
Pay Go Funding Amount Requested	Not Specified

Funding Program Initiative Assignments

West Ocala CRA

Funding Source - Indicate how you intend to fund the project. Note - Applicant will cover all upfront costs; the incentive will be provided as a reimbursement after project completion.

Indicate how you intend to fund the project.

Note - Applicant will cover all upfront costs; the incentive will be provided as a reimbursement after project completion.

Grants	
Personal Savings	
Loan / Credit Card	\$5,000.00
Other	\$5,000.00
Sub Total	\$10,000.00

Additional Notes / Comments

Estimated Timeline

December 1, 2025

Anticipated start date	Responsible Party
Estimated date of the start of the project	Applicant
December 5, 2025	
Anticipated completion date	Responsible Party
Estimated date of the completion of the project	Applicant



Parties

Authorized Representative

Business Name	Business EIN
No Information Entered	No Information Entered
Contact Name	Address
Phone Number	

Documentation Collection

Documentation Collected From Applicant

1		
File Name	Uploaded Date	
 Citizens Insurance Declarations page.docx	10/21/2025	
2		
File Name	Uploaded Date	
 Coleman Fencing Site Plan.pdf	10/21/2025	

3

Declarations

Conflict of Interest Disclosures:

Is any owner of the business and / or land / building, or any tenant, or any of the project developers an elected official or appointed official or related to an elected official or appointed official, or routinely contracts to provide goods or services to the governing body (West Ocala Residential Improvement Grant)

Applicant Answer: No

Declarations:

General Conditions It is expressly understood and agreed that the applicant shall be solely responsible for all safety conditions and compliance with all safety regulations, building codes, ordinances, and other applicable regulations. It is expressly understood and agreed that the applicant will not seek to hold the City of Ocala, the Grant Review Committee (Committee) and/or its agents, employees, board members, officers and/or directors liable for any property damage, personal injury, or other loss relating in any way to the Program. It is expressly understood and agreed that the applicant will hold harmless the City, its agents, officers, employees and attorneys for all costs incurred in additional investigation or study of, or for supplementing, redrafting, revising, or amending any document (such as an Environmental Impact Report, specific plan, or general plan amendment) if made necessary by said proceeding and if the applicant desires to pursue such approvals and/or clearances, after initiation of the proceeding, which are conditioned on the approval of these documents. The applicant authorizes the City of Ocala to promote any approved project including but not limited to displaying a sign at the site, during and after construction, and using photographs and descriptions of the project in City of Ocala materials and press releases. If the applicant fails to perform the work approved by the Committee, the City reserves the right to cancel the grant. The applicant also understands that any work started/completed before the application is approved by the Committee is done at their own risk, and that such work will jeopardize their grant award. Completion of this application by the applicant DOES NOT guarantee that grant monies will be awarded to the applicant.

Applicant Answer: Yes

I have read and understand the terms and conditions of the Program and agree to the general conditions and terms outlined in the application process and guidelines of the Program.

Applicant Answer: Yes

2052 SW 2ND ST - 10/21/2025

Applicant Information

Applicant / Primary Contact Information

Name	Type
Lisa Coleman	Residential Property Owner

Questions

1. How long have you owned / lived at the current location?

Ans. 32 years

Property Information

Parcel Id	Parcel Address	
2260-153-017	2052 SW 2ND ST, OCALA, FL, 34471	
Last Assessment	Previous Year Assessment	Districts
9/15/2023 - \$112,585.00	No information available	West Ocala CRA, Ocala Wide District, OEU District

Project Details

Details

Proposed Use
No information entered
No information entered

Public Improvements
No information entered

Estimated Future Assessed Value
No information entered

Proposed Square Footage
No information entered

Improvements Requested

Estimated Future Tax
No information entered

Construction Activities - 2052 SW 2ND ST OCALA FL 34471

Renovations

✓ Exterior - Other

Eligible Costs

Exterior Painting

Estimated cost of painting project \$0.00
Estimated cost of pressure washing \$0.00
Sub Total: \$0.00

Repair/repalcement of exterior windows and/or doors

Estimated cost of windows \$0.00
Estimated cost of doors \$0.00
Sub Total: \$0.00

Demolition

Estimated cost of demoliton and cleanup \$0.00
Sub Total: \$0.00

New landscaping (only include areas visible from the street/sidewalk)

Estimated cost of landscaping \$0.00
Sub Total: \$0.00

Fencing (sides and rear only)

Estimated cost of fencing \$12,000.00
Sub Total: \$12,000.00

Reroofing

Estimated cost of reroofing \$0.00
Sub Total: \$0.00

Weatherization (HVAC and Insulation)

Estimated cost of HVAC \$0.00

New construction

Estimated cost of new construction \$0.00

Estimated cost of insulation improvements \$0.00
Sub Total: \$0.00

Sub Total: \$0.00

Financing Details

Fund Request

Funding Request	Reimbursement
Eligible Costs Total	\$12,000.00
Total Estimated Project Cost	\$10,000.00
Total Funding Amount Requested	\$10,000.00

Funding Source - Indicate how you intend to fund the project. Note - Applicant will cover all upfront costs; the incentive will be provided as a reimbursement after project completion.

Grants	\$0.00
Personal Savings	\$0.00
Loan / Credit Card	\$5,000.00
Other	\$5,000.00
Sub Total	\$10,000.00

Project Description and Bids

Questions

1. Please explain the purpose of and need for the proposed improvements.

Ans. For added security and privacy.

2. Will the proposed improvements be made without the assistance of the grant program? If not, please explain.

Ans. No

3. If not, please explain

Ans. The grant reimbursement will be needed for this project.

4. If necessary, attach additional documentation addressing the above.

Ans. No information entered

5. Bid 1 Amount

Ans. \$10,056

6. Bid 1 Upload

Ans. David Bell - fence estimate.pdf

7. Bid 2 Amount

Ans. \$6,731

8. Bid 2 Upload

Ans. Fence Outlet Quote - Coleman.pdf

Timeline

Anticipated start date

Date

12/02/2025

Description

Estimated date of the start of the project

Anticipated completion date

Date

12/06/2025

Description

Estimated date of the completion of the project

Parties

Authorized Representative

Business Name

No information entered

EIN

No information entered

First Name

No information entered

Last Name

No information entered

Phone Number

No information entered

Email

No information entered

Address

No information entered

Documentation Collection

Documents

1. **Name:** Citizens Insurance Declarations page.docx **Uploaded Date:** 10/21/2025 8:19:34 PM

2. **Name:** Coleman Fencing Site Plan.pdf **Uploaded Date:** 10/21/2025 8:30:11 PM

Questions

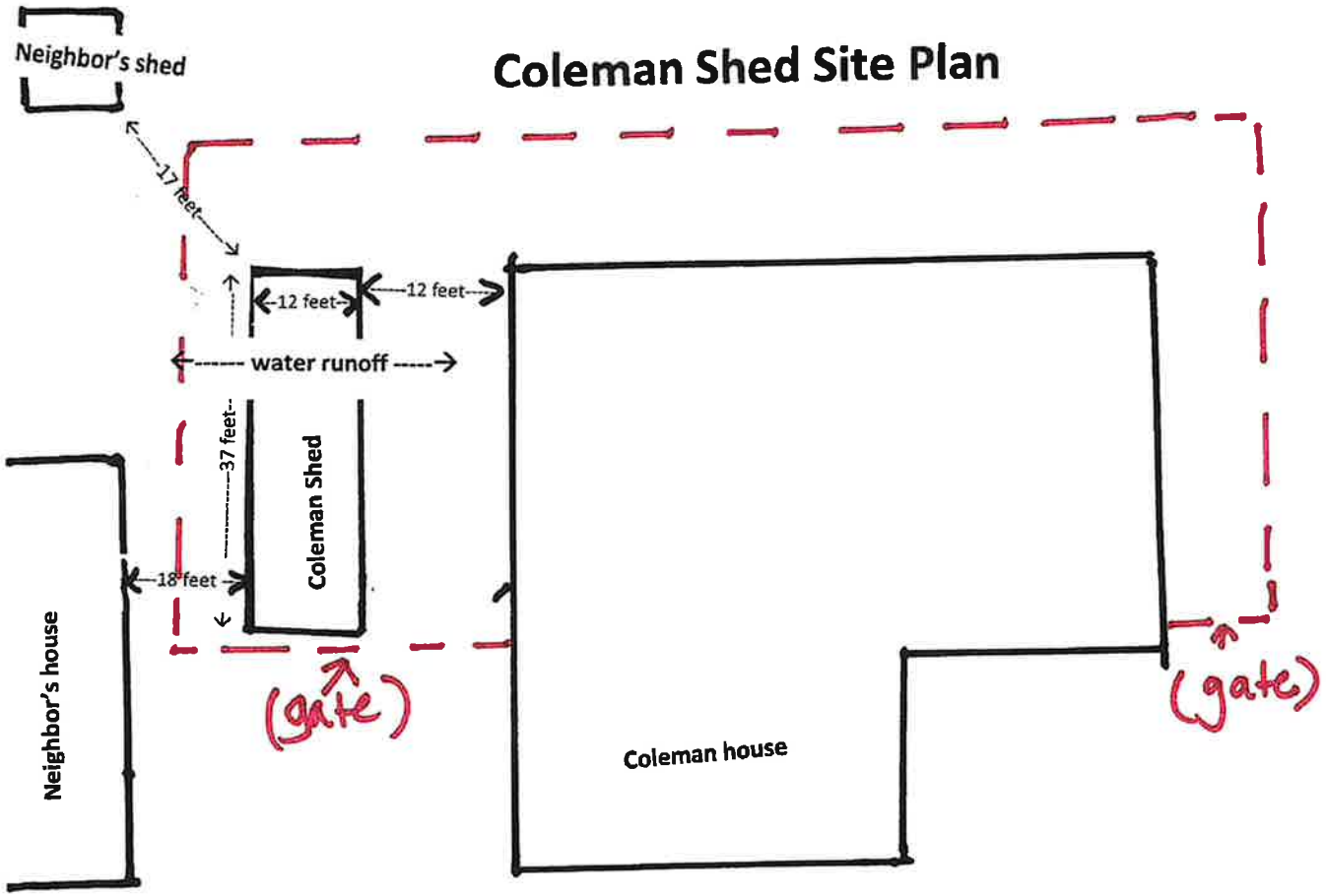
1. Document Checklist

Ans. Proof of Ownership and homestead status,Color photographs of the existing conditions,Color photo examples of proposed colors (as applicable) ,Project Schedule,Project budget, showing detailed estimates for all work items,At least 2 competitive bid proposals from contractors (licensed within the City of Ocala),Any other documentation necessary to illustrate the visual impact of the proposed project,Provide proof of property or liability content insurance (as applicable),Building Plans or Site Plans (If permits are required)

Declarations

Name: Lisa Coleman
Date: 10/21/2025

Coleman Shed Site Plan



--- = Fencing



Fence Outlet of Port Richey Inc
 11507 US-19
 Port Richey , FL 34668

ID : 00219766
 Coleman, Lisa Or Kenneth
 Quote On : March 02, 2026
 Port Richey

Customer Address

Coleman, Lisa Or Kenneth
 2052 SOUTHWEST 2ND STREET
 OCALA, Florida 34471
 lisa.coleman@marion.k12.fl.us
 (352) 875-8998

Estimate Only

Description of Work

Misc

- 1 ea Install 10 feet of 6X10 T&G PRIVACY DOUBLE DRIVE GATE WHT PKG-KIT
- 1 ea Install 5 feet of 6X5 T&G PRIVACY RACKABLE PVC GATE WHT PKG-KIT
- Install 255 feet of 6X6 T&G PRIVACY PVC FENCE WHT PKG-KIT
- Install 7 feet of 6X8 T&G PRIVACY PVC FENCE WHT PKG-KIT

Paid On	Type	Trans No/Check No	Amount
---------	------	-------------------	--------

Total Due \$6,954.00

Payment - \$0.00

Balance Due \$6,954.00

CS _____

Coleman, Lisa Or Kenneth

Date _____

ES _____

Jarad Marsh

Date _____

Port Richey Office - (727) 857-7590

Jarad Marsh - (727) 359-0535

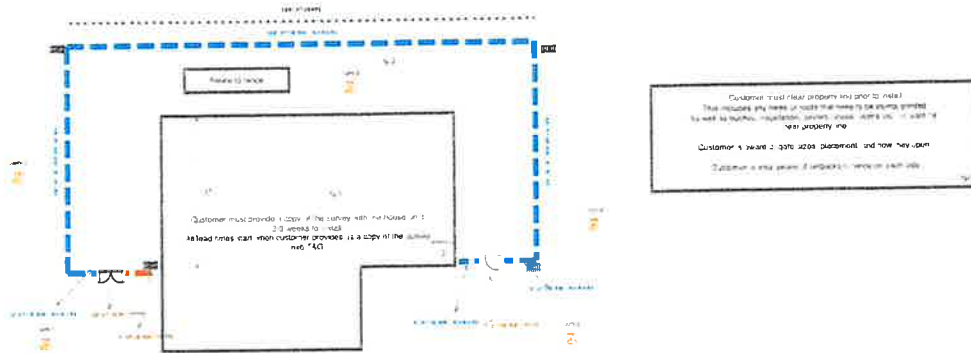
This contract includes the clauses referred to in the attached appendices.

This quote is valid for 10 days.

Layout - L2

ID: 00219766 - Coleman, Lisa Or Kenneth

Quoted on: March 02, 2026 - Port Richey



Legends

X—X—X: (6.0 X 255) ft ea 6X6 T&G PRIVACY PVC FENCE WHITE PKG-KIT

*****: (6.0 X 7) ft ea 6X8 T&G PRIVACY PVC FENCE WHITE PKG-KIT

||||| 4 x Cut Section

*****: 1 (6.0 X 5.0) ea 6X5 T&G PRIVACY RACKABLE PVC GATE WHT PKG-KIT

*****: 1 (6.0 X 10.0) ea 6X10 T&G PRIVACY DOUBLE DRIVE GATE PKG KIT-WHT

Notes

ID: 00219766 - Coleman, Lisa Or Kenneth

Quoted on: March 02, 2026 - Port Richey

N-1: Customer must provide a copy of the survey with the house on it
2-3 weeks to install
All lead times start when customer provides us a copy of the survey
6x6 T&G

N-2: Back line must be cleared prior to install by customer

N-3: Customer must clear property line prior to install
This includes any trees or roots that need to be stump grinded
As well as bushes, vegetation, pavers, sheds, debris etc.. at least 18"
near property line.

Customer is aware of gate sizes, placement, and how they open.

Customer is also aware of setbacks of fence on each side

Questions

ID: 00219766 - Coleman, Lisa Or Kenneth

Quoted on: March 02, 2026 - Port Richey

Is racked gate marked?

Yes Not Needed

Have post caps been discussed?

Yes No

Pool?

Yes/Future No

Have preinstalled photos been taken?

Yes No

Corner lot?

Yes No

Have corner lot setbacks been discussed with customer?

Yes No

Have house setbacks been marked?

Yes No

Fence Line to be cleared by

Fence Outlet Customer No Clearing

Do you live in an HOA community?

Yes No

Will you need HOA/ARC approval?

Yes No

Do you have HOA/ARC approval in hand?

Yes No

Previous fence being taken down by

Fence Outlet Customer Not Needed

Site Pictures

ID: 00219766 - Coleman, Lisa Or Kenneth

Quoted on: March 02, 2026 - Port Richey

Cam - 1 Front Left



Cam - 2 Left



Cam - 3 Rear



Cam - 4 Right



Cam - 5 Front Right



Pool Pictures

ID: 00219766 - Coleman, Lisa Or Kenneth

Quoted on: March 02, 2026 - Port Richey

Screen Enclosure

Yes No

Baby Barrier Fence

Yes No

Pool Vinyl Covers

Yes No

Pool Safety Net Covers

Yes No

Property Pin Photos

ID: 00219766 - Coleman, Lisa Or Kenneth

Quoted on: March 02, 2026 - Port Richey



Grading

ID: 00219766 - Coleman, Lisa Or Kenneth

Quoted on: March 02, 2026 - Port Richey



Port Richey

Grading



Contoured Fences

As the name suggests, a contoured fence follows the lines and contours of the property precisely and is a very common choice by most customers. The top and bottom horizontal rails provide a parallel line to the ground at all points. This type of installation is a very common choice for pets and small children. However, with small changes in grade, small gaps might need to be addressed. The small gaps could be addressed by placing dirt and grass seed or small landscape vegetation to cover the small areas.



Straight Top

If your yard is flat this would be a very common option for most customers. The installation of the fence on a flat yard will look like this, straight across the top, straight across the bottom, with a small gap underneath. The small gaps could be addressed by placing dirt and grass seed or small landscape vegetation to cover the small areas.



Stepped Fence on Slope

If you have a steep slope to contend with, stepped fencing can be one of your options. While it doesn't provide the smooth, even lines of a regular fence, it can accommodate steep slopes without installing an excessively slanted fence line. The significant drawback of stepped fencing is that it leaves a triangular open space between each panel and the sloping ground below. If you have pets or small children, this may not be an acceptable option. So if you need a fully-enclosed fence, you can combine stepped fencing with additional landscaping and fill in the spaces with new soil and grass seed. The larger openings can also be blocked with planters or thick bushes.



Level Top Fence on Slope

If you have a steep slope to contend with, a level top fence can be an option. With this application your fence will be straight across the top and straight across the bottom. However, because of the extreme slope could be a significant drawback because of the large uncovered openings at the bottom of the fence. If you have pets or small children this may not be an acceptable option. So if you choose this option and need a fully enclosed fence, your options are limited and sometimes very costly. You must be aware of your local code restrictions because of the excessive height and spacing changes in some of the areas of the fence.



Racked Fences

The way to match a fence to its slope is to rack it. The racking method means adjusting the fence's rails so that it matches the slope beneath it while the pickets and posts remain vertical. This type of installation is a very common choice for pets and small children. However, with small changes in grade, small gaps might need to be addressed. The small gaps could be addressed by placing dirt and grass seed or small landscape vegetation to cover the small areas.

CS _____

Coleman, Lisa Or Kenneth
2052 SOUTHWEST 2ND
STREET
OCALA, FL 34471
Date _____

ES _____

Jarad Marsh
Fence Outlet Port Richey
Date _____

Appendix A

ID: 00219766 - Coleman, Lisa Or Kenneth

Quoted on: March 02, 2026 - Port Richey



Port Richey

Contract Clause

Fence Outlet will assist the customer, upon request, in determining where the fence is to be erected, but under no circumstances does Fence Outlet assume any responsibility concerning property lines or in any way guarantee their accuracy. If property pins cannot be located, it is recommended that the customer have the property surveyed. By signing this contract, you give us the permission to send text messages to the mobile number listed.

Fence Outlet will assume the responsibility for locating underground cables and utilities, however, **however, unless the Sprinkler Assurance Plan has been agreed to, Fence outlet is not responsible for any sprinklers or other unmarked buried lines or objects.**

Payment is due at the time of completion of work, and a finance charge of 1 1/2 % per month shall be applied to all accounts not paid in full within 10 days of completion. All material will remain the property of Fence Outlet until payment is received in full. Right of access and removal is granted to Fence Outlet in the event of nonpayment per the terms of this contract. The customer agrees to pay all interest and any costs incurred in the collection of the debt including reasonable attorney fees.

If the buyer refuses to allow the seller to begin work or complete work already begun, or to accept materials contracted for, Buyer agrees to pay Seller liquidated damages of a sum equal to 50% of entire contract price, plus cost of materials and labor already furnished or in progress. Warranty may be voided if sign is removed.

Customer assumes full responsibility for obtaining homeowners association approval for the type and location of fence.

ACCORDING TO FLORIDA'S CONSTRUCTION LIEN LAW (SECTIONS 713.001-713.37, FLORIDA STATUTES), THOSE WHO WORK ON YOUR PROPERTY OR PROVIDE MATERIALS AND SERVICES AND ARE NOT PAID IN FULL HAVE A RIGHT TO ENFORCE THEIR CLAIM FOR PAYMENT AGAINST YOUR PROPERTY. THIS CLAIM IS KNOWN AS A CONSTRUCTION LIEN. IF YOUR CONTRACTOR OR A SUBCONTRACTOR FAILS TO PAY SUBCONTRACTORS, SUB-SUBCONTRACTORS, OR MATERIAL SUPPLIERS, THOSE PEOPLE WHO ARE OWED MONEY MAY LOOK TO YOUR PROPERTY FOR PAYMENT, EVEN IF YOU HAVE ALREADY PAID YOUR CONTRACTOR IN FULL. IF YOU FAIL TO PAY YOUR CONTRACTOR, YOUR CONTRACTOR MAY ALSO HAVE A LIEN ON YOUR PROPERTY. THIS MEANS IF A LIEN IS FILED YOUR PROPERTY COULD BE SOLD AGAINST YOUR WILL TO PAY FOR LABOR, MATERIALS, OR OTHER SERVICES THAT YOUR CONTRACTOR OR A SUBCONTRACTOR MAY HAVE FAILED TO PAY. TO PROTECT YOURSELF, YOU SHOULD STIPULATE IN THIS CONTRACT THAT BEFORE ANY PAYMENT IS MADE, YOUR CONTRACTOR IS REQUIRED TO PROVIDE YOU WITH A WRITTEN RELEASE OF LIEN FROM ANY PERSON OR COMPANY THAT HAS PROVIDED TO YOU A "NOTICE TO OWNER." FLORIDA'S CONSTRUCTION LIEN LAW IS COMPLEX, AND IT IS RECOMMENDED THAT YOU CONSULT AN ATTORNEY.

CS _____
Coleman, Lisa Or Kenneth
2052 SOUTHWEST 2ND
STREET
OCALA, FL 34471
Date _____

ES _____
Jarad Marsh
Fence Outlet Port Richey
Date _____

Appendix B

ID: 00219766 - Coleman, Lisa Or Kenneth

Quoted on: March 02, 2026 - Port Richey



Port Richey

Pre-Installation Checklist

Thank you for choosing Fence Outlet to perform your fence project. There are many key items to consider before the installation of your fence.

✓ 1. Homeowner's Association:

I understand that Fence Outlet will assist me in filling out the HOA Fence application and supply necessary documentation (marked property survey, photos of future fence, and copy of the contract with description of future fence) but I am solely responsible for submitting the application and providing Fence Outlet with the HOA decision/approval Letter once I receive it.

✓ 2. Underground Utilities/Sprinklers:

Fence Outlet will contact the needed locate service to detect underground lines. This will locate gas, cable, electric and phone lines that have been installed by the utility companies. These lines will be notated through the use paint and flags. Any lines not installed by those companies will not be detected. i.e. septic tank/lines, pool piping, sprinkler lines/systems, private gas lines or any other line installed by others. Also, locate companies do not mark water lines that run from the meter to the house. For this reason, *Fence Outlet* is not responsible for these items.

✓ 3. Change Orders:

Fence Outlet understands that sometimes changes must be made to the contract prior to the installation of the fence. Due to fabrication times, we request any changes be made a minimum of 5 business days before install. Any changes made after 5 days prior will incur a fee of \$350.00 plus any costs for the changes in materials and/or labor.

✓ 4. Trees/Bushes/Hedges/Plants:

Ultimately, it is the customer's responsibility to clear the fence line. Fence Outlet can trim some small items such as small bushes, hedges and plants at a rate of \$95.00/hour. The site is considered a construction site. While Fence Outlet will make every effort to not disturb any existing flowers or bushes, we cannot guarantee that no damage will occur.

✓ 5. Payment:

Fence Outlet requests 1/2 down on every new fence project. Forms of payment that will be received are cash, check or credit cards. All major credit cards are accepted. Final payment is due upon the completion of the fence project. For repairs, full payment of repair costs is required prior to the commencement of the repair work. Please sign the completion form and provide the final payment, along with any upfront repair costs, to the foreman at the job site upon the completion of the fence. By signing this agreement, you consent to securely storing your credit card information in accordance with PCI compliance rules for the remaining balance due.

✓ 6. Financing:

Fence Outlet utilizes Launch Credit Union and GreenSky Financial to provide financing options for your fence project. All original documents are required throughout the process. An application for credit and a retail agreement form will be required before the installation of your fence. If these items are not provided before install, your project will be postponed until received. At the completion of your fence project, you will be asked to sign a completion form stating the fence project is complete and to your satisfaction.

✓ 7. Verbal Commitments:

Verbal commitments are not contractual and will not be handled as such. If your estimator has promised you something that is not on the contract, it will not be completed. Please verify that all items discussed are on the contract in order for it to be completed correctly.

✓ 8. Install date:

Once all the needed paperwork for your fence project is processed, you will receive a phone call with an install date. The required items are a signed contract, a deposit, any finance paperwork needed, any permit paperwork needed, the permit, HOA approval, this signed checklist and a copy of your property survey. You don't have to be present for the installation; however please be available by phone if we need to communicate with you.

Allow us 2-3 days for install weather permitting.

✓ 9. Pool Code:

There are certain requirements if you have or are planning on having a pool with no screen enclosure. For a fence to meet pool code: The gates must swing out, have self closing hinges and the latches must be placed at 54" or higher. Certain styles of fence do not meet pool code due to height requirements and picket spacing. Please consult with your estimator to the styles that do/do not meet pool code.

✓ 10. Property Survey:

A property survey or location of property pins is required for every fence project. This ensures that the fence will be installed properly on the correct property lines. If a property survey is not available, a survey can be provided to you for a cost. If locating property pins is the only service needed, then the pins can be located for a cost. Jobs that require a permit will require a property survey.

✓ 11. Permits:

Many jobs require a permit to be obtained in order to begin your fence project. *Fence Outlet* will gladly obtain the permit for fence jobs. However, some items and processes will be needed in order to correctly complete the permit process. First, we will need a copy of your property survey. Secondly, if your project is \$2,500.00 or greater, it will require a notarized notice of commencement. *Fence Outlet* will post the permit on the job site. Upon completion of the fence project, we will call in an inspection. Please leave the permit posted until the inspection is performed and then retain for your records. If permit is removed prior to inspection, customer will be responsible for any and all fees associated with the re-inspection. **Special order materials are not ordered and timing doesn't start until both HOA and permit are approved.**

✓ **12. Property Lines:**

It is always Fence Outlet's intention to install to the property line. It is company policy not to install any fence off the property line. Any request to install off the customers property will be denied unless there is a written permission given from the encroached property.

✓ **13. Personal Information:**

Fence Outlet does not sell any personal information to outside sources; however, we would like to obtain a minimum of two phone numbers and an email address from each customer. Having multiple means of contact with each customer will ensure proper communication.

✓ **14. Additional Materials:**

In anticipation of changes or unforeseen circumstances Fence Outlet almost always sends additional materials on our installations. **I understand that Fence Outlet will install my fence per contract and that there may be additional materials leftover and those materials belong to Fence Outlet.**

✓ **15. Mission:**

It is Fence Outlet's goal to provide the highest quality products at the most reasonable price. We want to ensure that your fence project runs as smoothly as possible. This checklist aids in keeping pricing down and providing a seamless installation.

Notice to Consumer: When you provide a check as payment, you authorize us to use information from your check to process a one-time Electronic Funds Transfer(EFT) or a draft drawn from your account, or to process the payment as a check transaction. When we use information from your check to make an EFT, funds may be withdrawn from your account as soon as the same day we receive your payment, and you will not receive your check back from your financial institution. If your payment is returned unpaid, you authorize the collection of your payment and a return fee by EFT(s) or draft(s) drawn from your account. Checks from \$0.01-\$50.00 = \$25.00 fee; Checks from \$50.01-\$300.00 = \$30.00 fee; Checks for \$300.01 & over = the greater of \$40.00 or 5% of the face amount of the check.

I have read and understand the above statements.

CS _____
Coleman, Lisa Or Kenneth
2052 SOUTHWEST 2ND
STREET
OCALA, FL 34471
Date _____

ES _____
Jarad Marsh
Fence Outlet Port Richey
Date _____

Appendix C

ID: 00219766 - Coleman, Lisa Or Kenneth

Quoted on: March 02, 2026 - Port Richey



Port Richey

Sprinkler Assurance Plan

It is Fence Outlet's goal to provide the highest quality service and products at the most reasonable price. We want to ensure that your fence project runs as smoothly as possible.

Therefore, we are offering you the option to purchase a Sprinkler Assurance Plan.

Fence Outlet understands that though we are not responsible for damage to private lines such as sprinklers (as stated on The Contract) from time to time damage to them cannot be avoided.

This plan is optional. If you choose to purchase this plan, a Non-Refundable fee of \$60 will be added to the price of your fence proposal.

This plan assures you, the customer, that if a sprinkler is damaged during the installation of your fence; Fence Outlet will be responsible for repairing the broken line. All claims must be made within 30 days of your fence installation.

Please select one of the following options:

I choose to purchase the Sprinkler Assurance Plan. I understand that the \$60 fee is a Non-Refundable fee and if any sprinklers are damaged due to the fence installation, Fence Outlet will be responsible for having them repaired. The customer understands that the Sprinkler Assurance Plan only covers breaks and does not cover moving perfectly good lines during or after installation is finished. The process of moving perfectly good lines with no breaks is the sole responsibility of the customer. The customer and Fence Outlet Representative have discussed this plan in detail and have inspected the irrigation system fully and have verified that all zones are in working order.

No Sprinkler system present.

I decline the Sprinkler Assurance plan and assume the full responsibility for the repair of any damaged sprinkler lines resulting from the fence installation with Fence Outlet. I understand that the Sprinkler Assurance Plan cannot be purchased after the contract has been executed.

CS _____
Coleman, Lisa Or Kenneth
2052 SOUTHWEST 2ND
STREET
OCALA, FL 34471
Date _____

ES _____
Jarad Marsh
Fence Outlet Port Richey
Date _____



Date 02-26-2026 **Job Number** 2347

Site Address 2052 SW 2nd Street, Ocala, FL 34471

Client Details

Lisa Coleman
[3528758998](tel:3528758998)
lisapc7777@gmail.com
 2052 SW 2nd Street
 Ocala, FL 34471

Sales Representative

Ethan Lower
[3527893556](tel:3527893556)
ethan@ocalafence.com

Product List

LABOR	Quantity
GATE INSTALLATION	3
INSTALLATION - VINYL	297 ft
TEAR OUT	102 ft
GATE COMPONENTS	Quantity
WHT - GATE BRACE	3
DD GATE LATCH (NW6068-SSBD)	1
ALUMINUM WELDED FRAME	3
WHT - RIVETS	78
H-BEAM	3
WHT - GATE CAP	6
SNG GATE LATCH	1
GATE HANDLE	2
40" DROP ROD	1
VINYL GATE HINGE	3
FENCE COMPONENTS	Quantity
CONCRETE	60
VINYL FENCING	Quantity
6' PRIVACY	297
WHT - U-CHANNEL 59"	104
WHT - DURA-RAIL 72"	110



WHT - T&G PICKET 62"

605

WHT - RAIL 2" X 3.5" X 72"

6

VINYL POSTS & CAPS

Quantity

*WHT - FLAT CAP

57

WHT - POST 102"

54

WHT - POST 108" (.250" WALL)

3

GATE SIZE

Quantity

6'H X 10'W DBL GATE

1

6'H X 5'W WALK GATE

1

Subtotal

\$9,381.31

Discount

300 foot discount (-10%) -\$938.13

Total

\$8,443.18

Additional Information

Estimated Installation Date

4 to 6 weeks

Fence Installation

Have Fence Follow Grade of Land

Terms & Conditions

Payment Terms

A 15% deposit is required upon signing. The remaining balance must be paid within one day of project completion. Payment is required within one day regardless of inspection status or HOA approval. If additional time is needed for final payment, please notify Ocala Fence in advance to discuss payment terms. Payments can be made via check (preferred), cash, or through our online payment portal (bank draft or credit card). Please note that a 3% processing fee applies to online payments. Cancellations made after three (3) business days from the contract signing will incur a fee of 15% of the total contract amount. All materials remain the property of Ocala Fence, LLC until full payment is received. For any questions or concerns, please contact Ocala Fence at (352) 274-0823.

Scheduling

To be scheduled for service, the following items must be submitted:

- Signed Estimate & Site Drawing (by signing, you agree to the provided site drawing)
- 15% Deposit paid via check, cash, or online payment
- Signed Terms & Conditions Contract (sent as an e-sign document)

Warranty Information

All materials are covered by the manufacturer's warranty. Ocala Fence, LLC guarantees that all installation procedures will be free from craftsmanship defects for one (1) year for wood and chain link fences, and five (5) years for vinyl or aluminum fences after installation. This warranty covers installation errors only. Natural changes in fence materials, including aging, warping, and cracking, are excluded. Gates are not covered for sagging or warping. Acts of God, storm damage, vandalism, and normal wear and tear are also excluded. For warranty claims, please contact us with a detailed description and photographs of any defects. Ocala Fence is not liable for damages resulting from failure to mitigate damage.

Licensing and Insurance

Ocala Fence, LLC carries full general liability insurance and workers' compensation. Proof of insurance is available upon request.

Lumber Quality

We use #2 grade or better pressure-treated pine lumber. Pine is preferred for its density, which retains treatment chemicals effectively. The grading system refers to appearance, and #2 grade may have knots or small areas of bark known as "wane." We carefully select each piece of lumber during construction to minimize unattractive features. If you prefer a higher-quality appearance, #1 grade lumber is available at an additional cost. All gate and wood posts are set in concrete.

Wood Appearance and Shrinkage

Pressure-treated lumber will be wet upon arrival and will shrink as it dries. This shrinkage is most noticeable in gaps between pickets, which may result in a 1/8" to 1/4" gap. Please inquire about fence styles that offer complete privacy.

Nails

Ocala Fence utilizes pneumatic nail guns that countersink nails for better holding power. We use hot-dipped galvanized nails suitable for ACQ lumber, specifically ring-shank nails, which provide superior holding strength to reduce warping and prevent pop-ups.

Property Lines

It is the customer's responsibility to identify and mark property lines before installation. If property corners are not marked, the customer accepts responsibility for any discrepancies. We can assist in determining property lines if survey stakes or a site plan is available. Payment upon completion will signify customer approval of the fence location, which will typically be placed 4-6 inches inside the property line unless specified otherwise. Ocala Fence is not responsible for costs associated with moving a fence installed per customer request.

Homeowner's Associations and Permits

Permits may be required by local authorities or homeowner associations before installation. It is the homeowner's responsibility to obtain necessary permits. While Ocala Fence can assist by providing necessary documents, securing permits and HOA approvals is ultimately the homeowner's duty. We are not responsible for any violations of local regulations or HOA guidelines.

Clearing a Path

A clear path approximately 2 feet wide is required for fence installation. Our builders will remove minor obstacles, but for larger clearing projects, we can provide an estimate. Please inform us of any sensitive landscaping that requires special care.

Fence Installation and Ground Grade Disclaimer

Fencing may be installed either to follow the natural contour of the land (grade) or to maintain a consistent top height (level installation), at the discretion of the customer. In the event the customer elects a level installation, it is expressly acknowledged that gaps may exist between the bottom of the fence and the ground due to variations in terrain.

The presence of such gaps shall not be considered a defect in workmanship or materials, and Ocala Fence shall bear no responsibility or liability for them. Remediation of these gaps, including but not limited to the use of soil, fill material, or other structural or cosmetic solutions, shall be the sole responsibility of the customer. Any such work is not included in the scope of the original agreement and, if requested, will incur additional charges. Ocala Fence shall not be liable for any costs or damages associated with such remedial measures.

Buried Utilities and Irrigation Systems

Prior to construction, Ocala Fence will arrange to have buried utility lines located, as required by Florida law. Homeowners must mark any private lines, such as irrigation systems, as these will not be marked by locating services. Ocala Fence is not liable for damage to unmarked private lines. Please inform us of any unmarked utilities to ensure extra care during installation.

Private lines include but are not limited to:

- Underground sprinkler and irrigation lines
- Water lines feeding pools or other structures
- Underground electric lines for outdoor lighting, pools, sheds, etc.
- French drains or similar systems

Public utilities will be marked with a 2-foot grace area on either side. Ocala Fence will attempt to dig carefully around marked utilities, and if any unmarked lines are hit, the customer agrees that Ocala Fence is not liable for repair costs. If a utility company bills us for repairs, the customer agrees to reimburse that amount. Gate or post placement may be adjusted based on the location of utilities. For locating private lines, please visit [Sunshine811](#).

Customer Signature

Date

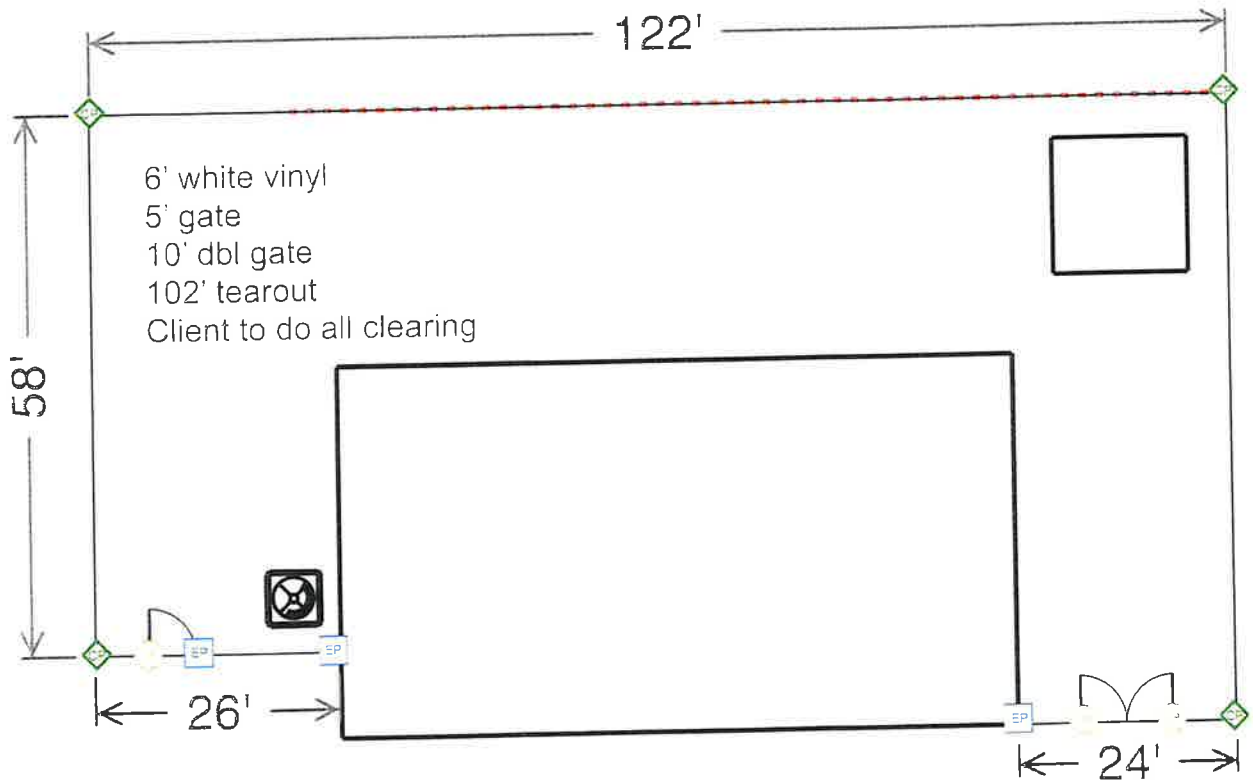
Authorized Rep. Signature





Date

Detail Plan



Lisa Coleman
 2052 SW 2nd Street
 Ocala, FL. 34471
 lisapc7777@gmail.com
 3528758998
 Feb. 26, 2026



 TEAR OUT	102 ft  WHT - T&G PICKET 62	305
 WHT - POST 102'	54  WHT - POST 108' (250' WALL)	3

Initials: _____

Ocala Fence



Project Proposal

February 26, 2026

Lisa Coleman
2052 SW 2nd Street
Ocala, FL 34471

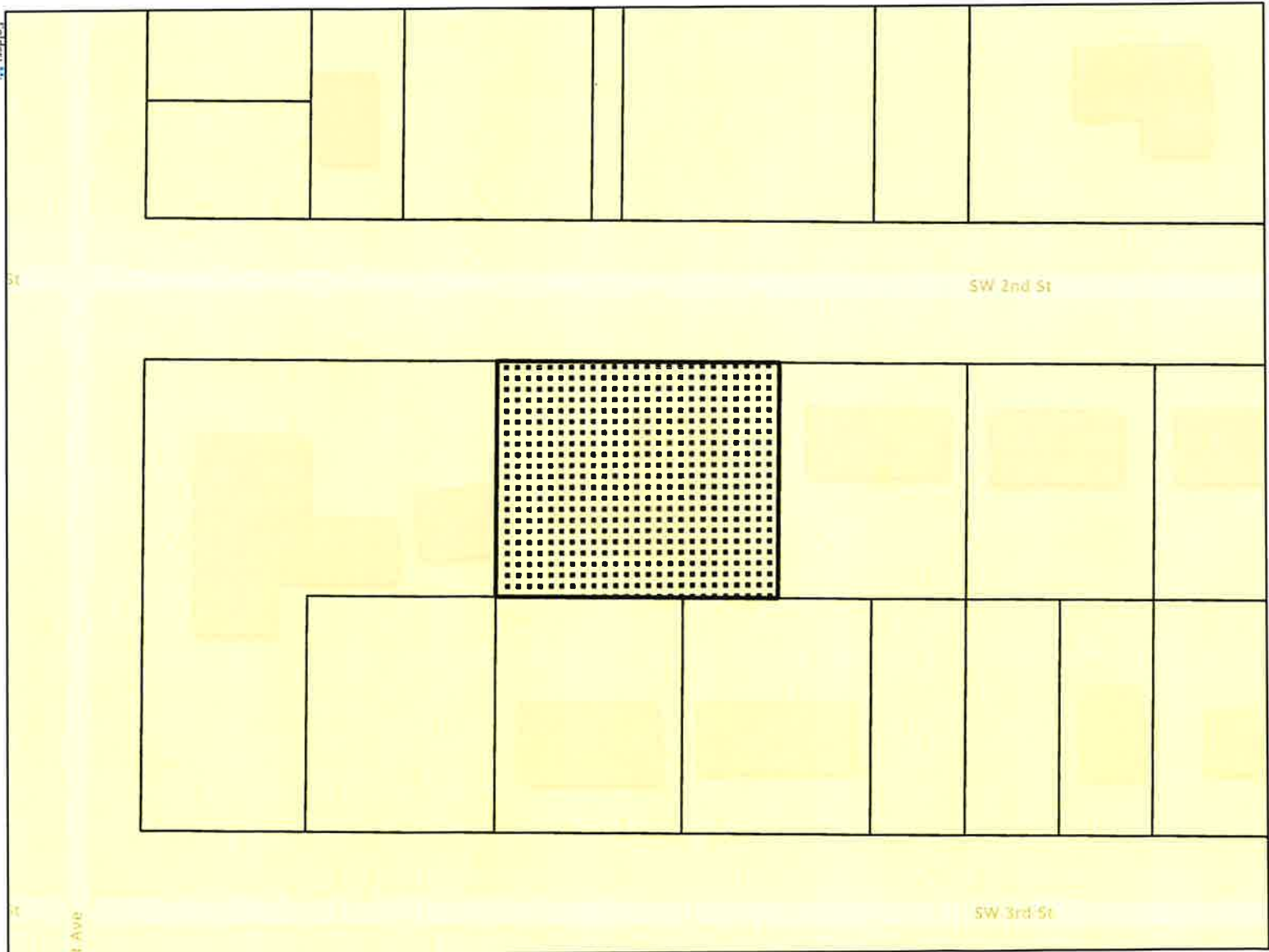
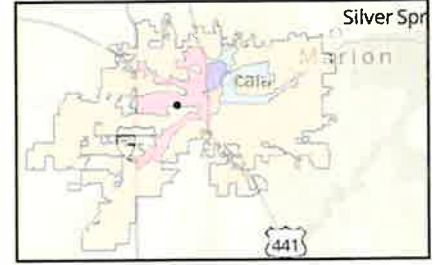
Ethan Lower




CASE MAP

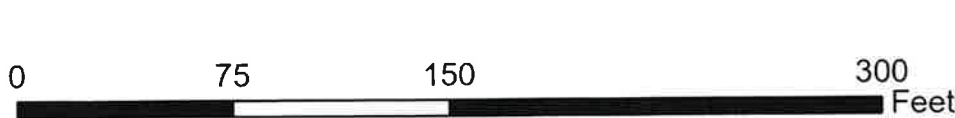
CASE MAP

Parcel: 2260-153-017
Case Number: CRA26-0008

Property Size: Approximately 0.28 acres
CRA Location: West Ocala
Proposal: A Request for CRA fund use.



-  Parcels
-  R-1A:Single Family Residential
-  Subject Property



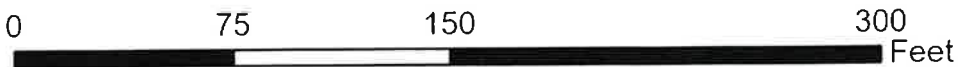
AERIAL MAP

Parcel: 2260-153-017
Case Number: CRA26-0008
Property Size: Approximately 0.28 acres
CRA Location: West Ocala
Proposal: A Request for CRA fund use.



 Subject Property

 Parcels

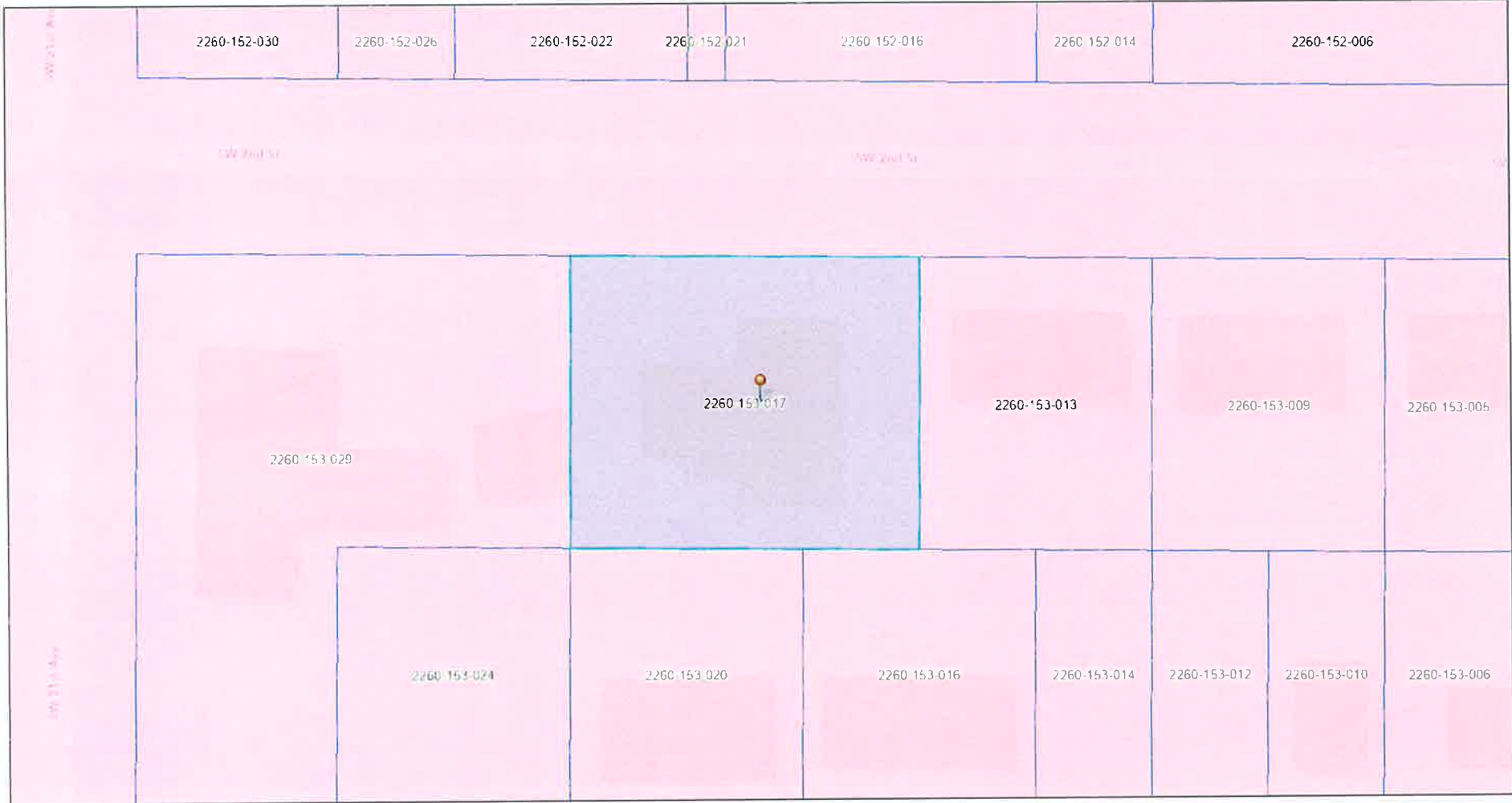


Prepared by the City of 279

Growth Management Department

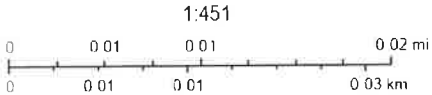
This information is provided as a visual representation only and is not intended to be used as a legal or official representation of legal boundaries. All GIS data which is provided by the City of Ocala should be considered a generalized spatial representation which may be subject to revisions. The feature boundaries are not to be used to

Courtesy of the Ocala Map Experience ArcGIS Web Map



4/2/2026, 2:55:01 PM

- Parcels
- TUSCAWILLA
- Downtown CRA
- Historic Districts
- WEST OCALA
- East Ocala CRA
- DOWNTOWN COMMERCIAL Community Redevelopment Area
- West Ocala CRA
- OCALA
- North Magnolia CRA
- Community Redevelopment Area



City of Ocala IT-GIS, Sources: Esri, TomTom, Garmin, FAO, NOAA, USGS, etc., OpenStreetMap contributors, and the GIS User Community

Edwin R. Carreras Rivera, Esq.
Economic Development/Growth Management

STAFF SUPPORTING DOCUMENTS

WEST OCALA FRAMEWORK



Community Redevelopment Agency (CRA)

OCALA

April 2025

CRA Subarea: **West Ocala**

Framework Residential Property Improvement Grant

ELIGIBLE AREA

Neighborhoods within the West Ocala CRA boundary.

ELIGIBLE APPLICANT

Property owner, or tenant with property owner's approval.

ELIGIBLE PROPERTIES

- Taxable ad valorem properties – Property taxes must be current and fully paid.
- Property must be used for residential purposes.
- Single family and duplex homes within the CRA subarea. This includes owner occupied and rental units.

ELIGIBLE WORK

Improvements Eligible for Grant Funding Include:

- Exterior painting (colors must be approved by the Committee)
- Pressure washing and related work to repair and prepare surfaces for painting
- Repair or replacement of windows and doors (exterior improvements only)
- Demolition of irreparably damaged houses or structures
- Installation of new landscaping visible from the street or sidewalk
- Fencing installation or replacement
- Roofing repairs or upgrades
- Weatherization improvements (HVAC & Insulation)
- New construction
- Termite tenting

MAXIMUM GRANT

\$20,000 (Reimbursement)

REQUIRED MATCH

The **City covers 75%**, the **applicant covers 25%**. To receive the maximum grant, the total project cost for eligible improvements must be no less than \$26,667.

CRA GRANT REVIEW CHECKLIST



Ocala Community Redevelopment Agency

CRA Grant Review Checklist

Grant ID: CRA26-0008

Date submitted: 10/21/25

Application Completed:

Missing Information:

None

2 Bids:

Comparable bids:

Review Comments:

Applicant need to resubmit Bid from Bell's Outdoor Service. The bid uploaded from Bell's in the application does not meet the requirements for comparison with the bid from Fence Outlet. The bids are not comparable at this time. 2/20/2026 Applicant submitted other Bid (Ocala Fence) that is comparable to the Fence Outlet at this time. 2/27/2026

Site visit (GRC) meeting dates set:

2/27/26

Eligible work:

Eligible property:

Within CRA boundary:

Proof of Ownership:

First time applicant:

Applicant Information

Applicant: Lisa Coleman
Property Address: 2052 SW 2nd Street
Parcel ID: 2260-153-017
Phone: 352-875-8998
Email: lisa.coleman@marion.k12.fl.us

Other comments

Assigned on: February 2026
CRA Staff Assigned: Edwin R. Carreras Rivera, Esq.
CRA Staff Site Visit: 2/27/2026

PROJECT COST SUMMARY

Ocala Community Redevelopment Agency
Project Cost Summary

Application ID: CRA26-0008

Address: 2052 SW 2nd Street

CRA subarea: West Ocala

No.	Eligible work item	High quote(s)	Low quote(s)
1	Fence	\$ 8,443.18	\$ 6,954
Total		\$ 8,443.18	\$ 6,954
Maximum CRA grant that can be awarded based on 75% match.		\$	5,216

BIDS



Fence Outlet of Port Richey Inc
 11507 US-19
 Port Richey , FL 34668

ID : 00219766
 Coleman, Lisa Or Kenneth
 Quote On : March 02, 2026
 Port Richey

Customer Address

Coleman, Lisa Or Kenneth
 2052 SOUTHWEST 2ND STREET
 OCALA, Florida 34471
 lisa.coleman@marion.k12.fl.us
 (352) 875-8998

Estimate Only

Description of Work

Misc

- 1 ea Install 10 feet of 6X10 T&G PRIVACY DOUBLE DRIVE GATE WHT PKG-KIT
- 1 ea Install 5 feet of 6X5 T&G PRIVACY RACKABLE PVC GATE WHT PKG-KIT
- Install 255 feet of 6X6 T&G PRIVACY PVC FENCE WHT PKG-KIT
- Install 7 feet of 6X8 T&G PRIVACY PVC FENCE WHT PKG-KIT

Paid On	Type	Trans No/Check No	Amount
---------	------	-------------------	--------

Total Due \$6,954.00

Payment - \$0.00

Balance Due \$6,954.00

CS _____

Coleman, Lisa Or Kenneth

Date _____

ES _____

Jarad Marsh

Date _____

Port Richey Office - (727) 857-7590

Jarad Marsh - (727) 359-0535

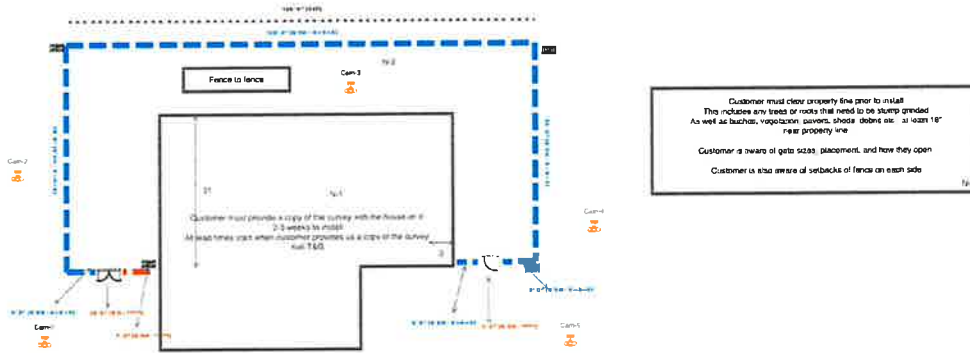
This contract includes the clauses referred to in the attached appendices.

This quote is valid for 10 days.

Layout - L2

ID: 00219766 - Coleman, Lisa Or Kenneth

Quoted on: March 02, 2026 - Port Richey



Legends

X—X—X: (6.0 X 255) ft ea 6X6 T&G PRIVACY PVC FENCE WHITE PKG-KIT

*****: (6.0 X 7) ft ea 6X8 T&G PRIVACY PVC FENCE WHITE PKG-KIT

||||| 4 x Cut Section

*****: 1 (6.0 X 5.0) ea 6X5 T&G PRIVACY RACKABLE PVC GATE WHT PKG-KIT

*****: 1 (6.0 X 10.0) ea 6X10 T&G PRIVACY DOUBLE DRIVE GATE PKG KIT-WHT

Notes

ID: 00219766 - Coleman, Lisa Or Kenneth

Quoted on: March 02, 2026 - Port Richey

N-1: Customer must provide a copy of the survey with the house on it
2-3 weeks to install
All lead times start when customer provides us a copy of the survey
6x6 T&G

N-2: Back line must be cleared prior to install by customer

N-3: Customer must clear property line prior to install
This includes any trees or roots that need to be stump grinded
As well as bushes, vegetation, pavers, sheds, debris etc. at least 18"
near property line.

Customer is aware of gate sizes, placement, and how they open.

Customer is also aware of setbacks of fence on each side

Questions

ID: 00219766 - Coleman, Lisa Or Kenneth

Quoted on: March 02, 2026 - Port Richey

Is racked gate marked?

Yes Not Needed

Have post caps been discussed?

Yes No

Pool?

Yes/Future No

Have preinstalled photos been taken?

Yes No

Corner lot?

Yes No

Have corner lot setbacks been discussed with customer?

Yes No

Have house setbacks been marked?

Yes No

Fence Line to be cleared by

Fence Outlet Customer No Clearing

Do you live in an HOA community?

Yes No

Will you need HOA/ARC approval?

Yes No

Do you have HOA/ARC approval in hand?

Yes No

Previous fence being taken down by

Fence Outlet Customer Not Needed

Site Pictures

ID: 00219766 - Coleman, Lisa Or Kenneth

Quoted on: March 02, 2026 - Port Richey

Cam - 1 Front Left



Cam - 2 Left



Cam - 3 Rear



Cam - 4 Right



Cam - 5 Front Right



Pool Pictures

ID: 00219766 - Coleman, Lisa Or Kenneth

Quoted on: March 02, 2026 - Port Richey

Screen Enclosure

Yes No

Baby Barrier Fence

Yes No

Pool Vinyl Covers

Yes No

Pool Safety Net Covers

Yes No

Property Pin Photos

ID: 00219766 - Coleman, Lisa Or Kenneth

Quoted on: March 02, 2026 - Port Richey



Grading

ID: 00219766 - Coleman, Lisa Or Kenneth

Quoted on: March 02, 2026 - Port Richey



Port Richey

Grading



Contoured Fences

As the name suggests, a contoured fence follows the lines and contours of the property precisely and is a very common choice by most customers. The top and bottom horizontal rails provide a parallel line to the ground at all points. This type of installation is a very common choice for pets and small children. However, with small changes in grade, small gaps might need to be addressed. The small gaps could be addressed by placing dirt and grass seed or small landscape vegetation to cover the small areas.



Straight Top

If your yard is flat this would be a very common option for most customers. The installation of the fence on a flat yard will look like this, straight across the top, straight across the bottom, with a small gap underneath. The small gaps could be addressed by placing dirt and grass seed or small landscape vegetation to cover the small areas.



Stepped Fence on Slope

If you have a steep slope to contend with, stepped fencing can be one of your options. While it doesn't provide the smooth, even lines of a regular fence, it can accommodate steep slopes without installing an excessively slanted fence line. The significant drawback of stepped fencing is that it leaves a triangular open space between each panel and the sloping ground below. If you have pets or small children, this may not be an acceptable option. So if you need a fully-enclosed fence, you can combine stepped fencing with additional landscaping and fill in the spaces with new soil and grass seed. The larger openings can also be blocked with planters or thick bushes.



Level Top Fence on Slope

If you have a steep slope to contend with, a level top fence can be an option. With this application your fence will be straight across the top and straight across the bottom. However, because of the extreme slope could be a significant drawback because of the large uncovered openings at the bottom of the fence. If you have pets or small children this may not be an acceptable option. So if you choose this option and need a fully enclosed fence, your options are limited and sometimes very costly. You must be aware of your local code restrictions because of the excessive height and spacing changes in some of the areas of the fence.



Racked Fences

The way to match a fence to its slope is to rack it. The racking method means adjusting the fence's rails so that it matches the slope beneath it while the pickets and posts remain vertical. This type of installation is a very common choice for pets and small children. However, with small changes in grade, small gaps might need to be addressed. The small gaps could be addressed by placing dirt and grass seed or small landscape vegetation to cover the small areas.

CS _____

Coleman, Lisa Or Kenneth
2052 SOUTHWEST 2ND
STREET
OCALA, FL 34471
Date _____

ES _____

Jarad Marsh
Fence Outlet Port Richey
Date _____

Appendix A

ID: 00219766 - Coleman, Lisa Or Kenneth

Quoted on: March 02, 2026 - Port Richey



Port Richey

Contract Clause

Fence Outlet will assist the customer, upon request, in determining where the fence is to be erected, but under no circumstances does Fence Outlet assume any responsibility concerning property lines or in any way guarantee their accuracy. If property pins cannot be located, it is recommended that the customer have the property surveyed. By signing this contract, you give us the permission to send text messages to the mobile number listed.

Fence Outlet will assume the responsibility for locating underground cables and utilities, however, **however, unless the Sprinkler Assurance Plan has been agreed to, Fence outlet is not responsible for any sprinklers or other unmarked buried lines or objects.**

Payment is due at the time of completion of work, and a finance charge of 1 ½ % per month shall be applied to all accounts not paid in full within 10 days of completion. All material will remain the property of Fence Outlet until payment is received in full. Right of access and removal is granted to Fence Outlet in the event of nonpayment per the terms of this contract. The customer agrees to pay all interest and any costs incurred in the collection of the debt including reasonable attorney fees.

If the buyer refuses to allow the seller to begin work or complete work already begun, or to accept materials contracted for, Buyer agrees to pay Seller liquidated damages of a sum equal to 50% of entire contract price, plus cost of materials and labor already furnished or in progress. Warranty may be voided if sign is removed.

Customer assumes full responsibility for obtaining homeowners association approval for the type and location of fence.

ACCORDING TO FLORIDA'S CONSTRUCTION LIEN LAW (SECTIONS 713.001-713.37, FLORIDA STATUTES), THOSE WHO WORK ON YOUR PROPERTY OR PROVIDE MATERIALS AND SERVICES AND ARE NOT PAID IN FULL HAVE A RIGHT TO ENFORCE THEIR CLAIM FOR PAYMENT AGAINST YOUR PROPERTY. THIS CLAIM IS KNOWN AS A CONSTRUCTION LIEN. IF YOUR CONTRACTOR OR A SUBCONTRACTOR FAILS TO PAY SUBCONTRACTORS, SUB-SUBCONTRACTORS, OR MATERIAL SUPPLIERS, THOSE PEOPLE WHO ARE OWED MONEY MAY LOOK TO YOUR PROPERTY FOR PAYMENT, EVEN IF YOU HAVE ALREADY PAID YOUR CONTRACTOR IN FULL. IF YOU FAIL TO PAY YOUR CONTRACTOR, YOUR CONTRACTOR MAY ALSO HAVE A LIEN ON YOUR PROPERTY. THIS MEANS IF A LIEN IS FILED YOUR PROPERTY COULD BE SOLD AGAINST YOUR WILL TO PAY FOR LABOR, MATERIALS, OR OTHER SERVICES THAT YOUR CONTRACTOR OR A SUBCONTRACTOR MAY HAVE FAILED TO PAY. TO PROTECT YOURSELF, YOU SHOULD STIPULATE IN THIS CONTRACT THAT BEFORE ANY PAYMENT IS MADE, YOUR CONTRACTOR IS REQUIRED TO PROVIDE YOU WITH A WRITTEN RELEASE OF LIEN FROM ANY PERSON OR COMPANY THAT HAS PROVIDED TO YOU A "NOTICE TO OWNER." FLORIDA'S CONSTRUCTION LIEN LAW IS COMPLEX, AND IT IS RECOMMENDED THAT YOU CONSULT AN ATTORNEY.

CS _____

Coleman, Lisa Or Kenneth
2052 SOUTHWEST 2ND
STREET
OCALA, FL 34471

Date _____

ES _____

Jarad Marsh
Fence Outlet Port Richey
Date _____

Appendix B

ID: 00219766 - Coleman, Lisa Or Kenneth

Quoted on: March 02, 2026 - Port Richey



Port Richey

Pre-Installation Checklist

Thank you for choosing Fence Outlet to perform your fence project. There are many key items to consider before the installation of your fence.

✓ 1. Homeowner's Association:

I understand that Fence Outlet will assist me in filling out the HOA Fence application and supply necessary documentation (marked property survey, photos of future fence, and copy of the contract with description of future fence) but I am solely responsible for submitting the application and providing Fence Outlet with the HOA decision/approval Letter once I receive it.

✓ 2. Underground Utilities/Sprinklers:

Fence Outlet will contact the needed locate service to detect underground lines. This will locate gas, cable, electric and phone lines that have been installed by the utility companies. These lines will be notated through the use paint and flags. Any lines not installed by those companies will not be detected. i.e. septic tank/lines, pool piping, sprinkler lines/systems, private gas lines or any other line installed by others. Also, locate companies do not mark water lines that run from the meter to the house. For this reason, *Fence Outlet* is not responsible for these items.

✓ 3. Change Orders:

Fence Outlet understands that sometimes changes must be made to the contract prior to the installation of the fence. Due to fabrication times, we request any changes be made a minimum of 5 business days before install. Any changes made after 5 days prior will incur a fee of \$350.00 plus any costs for the changes in materials and/or labor.

✓ 4. Trees/Bushes/Hedges/Plants:

Ultimately, it is the customer's responsibility to clear the fence line. Fence Outlet can trim some small items such as small bushes, hedges and plants at a rate of \$95.00/hour. The site is considered a construction site. While Fence Outlet will make every effort to not disturb any existing flowers or bushes, we cannot guarantee that no damage will occur.

✓ 5. Payment:

Fence Outlet requests 1/2 down on every new fence project. Forms of payment that will be received are cash, check or credit cards. All major credit cards are accepted. Final payment is due upon the completion of the fence project. For repairs, full payment of repair costs is required prior to the commencement of the repair work. Please sign the completion form and provide the final payment, along with any upfront repair costs, to the foreman at the job site upon the completion of the fence. By signing this agreement, you consent to securely storing your credit card information in accordance with PCI compliance rules for the remaining balance due.

✓ 6. Financing:

Fence Outlet utilizes Launch Credit Union and GreenSky Financial to provide financing options for your fence project. All original documents are required throughout the process. An application for credit and a retail agreement form will be required before the installation of your fence. If these items are not provided before install, your project will be postponed until received. At the completion of your fence project, you will be asked to sign a completion form stating the fence project is complete and to your satisfaction.

✓ 7. Verbal Commitments:

Verbal commitments are not contractual and will not be handled as such. If your estimator has promised you something that is not on the contract, it will not be completed. Please verify that all items discussed are on the contract in order for it to be completed correctly.

✓ 8. Install date:

Once all the needed paperwork for your fence project is processed, you will receive a phone call with an install date. The required items are a signed contract, a deposit, any finance paperwork needed, any permit paperwork needed, the permit, HOA approval, this signed checklist and a copy of your property survey. You don't have to be present for the installation; however please be available by phone if we need to communicate with you.

Allow us 2-3 days for install weather permitting.

✓ 9. Pool Code:

There are certain requirements if you have or are planning on having a pool with no screen enclosure. For a fence to meet pool code: The gates must swing out, have self closing hinges and the latches must be placed at 54" or higher. Certain styles of fence do not meet pool code due to height requirements and picket spacing. Please consult with your estimator to the styles that do/do not meet pool code.

✓ 10. Property Survey:

A property survey or location of property pins is required for every fence project. This ensures that the fence will be installed properly on the correct property lines. If a property survey is not available, a survey can be provided to you for a cost. If locating property pins is the only service needed, then the pins can be located for a cost. Jobs that require a permit will require a property survey.

✓ 11. Permits:

Many jobs require a permit to be obtained in order to begin your fence project. *Fence Outlet* will gladly obtain the permit for fence jobs. However, some items and processes will be needed in order to correctly complete the permit process. First, we will need a copy of your property survey. Secondly, if your project is \$2,500.00 or greater, it will require a notarized notice of commencement. *Fence Outlet* will post the permit on the job site. Upon completion of the fence project, we will call in an inspection. Please leave the permit posted until the inspection is performed and then retain for your records. If permit is removed prior to inspection, customer will be responsible for any and all fees associated with the re-inspection. **Special order materials are not ordered and timing doesn't start until both HOA and permit are approved.**

✓ **12. Property Lines:**

It is always Fence Outlet's intention to install to the property line. It is company policy not to install any fence off the property line. Any request to install off the customers property will be denied unless there is a written permission given from the encroached property.

✓ **13. Personal Information:**

Fence Outlet does not sell any personal information to outside sources; however, we would like to obtain a minimum of two phone numbers and an email address from each customer. Having multiple means of contact with each customer will ensure proper communication.

✓ **14. Additional Materials:**

In anticipation of changes or unforeseen circumstances Fence Outlet almost always sends additional materials on our installations. **I understand that Fence Outlet will install my fence per contract and that there may be additional materials leftover and those materials belong to Fence Outlet.**

✓ **15. Mission:**

It is *Fence Outlet's* goal to provide the highest quality products at the most reasonable price. We want to ensure that your fence project runs as smoothly as possible. This checklist aids in keeping pricing down and providing a seamless installation.

Notice to Consumer: When you provide a check as payment, you authorize us to use information from your check to process a one-time Electronic Funds Transfer(EFT) or a draft drawn from your account, or to process the payment as a check transaction. When we use information from your check to make an EFT, funds may be withdrawn from your account as soon as the same day we receive your payment, and you will not receive your check back from your financial institution. If your payment is returned unpaid, you authorize the collection of your payment and a return fee by EFT(s) or draft(s) drawn from your account. Checks from \$0.01-\$50.00 = \$25.00 fee; Checks from \$50.01-\$300.00 = \$30.00 fee; Checks for \$300.01 & over = the greater of \$40.00 or 5% of the face amount of the check.

I have read and understand the above statements.

CS _____

Coleman, Lisa Or Kenneth
2052 SOUTHWEST 2ND
STREET
OCALA, FL 34471

Date _____

ES _____

Jarad Marsh
Fence Outlet Port Richey

Date _____

Appendix C

ID: 00219766 - Coleman, Lisa Or Kenneth

Quoted on: March 02, 2026 - Port Richey



Port Richey

Sprinkler Assurance Plan

It is Fence Outlet's goal to provide the highest quality service and products at the most reasonable price. We want to ensure that your fence project runs as smoothly as possible.

Therefore, we are offering you the option to purchase a Sprinkler Assurance Plan.

Fence Outlet understands that though we are not responsible for damage to private lines such as sprinklers (as stated on The Contract) from time to time damage to them cannot be avoided.

This plan is optional. If you choose to purchase this plan, a Non-Refundable fee of \$60 will be added to the price of your fence proposal.

This plan assures you, the customer, that if a sprinkler is damaged during the installation of your fence; Fence Outlet will be responsible for repairing the broken line. All claims must be made within 30 days of your fence installation.

Please select one of the following options:

I choose to purchase the Sprinkler Assurance Plan. I understand that the \$60 fee is a Non-Refundable fee and if any sprinklers are damaged due to the fence installation, Fence Outlet will be responsible for having them repaired. The customer understands that the Sprinkler Assurance Plan only covers breaks and does not cover moving perfectly good lines during or after installation is finished. The process of moving perfectly good lines with no breaks is the sole responsibility of the customer. The customer and Fence Outlet Representative have discussed this plan in detail and have inspected the irrigation system fully and have verified that all zones are in working order.

No Sprinkler system present.

I decline the Sprinkler Assurance plan and assume the full responsibility for the repair of any damaged sprinkler lines resulting from the fence installation with Fence Outlet. I understand that the Sprinkler Assurance Plan cannot be purchased after the contract has been executed.

CS _____

Coleman, Lisa Or Kenneth
2052 SOUTHWEST 2ND
STREET
OCALA, FL 34471

Date _____

ES _____

Jarad Marsh
Fence Outlet Port Richey
Date _____



Client Details:
 Lisa Coleman
 3528758998
 lisapc7777@gmail.com
 2052 SW 2nd Street
 Ocala, FL 34471

Date 02-26-2026 **Job Number** 2347

Site Address 2052 SW 2nd Street, Ocala, FL 34471

Client Details

Lisa Coleman
[3528758998](tel:3528758998)
lisapc7777@gmail.com
 2052 SW 2nd Street
 Ocala, FL 34471

Sales Representative

Ethan Lower
[3527893556](tel:3527893556)
ethan@ocalafence.com

Product List

LABOR

	Quantity
GATE INSTALLATION	3
INSTALLATION - VINYL	297 ft
TEAR OUT	102 ft

GATE COMPONENTS

	Quantity
WHT - GATE BRACE	3
DD GATE LATCH (NW6068-SSBD)	1
ALUMINUM WELDED FRAME	3
WHT - RIVETS	78
H-BEAM	3
WHT - GATE CAP	6
SNG GATE LATCH	1
GATE HANDLE	2
40" DROP ROD	1
VINYL GATE HINGE	3

FENCE COMPONENTS

CONCRETE	60
----------	----

VINYL FENCING

	Quantity
6' PRIVACY	297
WHT - U-CHANNEL 59"	104
WHT - DURA-RAIL 72"	110



Client Details:

1100 S. ...
...
...

WHT - T&G PICKET 62" 605

WHT - RAIL 2" X 3.5" X 72" 6

VINYL POSTS & CAPS **Quantity**

*WHT - FLAT CAP 57

WHT - POST 102" 54

WHT - POST 108" (.250" WALL) 3

GATE SIZE **Quantity**

6'H X 10'W DBL GATE 1

6'H X 5'W WALK GATE 1

Subtotal	\$9,381.31
Discount	300 foot discount (-10%) -\$938.13
Total	\$8,443.18

Additional Information

Estimated Installation Date

4 to 6 weeks

Fence Installation

Have Fence Follow Grade of Land

Terms & Conditions

Payment Terms

A 15% deposit is required upon signing. The remaining balance must be paid within one day of project completion. Payment is required within one day regardless of inspection status or HOA approval. If additional time is needed for final payment, please notify Ocala Fence in advance to discuss payment terms. Payments can be made via check (preferred), cash, or through our online payment portal (bank draft or credit card). Please note that a 3% processing fee applies to online payments. Cancellations made after three (3) business days from the contract signing will incur a fee of 15% of the total contract amount. All materials remain the property of Ocala Fence, LLC until full payment is received. For any questions or concerns, please contact Ocala Fence at (352) 274-0823.

Scheduling

To be scheduled for service, the following items must be submitted:

- o Signed Estimate & Site Drawing (by signing, you agree to the provided site drawing)
- o 15% Deposit paid via check, cash, or online payment
- o Signed Terms & Conditions Contract (sent as an e-sign document)
- o

Warranty Information

All materials are covered by the manufacturer's warranty. Ocala Fence, LLC guarantees that all installation procedures will be free from craftsmanship defects for one (1) year for wood and chain link fences, and five (5) years for vinyl or aluminum fences after installation. This warranty covers installation errors only. Natural changes in fence materials, including aging, warping, and cracking, are excluded. Gates are not covered for sagging or warping. Acts of God, storm damage, vandalism, and normal wear and tear are also excluded. For warranty claims, please contact us with a detailed description and photographs of any defects. Ocala Fence is not liable for damages resulting from failure to mitigate damage.

Licensing and Insurance

Ocala Fence, LLC carries full general liability insurance and workers' compensation. Proof of insurance is available upon request.

Lumber Quality

We use #2 grade or better pressure-treated pine lumber. Pine is preferred for its density, which retains treatment chemicals effectively. The grading system refers to appearance, and #2 grade may have knots or small areas of bark known as "wane." We carefully select each piece of lumber during construction to minimize unattractive features. If you prefer a higher-quality appearance, #1 grade lumber is available at an additional cost. All gate and wood posts are set in concrete.

Wood Appearance and Shrinkage

Pressure-treated lumber will be wet upon arrival and will shrink as it dries. This shrinkage is most noticeable in gaps between pickets, which may result in a 1/8" to 1/4" gap. Please inquire about fence styles that offer complete privacy.

Nails

Ocala Fence utilizes pneumatic nail guns that countersink nails for better holding power. We use hot-dipped galvanized nails suitable for ACQ lumber, specifically ring-shank nails, which provide superior holding strength to reduce warping and prevent pop-ups.

Property Lines

It is the customer's responsibility to identify and mark property lines before installation. If property corners are not marked, the customer accepts responsibility for any discrepancies. We can assist in determining property lines if survey stakes or a site plan is available. Payment upon completion will signify customer approval of the fence location, which will typically be placed 4-6 inches inside the property line unless specified otherwise. Ocala Fence is not responsible for costs associated with moving a fence installed per customer request.

Homeowner's Associations and Permits

Permits may be required by local authorities or homeowner associations before installation. It is the homeowner's responsibility to obtain necessary permits. While Ocala Fence can assist by providing necessary documents, securing permits and HOA approvals is ultimately the homeowner's duty. We are not responsible for any violations of local regulations or HOA guidelines.

Clearing a Path

A clear path approximately 2 feet wide is required for fence installation. Our builders will remove minor obstacles, but for larger clearing projects, we can provide an estimate. Please inform us of any sensitive landscaping that requires special care.

Fence Installation and Ground Grade Disclaimer

Fencing may be installed either to follow the natural contour of the land (grade) or to maintain a consistent top height (level installation), at the discretion of the customer. In the event the customer elects a level installation, it is expressly acknowledged that gaps may exist between the bottom of the fence and the ground due to variations in terrain.

The presence of such gaps shall not be considered a defect in workmanship or materials, and Ocala Fence shall bear no responsibility or liability for them. Remediation of these gaps, including but not limited to the use of soil, fill material, or other structural or cosmetic solutions, shall be the sole responsibility of the customer. Any such work is not included in the scope of the original agreement and, if requested, will incur additional charges. Ocala Fence shall not be liable for any costs or damages associated with such remedial measures.

Buried Utilities and Irrigation Systems

Prior to construction, Ocala Fence will arrange to have buried utility lines located, as required by Florida law. Homeowners must mark any private lines, such as irrigation systems, as these will not be marked by locating services. Ocala Fence is not liable for damage to unmarked private lines. Please inform us of any unmarked utilities to ensure extra care during installation.

Private lines include but are not limited to:

- Underground sprinkler and irrigation lines
- Water lines feeding pools or other structures
- Underground electric lines for outdoor lighting, pools, sheds, etc.
- French drains or similar systems

Public utilities will be marked with a 2-foot grace area on either side. Ocala Fence will attempt to dig carefully around marked utilities, and if any unmarked lines are hit, the customer agrees that Ocala Fence is not liable for repair costs. If a utility company bills us for repairs, the customer agrees to reimburse that amount. Gate or post placement may be adjusted based on the location of utilities. For locating private lines, please visit [Sunshine811](#).

Customer Signature

Date

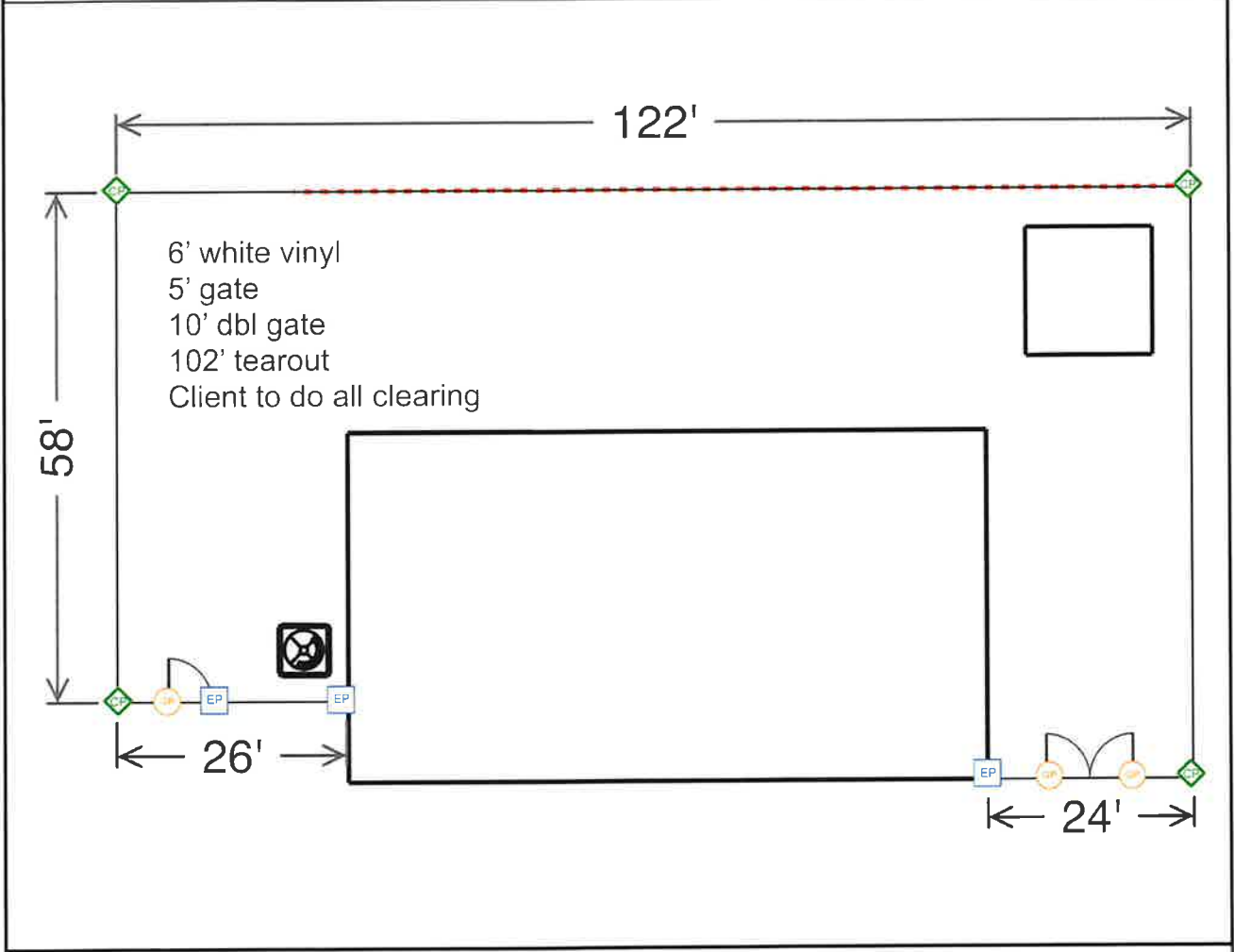
Authorized Rep. Signature





Date

Detail Plan



Lisa Coleman
 2052 SW 2nd Street
 Ocala, FL, 34471
 lisapc7777@gmail.com
 3528758998
 Feb. 26, 2026



 TEAR OUT	102 ft  WHT - T&G PICKET 62'	605
 WHT - POST 102'	54  WHT - POST 108' (.250" WALL)	3

Initials: _____

Ocala Fence

311 NW 11th Place
Ocala, Florida 34475

Office: 352-274-0823
www.ocalafence.com



Project Proposal

February 26, 2026

This estimate was prepared for

Lisa Coleman
2052 SW 2nd Street
Ocala, FL 34471

3529758998
lisacs7777@gmail.com

Estimate given by

Ethan Lower

3527893556
ethan@ocalafence.com

PHOTOGRAPHS - BEFORE

CRA26-0008
Physical Address: 2052 SW 2nd Street
Parcel Id: 2260-153-017
Photos Before











OWNERSHIP EVIDENCE

Instrument Prepared By
Lewis E. Dinkins, P.A.
201 N.E. 8th Avenue
Ocala, Florida 34470

FRANCES E. THIGPIN, CLERK OF CIRCUIT COURT
FILE: 96015104
03/01/96 15:02
OR BOOK/PAGE: 224/579
MARION COUNTY - *Alary* DC.

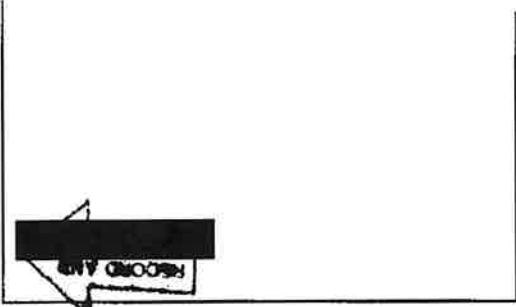
10.50 Rec
70ds

WARRANTY DEED

Deed Doc Stamps 0.70 PAID

03/01/96 MARION COUNTY *E Franklin* CLERK

THIS INDENTURE, made the
1st day of MARCH,
1996, between HENRY PINDER whose
Social Security Number is _____
and his Wife,
DAISY PINDER, whose Social
Security Number is _____
and whose address is
205 S.W. 21st Ave., Ocala,
Florida 34474, hereinafter called
the Grantors, and LISA P.
COLEMAN, whose Social Security
Number is _____,
and whose address is 2052 S.W.
2nd Street, Ocala, Florida 34474, hereinafter called the Grantee.



WITNESSETH that the Grantors, for and in consideration of
the sum of Ten and no/100 Dollars (\$10.00), and other good and
valuable considerations to said Grantors in hand paid by said
Grantee, the receipt whereof is hereby acknowledged; has granted,
bargained and sold to the said Grantee and Grantee's heirs and
assigns forever, the following described land, situate, lying and
being in Marion County, Florida, to-wit:

Lots 17, 19 and 21, Block 153, WEST END ADDITION to
Ocala, Florida as per plat thereof recorded in Plat
Book "A", page 53, Public Records of Marion County,
Florida.

SUBJECT TO taxes for the year 1996, and Alcoholic
Beverage Restrictions shown in Deed Book 286, Page 301
under filing date of June 22, 1949.

SUBJECT TO easements, restrictions, covenants and liens
of record, if any.

SUBJECT TO taxes subsequent to 1996.

Parcel ID No. 2260-153-017

and said Grantors do hereby fully warrant the title to said land,
and will defend the same against the lawful claims of all persons
whomsoever.

IN WITNESS WHEREOF, Grantors have hereunto set their hands
and seals the day and year first above written.

THIS IS A GIFT TRANSACTION.

LEWIS E. DINKINS, P. A.
ATTORNEY AND COUNSELOR
AT LAW

201 N. E. 8TH AVENUE
SUITE 100
OCALA, FLORIDA 34470
(904) 622-4176

20553 W. PENNSYLVANIA AVE
DUNNELLON, FLORIDA 34431
(904) 488-2777

Sharon Leight
Witness signature
Sharon Leight
Witness printed name

Kelly D. Knudson
Witness signature
Kelly D. Knudson
Witness printed name

Henry Pinder (Seal)
HENRY PINDER

Daisy Pinder (Seal)
DAISY PINDER

STATE OF FLORIDA
COUNTY OF MARION

I HEREBY CERTIFY that on this day, before me, an officer duly qualified to take acknowledgments, personally appeared HENRY PINDER, to me known to be the person described in and who executed the foregoing instrument and he acknowledged before me that he executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 1st day of MARCH, 1996. Personally known or ID presented _____.



SHARON ANN LEIGHT
MY COMMISSION # CC480449 EXPIRES
September 21, 1999
BONDED THRU TROY FAIR INSURANCE, INC.

Sharon Ann Leight
Notary Public
SHARON ANN LEIGHT

STATE OF FLORIDA
COUNTY OF MARION

I HEREBY CERTIFY that on this day, before me, an officer duly qualified to take acknowledgments, personally appeared DAISY PINDER, to me known to be the person described in and who executed the foregoing instrument and she acknowledged before me that she executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 1st day of MARCH, 1996. Personally known or ID presented _____.



SHARON ANN LEIGHT
MY COMMISSION # CC480449 EXPIRES
September 21, 1999
BONDED THRU TROY FAIR INSURANCE, INC.

Sharon Ann Leight
Notary Public
SHARON ANN LEIGHT



CITIZENS PROPERTY INSURANCE CORPORATION
 301 W BAY STREET, SUITE 1300
 JACKSONVILLE FL 32202-6142

Homeowners HO-3 Special Form Policy - Declarations

POLICY NUMBER: 10417606 - 3 **POLICY PERIOD:** FROM 07/27/2025 TO 07/27/2026
 at 12:01 a.m. Eastern Time at the Location of the Residence Premises

Transaction: AMENDED DECLARATIONS **Effective:** 07/27/2025

Named Insured and Mailing Address:	Location Of Residence Premises:	Agent: Fl. Agent Lic. #: E037813
First Named Insured: Lisa Coleman 2052 SW 2ND ST OCALA, FL 34471-1873 Phone Number: 352-620-8531	2052 SW 2ND ST OCALA FL 34471-1873 County:MARION	GEICO INSURANCE AGENCY LLC KIMBERLY LINDSAY 1 GEICO BLVD FREDERICKSBURG, VA 22412 Phone Number: 866-372-7865 Citizens Agency ID#: 28712
Primary Email Address: lisa.coleman@marion.k12.fl.us		
Additional Named Insured: Please refer to "ADDITIONAL NAMED INSURED(S)" section for details		

Coverage is only provided where a premium and a limit of liability is shown

All Other Perils Deductible: \$1,000

Hurricane Deductible: \$7,010 (2%)

	LIMIT OF LIABILITY	ANNUAL PREMIUM
SECTION I - PROPERTY COVERAGES		\$2,595
A. Dwelling :	\$350,500	
B. Other Structures:	\$35,050	
C. Personal Property:	\$175,250	
D. Loss of Use:	\$35,050	
SECTION II - LIABILITY COVERAGES		
E. Personal Liability:	\$100,000	\$7
F. Medical Payments:	\$2,000	INCLUDED
OTHER COVERAGES		
Personal Property Replacement Cost	Included	\$330
Ordinance or Law Limit (25% of Cov A)	(See Policy)	Included
	SUBTOTAL:	\$2,932
Florida Hurricane Catastrophe Fund Build-Up Premium:		\$42
Premium Adjustment Due To Allowable Rate Change:		(\$621)
MANDATORY ADDITIONAL CHARGES:		
2023-A Florida Insurance Guaranty Association (FIGA) Emergency Assessment		\$24
Emergency Management Preparedness and Assistance Trust Fund (EMPA)		\$2
Tax-Exempt Surcharge		\$41
STATUTORY INSURANCE PREMIUM DISCOUNTS:		
Legislative Premium Tax Discount		(\$41)
Legislative Fire Marshal Discount		(\$6)
TOTAL POLICY PREMIUM INCLUDING ANY ADDITIONAL CHARGES, ASSESSMENTS, AND ADJUSTMENTS:		\$2,373
The portion of your premium for:		
Hurricane Coverage is \$1,802	Non-Hurricane Coverage is \$551	

Authorized By: KIMBERLY LINDSAY

Processed Date: 07/01/2025

DEC HO3 12 24 R	First & Additional Named Insured	Page 1 of 5
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**TAX BILL REVIEW
PROPERTY TAXES CURRENT
AND FULLY PAID**

Jimmy H. Cowan, Jr., CFA

Marion County Property Appraiser



501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

2026 Property Record Card

2260-153-017

[GOOGLE Street View](#)

Prime Key: 2764295

[MAP IT-](#)

Current as of 2/19/2026

Property Information

COLEMAN LISA P
COLEMAN KENNETH L
2052 SW 2ND ST
OCALA FL 34471-1873

Taxes Assessments:

Map ID: 162
Millage: 1001 - OCALA

M.S.T.U.

PC: 01
Acres: .28

Situs: 2052 SW 2ND ST OCALA

2025 Certified Value

Land Just Value	\$16,830		
Buildings	\$194,798		
Miscellaneous	\$1,134		
Total Just Value	\$212,762	Impact	
Total Assessed Value	\$119,326	<u>Ex Codes:</u> 01 38	(\$93,436)
Exemptions	(\$50,722)		
Total Taxable	\$68,604		
School Taxable	\$94,326		

History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$16,830	\$194,798	\$1,134	\$212,762	\$119,326	\$50,722	\$68,604
2024	\$14,280	\$245,653	\$1,449	\$261,382	\$115,963	\$50,000	\$65,963
2023	\$10,200	\$254,591	\$1,575	\$266,366	\$112,585	\$50,000	\$62,585

Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
4012 0104	02/2005	05 QUIT CLAIM	7 PORTIONUND INT	U	I	\$100
SR94 1111	03/1996	EI E I	0	U	I	\$64,935
SR93 1110	03/1996	EI E I	0	U	I	\$60,082
2224 0579	03/1996	07 WARRANTY	0	U	I	\$100
1M95 0776	02/1996	EI E I	0	U	I	\$67,915

Property Description

SEC 13 TWP 15 RGE 21
PLAT BOOK A PAGE 053
WEST END ADDITION
BLK 153 LOTS 17.19.21

Quality Grade 600 - AVERAGE
 Inspected on 3/19/2025 by 181

Obsolescence: Locational 0%
 Architecture 0 - STANDARD SFR
 Base Perimeter 229

Type	ID	Exterior Walls	Stories	Year Built	Finished Attic	Bsmt Area	Bsmt Finish	Ground Floor Area	Total Flr Area
RES	0132	- CONC BLK-STUCO	1.00	1992	N	0 %	0 %	2,049	2,049
FOP	0201	- NO EXTERIOR	1.00	1992	N	0 %	0 %	78	78
FGR	0332	- CONC BLK-STUCO	1.00	1992	N	0 %	0 %	484	484
FEP	0432	- CONC BLK-STUCO	1.00	1992	N	0 %	0 %	240	240

Section: 1

Roof Style: 12 HIP	Floor Finish: 24 CARPET	Bedrooms: 3	Blt-In Kitchen: Y
Roof Cover: 08 FBRGLASS SHNGL	Wall Finish: 16 DRYWALL-PAINT	4 Fixture Baths: 1	Dishwasher: Y
Heat Meth 1: 20 HEAT PUMP	Heat Fuel 1: 10 ELECTRIC	3 Fixture Baths: 1	Garbage Disposal: N
Heat Meth 2: 00	Heat Fuel 2: 00	2 Fixture Baths: 0	Garbage Compactor: N
Foundation: 7 BLK PERIMETER	Fireplaces: 1	Extra Fixtures: 4	Intercom: N
A/C: Y			Vacuum: N

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
159 PAV CONCRETE	990.00	SF	20	1992	3	0.0	0.0
105 FENCE CHAIN LK	120.00	LF	20	2000	2	0.0	0.0
SLR SOLAR PANEL	21.00	UT	15	2023	2	0.0	0.0

Appraiser Notes

Planning and Building

** Permit Search **

Permit Number	Date Issued	Date Completed	Description
BLD24-1823	9/10/2024	-	COLEMAN SHED
BLD23-1753	8/8/2023	8/18/2023	COLEMAN/REPLACE WINDOWS SIZE FOR SIZE
BLD23-1765	8/8/2023	9/6/2023	COLEMAN/ PV SOLAR RM
OC01786	11/1/1991	8/1/1992	RENEW SFR-TO COMPLETE SFR
OC00044	9/1/1990	-	FOR SFR-PERMIT EXPIRED

George Albright
REAL ESTATE

Marion County

Ad Valorem Taxes

ACCOUNT NUMBER: R2260-153-017 2025

ASSESSED VALUE: 119,326

TAKING AUTHORITY

COUNTY GENERAL COUNTY
FINE & FORFEITURE
COUNTY HEALTH
SCHOOL SCHOOL R.L.E.
SCHOOL VOTE
SCHOOL DISCRETIONARY
SCHOOL CAPITAL IMPR
WATER ST JOHNS MANAGEMENT DIST
MUNIC Ocala BASIC
EXEMPTION:EXCD01 25,000
EXCD38 25,722

EXEMPTIONS: * SEE BELOW *

MILLAGE

3.0900
.8300
.1000
3.0720
1.0000
.7480
1.5000
.1793
6.6177

ASSESSED

119,326
119,326
119,326
119,326
119,326
119,326
119,326
119,326
119,326

EXEMPTIONS

50,722
50,722
50,722
25,000
25,000
25,000
25,000
50,722
50,722

TAX DISTRICT: 1001

TAXABLE VALUE:

68,604
68,604
68,604
94,326
94,326
94,326
94,326
68,604
68,604

68,604

TAXES

211.99
56.94
6.86
289.77
94.33
70.56
141.49
12.30
454.00

17.13700

1,338.24

Non-Ad Valorem Assessments

LEVYING AUTHORITY

X901 Ocala FIRE

PURPOSE
SF/DUP/MH

RATES/BASIS
PER ASMT UNIT

AMOUNT

NON AD VALOREM ASSESSMENTS:
COMBINED TAXES & ASSESSMENTS TOTAL: 1,702.39

R2260-153-017 2025

COLEMAN LISA P
COLEMAN KENNETH L
2052 SW 2ND ST
OCALA FL 34471-1873

*** PAID *** PAID *** PAID ***
12/01/25 PERIOD 01

NOV 30 2025	DEC 31 2025	JAN 31 2026	FEB 28 2026	MAR 31 2026	PastDue Apr 1
1,634.29	1,651.32	1,668.34	1,685.37	1,702.39	1,753.46

George Albright
REAL ESTATE

Marion County

NOV 30 2025	DEC 31 2025	JAN 31 2026	FEB 28 2026	MAR 31 2026	PastDue Apr 1
1,634.29	1,651.32	1,668.34	1,685.37	1,702.39	1,753.46

EX-TYPE	ESCROW	MILLAGE	TAXES LEVIED	REMIT PAYMENT IN U.S. FUNDS TO:
	8635	1001		

VALUES AND EXEMPTIONS TAXES 1,338.24 George Albright
MARKET VALU 212,762 SP. ASMT 364.15 503 SE 25TH AVENUE
ASSESSMENT 119,326 Ocala Fl 34471
TAXABLE 68,604
EXCD01 25,000
EXCD38 25,722

13 15 21
SEC 13 TWP 15 RGE 21 PLAT BOOK A
PAGE 053 WEST END ADDITION BLK
153 LOTS 17.19.21

R2260-153-017 2025

COLEMAN LISA P
COLEMAN KENNETH L
2052 SW 2ND ST
OCALA FL 34471-1873

*** PAID *** PAID *** PAID ***
12/01/25 PERIOD 01
197-2025-0060427.0000
\$1,634.29 CK

WEST OCALA FRAMEWORK



Community Redevelopment Agency (CRA)

OCALA

April 2025

CRA Subarea: **West Ocala**

Framework Residential Property Improvement Grant

ELIGIBLE AREA

Neighborhoods within the West Ocala CRA boundary.

ELIGIBLE APPLICANT

Property owner, or tenant with property owner's approval.

ELIGIBLE PROPERTIES

- Taxable ad valorem properties – Property taxes must be current and fully paid.
- Property must be used for residential purposes.
- Single family and duplex homes within the CRA subarea. This includes owner occupied and rental units.

ELIGIBLE WORK

Improvements Eligible for Grant Funding Include:

- Exterior painting (colors must be approved by the Committee)
- Pressure washing and related work to repair and prepare surfaces for painting
- Repair or replacement of windows and doors (exterior improvements only)
- Demolition of irreparably damaged houses or structures
- Installation of new landscaping visible from the street or sidewalk
- Fencing installation or replacement
- Roofing repairs or upgrades
- Weatherization improvements (HVAC & Insulation)
- New construction
- Termite tenting

MAXIMUM GRANT

\$20,000 (Reimbursement)

REQUIRED MATCH

The **City covers 75%**, the **applicant covers 25%**. To receive the maximum grant, the total project cost for eligible improvements must be no less than \$26,667.



Ocala

Legislation Text

110 SE Watula Avenue
Ocala, FL 34471

www.ocalafl.gov

File #: 2026-1138

Agenda Item #: 5d.

Submitted By: Sarah Andre

Presentation By: Roberto Ellis

Department: Growth Management

FORMAL TITLE (Motion Ready):

Applications to fill two vacancies on the West Ocala Community Redevelopment Agency Advisory Committee

OCALA'S RELEVANT STRATEGIC GOALS:

Operational Excellence

PROOF OF PUBLICATION:

N/A

BACKGROUND:

The Community Redevelopment Agency (CRA) and Ocala City Council adopted resolutions on November 1, 2016, establishing the West Ocala Redevelopment Advisory Committee (Advisory Committee), and nine members were appointed. Staff is proposing that the CRA Board appoint two candidates to fill expired terms ending on March 1, 2028, and March 1, 2029.

Advisory Committee members shall serve four-year terms and may be reappointed. If a term is vacated, the candidate will serve the remainder of the term.

FINDINGS AND CONCLUSIONS:

There are four eligible applicants for the vacant positions on the West Ocala CRA Advisory Committee. Long-serving member Mr. Dwan Thomas resigned, resulting in an unexpired vacancy. Outgoing member Ms. Carolyn Adams' term has ended, and she will not seek reappointment. Summaries of the applicants' qualifications are provided below. Please refer to the attached copies of each applicant's completed application.

Jamie Gilmore: Co-Founder and CEO of Kut Different INC, a nonprofit organization founded in 2020, which serves Marion County youth, with a focus on underserved youth and young African American males. Due to Mr. Gilmore's current role and direct involvement with Howard Middle School and other youth in West Ocala, he is eligible for consideration.

Gloria Robeson: Currently serves as a Family Engagement Liaison (FEL) with Marion County Public Schools at Howard Middle School. Due to Ms. Robeson's current professional position, which allows her to work

directly with students and families in need in West Ocala, she is eligible for consideration.

Darnitha Johnson: Founder of Royal Queens Women Empowerment INC, and Operation: Blankets, Socks, and Snacks. Ms. Johnson is eligible for consideration due to her organization's community outreach operations in West Ocala.

Joanie Gaskin: Retired US Army Veteran. Because Ms. Gaskin lives in and is part of the Poinciana Heights Homeowners and Renters Task Force, she is eligible for consideration.

Given that there are four candidates and only two vacancies, the Ocala CRA Board will vote to appoint the candidates best suited for the role. The selected candidates will be presented on the consent agenda of the next scheduled Ocala City Council meeting for final confirmation. The remaining candidate applications will be held for future vacancies.

FISCAL IMPACT: N/A

PROCUREMENT REVIEW: N/A

LEGAL REVIEW: N/A

ALTERNATIVE:

- Approve
- Approve with changes
- Table
- Deny

RESOLUTION 2016-10

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF OCALA, FLORIDA, RELATING TO COMMUNITY REDEVELOPMENT; AMENDING OR MODIFYING THE COMMUNITY REDEVELOPMENT PLAN; REAFFIRMING THE FINDING OF THE EXISTENCE OF ONE OR MORE BLIGHTED AREAS IN THE CITY; CHANGING THE BOUNDARIES OF THE COMMUNITY REDEVELOPMENT AREA TO INCLUDE LAND AND DEFINING THE COMMUNITY REDEVELOPMENT AREA TO INCLUDE THREE SUBAREAS KNOWN AS THE "DOWNTOWN REDEVELOPMENT AREA," "NORTH MAGNOLIA REDEVELOPMENT AREA" AND THE "WEST OCALA REDEVELOPMENT AREA;" MAKING CERTAIN FINDINGS AND DETERMINATIONS; APPROVING A MODIFIED COMMUNITY REDEVELOPMENT PLAN TO INCLUDE THE WEST OCALA REDEVELOPMENT PLAN; PROVIDING FOR THE USE AND CALCULATION OF TAX INCREMENT FUNDS; PROVIDING FOR THE DURATION OF THE WEST OCALA COMMUNITY PLAN AND FUND; PROVIDING FOR NOTIFICATION TO THE TAXING AUTHORITIES; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS:

- A. As used herein, the terms defined in Section 163.340, Florida Statutes, have the meanings as set forth therein. Further, as used herein, the "Redevelopment Act" refers to Part III, Chapter 163, Florida Statutes;
- B. By Resolution No. 88-37, adopted by the Ocala City Council ("City Council") on March 15, 1988, City Council found that one or more slum or blighted areas existed within the City in the area described in the Resolution (the "Downtown Redevelopment Area"), and that the rehabilitation, conservation or redevelopment, or combination thereof, of such area was necessary in the interest of public health, safety, morals or welfare of the residents of the City. Pursuant to such Resolution, the Downtown Redevelopment Area became the City's Community Redevelopment Area;
- C. Pursuant to Resolution No. 88-48, adopted by City Council on April 12, 1988, City Council created the Community Redevelopment Agency ("Agency"), and designated the City Council as the Agency pursuant to Section 163.357, Florida Statutes;
- D. By Resolution No. 88-52, adopted by City Council on May 24, 1988, the City adopted a Community Redevelopment Plan for the Downtown Redevelopment Area;
- E. By Ordinance No. 2009, adopted by City Council on June 1988, the City established a Redevelopment Trust Fund ("Fund") and provided for the deposit therein of tax increment revenues as described in Section 163.387(1) Florida Statutes;
- F. By Resolution No. 93-66, adopted by City Council on June 29, 1993, the City designated the Downtown Development Commission ("DDC") as the Agency pursuant to Section 163.356, Florida Statutes;
- G. By Resolution No. 99-01, adopted by City Council on June 22, 1999, the City designated City Council as the Agency pursuant to Section 163.357, Florida Statutes, and named the DDC as the advisory board to the Agency;

- H. By Resolution No. 99-121, adopted by City Council on August 10, 1999, the City found that one or more slum and blighted areas existed within the area described therein (the “North Magnolia Redevelopment Area”), that the rehabilitation, conservation or redevelopment, or combination thereof, of the North Magnolia Redevelopment Area was necessary in the interest of public health, safety, morals or welfare of the residents of the City, and that the need existed to amend the Community Redevelopment Plan to include the North Magnolia Redevelopment Area;
- I. By Resolution No. 2000-07, adopted by City Council on November 2, 1999, the City adopted a modification to the Community Redevelopment Plan. The modification included a change to the Community Redevelopment Area boundary designating a part of the Redevelopment Area as the “Downtown Redevelopment Area” and the other part as the “North Magnolia Redevelopment Area,” and the adoption of the “North Magnolia Redevelopment Area Community Redevelopment Plan” dated June 22, 1999, as the redevelopment plan for the North Magnolia Redevelopment Area;
- J. By Resolution No. 2006-43, adopted by City Council on March 28, 2006, the City adopted a further modification to the Community Redevelopment Plan, amended the Community Redevelopment Plan as set forth therein, and extended the duration of the Community Redevelopment Plan, as more particularly set forth therein;
- K. City Council received a recommendation from City staff, including a Finding of Necessity Report, that a finding of the existence of one or more slum and blighted areas within portions of West Ocala should be made, that such portions of West Ocala should be added to the existing Community Redevelopment Area, and that the current Community Redevelopment Plan should be amended;
- L. City Council adopted Resolution No. 2013-42 on May 7, 2013, finding the existence of one or more blighted areas in the City of Ocala referred to as the “West Ocala Redevelopment Area,” finding the conditions in the area meet the criteria described in Section 163.340(8), Florida Statutes, for a blighted area;
- M. The West Ocala Redevelopment Area Plan has been prepared and completed in accordance with the Redevelopment Act;
- N. The Agency received the West Ocala Redevelopment Area Plan and referred it to the Planning & Zoning Commission of the City of Ocala, the local planning agency of the City under the Local Government Comprehensive Planning and Land Development Regulation Act, in accordance with Section 163.360(4), Florida Statutes, and the Planning & Zoning Commission on February 9, 2015, after reviewing the West Ocala Redevelopment Area Plan, determined such plan to be consistent with the City’s Comprehensive Plan and returned the proposed West Ocala Redevelopment Area Plan to the Agency with its recommendations;
- O. The Agency approved the proposed West Ocala Redevelopment Area Plan on March 17, 2015, and recommended its adoption to City Council;
- P. Notice to adopt the proposed West Ocala Redevelopment Area Plan was given to all taxing authorities pursuant to Section 163.346, Florida Statutes;
- Q. On July 28, 2015, City Council and the Marion County County Board of County Commissioners held a joint public hearing pursuant to Section 163.361(3)(b)(2), Florida Statutes, to discuss and review competing policy goals for public funds;

- R. A public hearing notice regarding the proposed West Ocala Redevelopment Area Plan was issued in accordance with the Redevelopment Act; and
- S. All prerequisites under the Redevelopment Act having been accomplished, and it is now appropriate and necessary in order to proceed further with the redevelopment of the Community Redevelopment Area in accordance with the Redevelopment Act that the Community Redevelopment Area be amended to include the West Ocala Redevelopment Area Plan (Subarea of the Community Redevelopment Area).

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF OCALA, FLORIDA:

1. **Incorporation.** The above matters are incorporated herein.
2. **Reaffirmation of Prior Resolutions.** The Resolutions described above, including Resolution No. 2013-42, finding that one or more slum and blighted areas exist within the West Ocala Redevelopment Area as described and depicted on Exhibit A to such Resolution and to this Resolution, are reaffirmed.
3. **Change in Boundaries of Community Redevelopment Area.** The Community Redevelopment Plan is hereby amended and modified, pursuant to Section 163.361, Florida Statutes, to change the boundaries of the Community Redevelopment Area to include the West Ocala Redevelopment Area. Thus, the Community Redevelopment Area shall consist of the following areas (each of which are referred to as a "Subarea"):
 - a. The Downtown Redevelopment Area;
 - b. The North Magnolia Redevelopment Area; and
 - c. West Ocala Redevelopment Area
4. **Findings Concerning Adoption of the Modified Plan.** The City Council does hereby find that:
 - a. The modification to the Community Redevelopment Plan being made by this Resolution (the "Modified Plan") has been prepared, proposed and approved as required by the Redevelopment Act.
 - b. The City Council hereby approves community redevelopment of the Community Redevelopment Area pursuant to the Community Redevelopment Plan, as modified by this Resolution in that:
 - 1). Even though no families are anticipated to be displaced as a result of community redevelopment as proposed in the Modified Plan, a feasible method exists for the location of any such families in decent, safe, and sanitary dwelling accommodations within their means and without undue hardship to such families;
 - 2). The Modified Plan conforms to the general plan of the City as a whole;
 - 3). The Modified Plan gives due consideration to the utilization of community policing innovations, and to the provision of adequate park and recreational areas and facilities, that may be desirable for neighborhood improvement, with special

Redevelopment Plan for each Subarea and as permitted by law (including the City Code). The Fund shall exist for the duration of the community redevelopment undertaken by the Community Redevelopment Agency pursuant to the Community Redevelopment Plan for each Subarea to the extent permitted by the Redevelopment Act and applicable law. Moneys shall be held in the Fund by the City for and on behalf of the Community Redevelopment Agency, and disbursed from the Fund as provided by the Redevelopment Act, the City Code, Resolution, or the Community Redevelopment Agency.

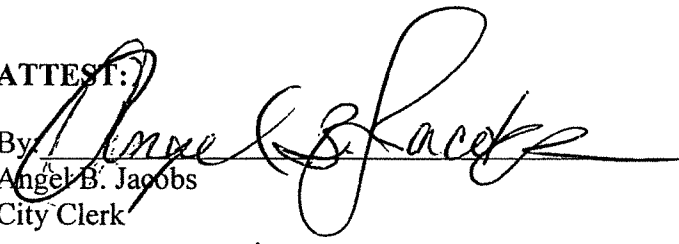
- b. The tax increment to be paid by each taxing authority for the West Ocala Redevelopment Area shall be determined annually and shall be that amount equal to 90 percent of the difference between:
- 1). The amount of ad valorem taxes levied each year by each taxing authority, exclusive of any amount from any debt service millage, on taxable real property contained within the geographic boundaries of the West Ocala Redevelopment Area; and
 - 2). The amount of ad valorem taxes which would have been produced by the rate upon which the tax is levied each year by or for each taxing authority, exclusive of any debt service millage, upon the total of the assessed value of the taxable real property in the West Ocala Redevelopment Area as shown upon the most recent assessment roll used in connection with the taxation of such property by each taxing authority for 2015 which is the base year for the West Ocala Redevelopment Area.
7. **Duration of Plan and Fund.** The duration of the Modified Plan for the West Ocala Redevelopment Area, and therefore of the Fund and of the required deposit of tax increment revenues into the Fund for purposes of the West Ocala Redevelopment Area, is December 31, 2045.
8. **Continuation of Fund.** This Resolution does not impair, diminish or restrict the effectiveness, validity of continuation of the Fund created and established by Ordinance No. 2009, enacted by the City Council on June 28, 1988, or any amendments thereto adopted prior to the effective date of this Resolution.
9. **Notification to Taxing Authorities.** The City Clerk is hereby authorized and directed to notify all taxing authorities of the adoption of this Resolution.
10. **Effective Date:** This Resolution shall take effect immediately upon its adoption.

This resolution adopted this 17 day of November, 2015.

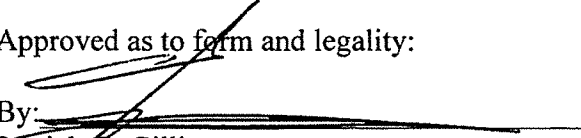
CITY OF OCALA

By: 
 Jay A. Musleh
 President, Ocala City Council

ATTEST:

By: 
Angel B. Jacobs
City Clerk

Approved as to form and legality:

By: 
Patrick G. Gilligan
City Attorney

Application Form

Profile

 Prefix Jamie _____
 First Name Last Name

jamie.gilmore@kutdifferent.org
 Email Address

4900 Sw 46 ct _____
 Home Address Suite or Apt

Ocala FL 34474
 City State Postal Code

Business Name and Address

Occupation

Home: (352) 497-6752 _____
 Primary Phone Alternate Phone

Are you a resident of Marion County?

Yes No

If you are a resident, state length of time in years:

Do you own property within the City Limits?

Yes No

Do you reside within the City Limits?

Yes No

Do you own a business within the City Limits?

Yes No

Do you hold a public office?

Yes No

Are you a registered City voter?

Yes No

Are you employed by the City?

Yes No

At the present time, do you serve on a City Board, Commission, Authority, or Committee?

Yes No

Please Note: A board/commission member shall not serve on more than one City board/commission at a time, unless that board/commission is an interim Ad Hoc Committee.

Which Boards would you like to apply for?

West Ocala Redevelopment Advisory Committee: For Review

Please note this application is effective for one year from date of submission.

Until such time as you are selected for the board/commission of your choice, can we submit your application when vacancies occur without contacting you each time?

Yes No

Interests & Experiences

Please tell us about yourself and why you want to serve.

Why do you think you are qualified to serve on this board/commission?

I believe I am qualified to serve on the West Ocala Redevelopment Advisory Committee because my life's work is centered around strengthening communities through youth development, leadership, and long-term systems change. As the Founder and CEO of Kut Different, I work directly with young men and families who are impacted by the very challenges redevelopment efforts aim to address: economic instability, limited access to opportunity, educational gaps, and generational cycles of poverty. I don't just study these issues—I see them daily, and I actively work to create solutions that disrupt the school-to-prison pipeline and build a school-to-career pathway. I bring a solutions-oriented mindset, strong community relationships, and a deep commitment to ensuring that redevelopment efforts benefit current residents, especially youth and families who have historically been underserved. My goal is to contribute insight, advocate for sustainable growth, and ensure that redevelopment strengthens the fabric of West Ocala rather than displacing or overlooking those who call it home.

Brief Resume of Education and Experience:

Jamie Gilmore, Jr. is the Co-Founder and Chief Executive Officer of Kut Different Inc., a Marion County-based youth development nonprofit he has led since 2020. In this role, he oversees strategic planning, board governance, financial management, community partnerships, and program development, implementing data-driven initiatives focused on academic growth, leadership development, and workforce exposure for underserved youth. He is also leading the development of Kut Different Academy, an innovative educational model designed to create structured pathways from school to career. Jamie holds a Master of Science in Sport Management from Western Illinois University and a Bachelor of Business Administration in Human Resource Management from Temple University. He is a former NCAA Division I full scholarship student-athlete and a recognized community leader, named to Ocala Magazine's 40 Under 40 and inducted into the Black History Museum of Marion County.

Upload a Resume

By submitting this application, you hereby confirm that you have read and understand the application, that all information furnished by yourself is true and accurate and that, to the best of your knowledge, you meet the criteria for serving on the board(s)/commission(s) for which you are applying.

If you have any questions, please call the Office of the City Clerk at (352) 629-8266.

Application Form

Profile

Ms. Gloria Robeson
Prefix First Name Last Name

lottsofdazzle@gmail.com
Email Address

1405 NW 19th Court
Home Address Suite or Apt

Ocala FL 34475
City State Postal Code

Business Name and Address

Howard Middle School 1655 NW 10th St. Ocala, Fl. 34475

Family Engagement
 Liaison
Occupation

Mobile: (352) 895-4057 Home: (352) 895-4057
Primary Phone Alternate Phone

Are you a resident of Marion County?

Yes No

If you are a resident, state length of time in years:

20

Do you own property within the City Limits?

Yes No

Do you reside within the City Limits?

Yes No

Do you own a business within the City Limits?

Yes No

Do you hold a public office?

Yes No

Are you a registered City voter?

Yes No

Are you employed by the City?

Yes No

At the present time, do you serve on a City Board, Commission, Authority, or Committee?

Yes No

Please Note: A board/commission member shall not serve on more than one City board/commission at a time, unless that board/commission is an interim Ad Hoc Committee.

Which Boards would you like to apply for?

West Ocala Redevelopment Advisory Committee: Submitted

Please note this application is effective for one year from date of submission.

Until such time as you are selected for the board/commission of your choice, can we submit your application when vacancies occur without contacting you each time?

Yes No

Interests & Experiences

Please tell us about yourself and why you want to serve.

Why do you think you are qualified to serve on this board/commission?

I am presently a Family Engagement Liaison for the Marion County School Board. This gives me hands on experience with families in need. Such as housing, food insecurity, transportation, mental health, employment barriers, etc. With this experience I understand the human impact of policies.

Brief Resume of Education and Experience:

Years of community Outreach and social services. Bachelor of Science Degree in Social Services.

[Gloria_Resume.docx](#)

Upload a Resume

By submitting this application, you hereby confirm that you have read and understand the application, that all information furnished by yourself is true and accurate and that, to the best of your knowledge, you meet the criteria for serving on the board(s)/commission(s) for which you are applying.

If you have any questions, please call the Office of the City Clerk at (352) 629-8266.

Gloria Denise Robeson
Ocala, Florida
352-895-4057
Lottsofdazzle @gmail.com

Professional Summary

Compassionate and results-driven Family Engagement Liaison with experience in social services and case management. Skilled in building strong relationships with families, identifying barriers to success, and connecting individuals to community resources. Dedicated to advocating for students and families while promoting academic achievement, attendance improvement, and overall well-being.

Core Competencies

- Case Management
 - Family Engagement & Advocacy
 - Community Resource Coordination
 - Crisis Intervention
 - Attendance & Academic Monitoring
 - Student Support Services
 - Conflict Resolution
 - Documentation & Reporting
 - Cultural Competency
 - Collaborative Teamwork
-

Professional Experience

Family Engagement Liaison (FEL)

Marion County – Ocala, FL.
8/22 – Present

- Monitor student attendance, grades, and behavioral concerns to identify at-risk students.
- Conduct outreach to families regarding absences, tardiness, and academic performance.
- Provide case management support to students and families facing social, emotional, and economic challenges.

- Connect families with community resources including housing assistance, food programs, counseling services, healthcare, and employment support.
 - Facilitate meetings between parents, teachers, and administrators to support student success.
 - Develop intervention plans to improve attendance and academic outcomes.
 - Maintain accurate records and documentation in compliance with district policies.
 - Advocate for families to ensure access to necessary school and community services.
-

Previous Experience

Case Manager / Social Services Support

Marion County – Ocala, Fl.

8/22 – Present

Assessed client needs and developed individualized service plans.

- Coordinated referrals to community agencies and support programs.
 - Provided crisis intervention and short-term counseling support.
 - Monitored client progress and adjusted service plans as needed.
 - Collaborated with multidisciplinary teams to ensure comprehensive care.
-

Education

Bachelor of Sciences

St. Leo University – Ocala, Fl.

Certifications (if applicable)

- CPR/First Aid
- Conflict Resolution Training

Application Form

Profile

Mrs Darnitha Johnson
Prefix First Name Last Name

dawngaskin9@gmail.com
Email Address

5360 N.W. 16th St
Home Address Suite or Apt

Ocala FL 34482
City State Postal Code

Business Name and Address

Royal Queens Women Empowerment Inc.

CEO
Occupation

Mobile: (352) 843-0167
Primary Phone Alternate Phone

Are you a resident of Marion County?

Yes No

If you are a resident, state length of time in years:

52

Do you own property within the City Limits?

Yes No

Do you reside within the City Limits?

Yes No

Do you own a business within the City Limits?

Yes No

Do you hold a public office?

Yes No

Are you a registered City voter?

Yes No

Are you employed by the City?

Yes No

At the present time, do you serve on a City Board, Commission, Authority, or Committee?

Yes No

Please Note: A board/commission member shall not serve on more than one City board/commission at a time, unless that board/commission is an interim Ad Hoc Committee.

Which Boards would you like to apply for?

West Ocala Redevelopment Advisory Committee: Submitted

Please note this application is effective for one year from date of submission.

Until such time as you are selected for the board/commission of your choice, can we submit your application when vacancies occur without contacting you each time?

Yes No

Interests & Experiences

Please tell us about yourself and why you want to serve.

Why do you think you are qualified to serve on this board/commission?

I have a strong commitment and compassion towards the inbettermy City and the Westside Communities.

Brief Resume of Education and Experience:

Domestic Violence Advocacy: As a survivor who was once nearly killed by domestic violence, I use men platform to raise awareness. I have spoken before the Ocala City Council and the Florida Senate and House to advocate for better legal protections and resources. Operation Blankets, Socks and Snacks: I currently lead this annual initiative to distribute essential items to the homeless and single mothers in need throughout Marion County. Shelter Advocacy: I have been active in supporting the opening of new domestic violence shelters in the region. Awards and Recognition Mayor’s Citizen Recognition Award (2025): In June 2025, Mayor Ben Marciano honored myself and my husband, Larry Johnson, for our significant contributions to the Ocala community. Spirit of Community Award (2022): Recognized by the Florida Commission on the Status of Women for her extensive community service. Personal Background I am also a motivational speaker and has contributed articles on social issues to various city newsletters.

Upload a Resume

By submitting this application, you hereby confirm that you have read and understand the application, that all information furnished by yourself is true and accurate and that, to the best of your knowledge, you meet the criteria for serving on the board(s)/commission(s) for which you are applying.

If you have any questions, please call the Office of the City Clerk at (352) 629-8266.

State of Florida

Department of State

I certify from the records of this office that ROYAL QUEENS WOMEN EMPOWERMENT INC. is a corporation organized under the laws of the State of Florida, filed on March 7, 2022, effective March 7, 2022.

The document number of this corporation is N22000002293.

I further certify that said corporation has paid all fees due this office through December 31, 2026, that its most recent annual report/uniform business report was filed on January 23, 2026, and that its status is active.

I further certify that said corporation has not filed Articles of Dissolution.

*Given under my hand and the
Great Seal of the State of Florida
at Tallahassee, the Capital, this
the Twenty-third day of January,
2026*




Secretary of State

Tracking Number: 3206660507CC

To authenticate this certificate, visit the following site, enter this number, and then follow the instructions displayed.

<https://services.sunbiz.org/Filings/CertificateOfStatus/CertificateAuthentication>

Application Form

Profile

 Prefix

Joanie
 First Name

Gaskin
 Last Name

joanie.gaskin@gmail.com
 Email Address

1945 SW 7th place
 Home Address

 Suite or Apt

Ocala
 City

FL
 State

34471
 Postal Code

Business Name and Address

1938 SW 7th Place, LLC

Retired
 Occupation

Mobile: (912) 980-6631
 Primary Phone

Home: (352) 732-6485
 Alternate Phone

Are you a resident of Marion County?

Yes No

If you are a resident, state length of time in years:

57

Do you own property within the City Limits?

Yes No

Do you reside within the City Limits?

Yes No

Do you own a business within the City Limits?

Yes No

Do you hold a public office?

Yes No

Are you a registered City voter?

Yes No

Are you employed by the City?

Yes No

At the present time, do you serve on a City Board, Commission, Authority, or Committee?

Yes No

Please Note: A board/commission member shall not serve on more than one City board/commission at a time, unless that board/commission is an interim Ad Hoc Committee.

Which Boards would you like to apply for?

West Ocala Redevelopment Advisory Committee: Submitted

Please note this application is effective for one year from date of submission.

Until such time as you are selected for the board/commission of your choice, can we submit your application when vacancies occur without contacting you each time?

Yes No

Interests & Experiences

Please tell us about yourself and why you want to serve.

Why do you think you are qualified to serve on this board/commission?

I love Ocala and want what is best for our Community.

Brief Resume of Education and Experience:

A retired U.S. Army veteran with over 30 years of comprehensive logistics expertise spanning purchasing, management, conflict resolution, research, and data analysis. Demonstrates advanced proficiency in warehouse operations, procurement, and property accountability. Holds a Bachelor of Science in Information Technology from Columbia Southern University and an Associate's Degree in General Studies from Central Texas College. A strong multitasker who consistently surpasses objectives, communicates effectively with managers and contractors, and is skilled in Microsoft Office as well as a variety of software applications.

[Gaskin Joanie Resume Mar 2026.pdf](#)

Upload a Resume

By submitting this application, you hereby confirm that you have read and understand the application, that all information furnished by yourself is true and accurate and that, to the best of your knowledge, you meet the criteria for serving on the board(s)/commission(s) for which you are applying.

If you have any questions, please call the Office of the City Clerk at (352) 629-8266.