

# **“THE KEYS AT OCALA II”**

## **PD STANDARDS**

**Prepared: February 8, 2022**



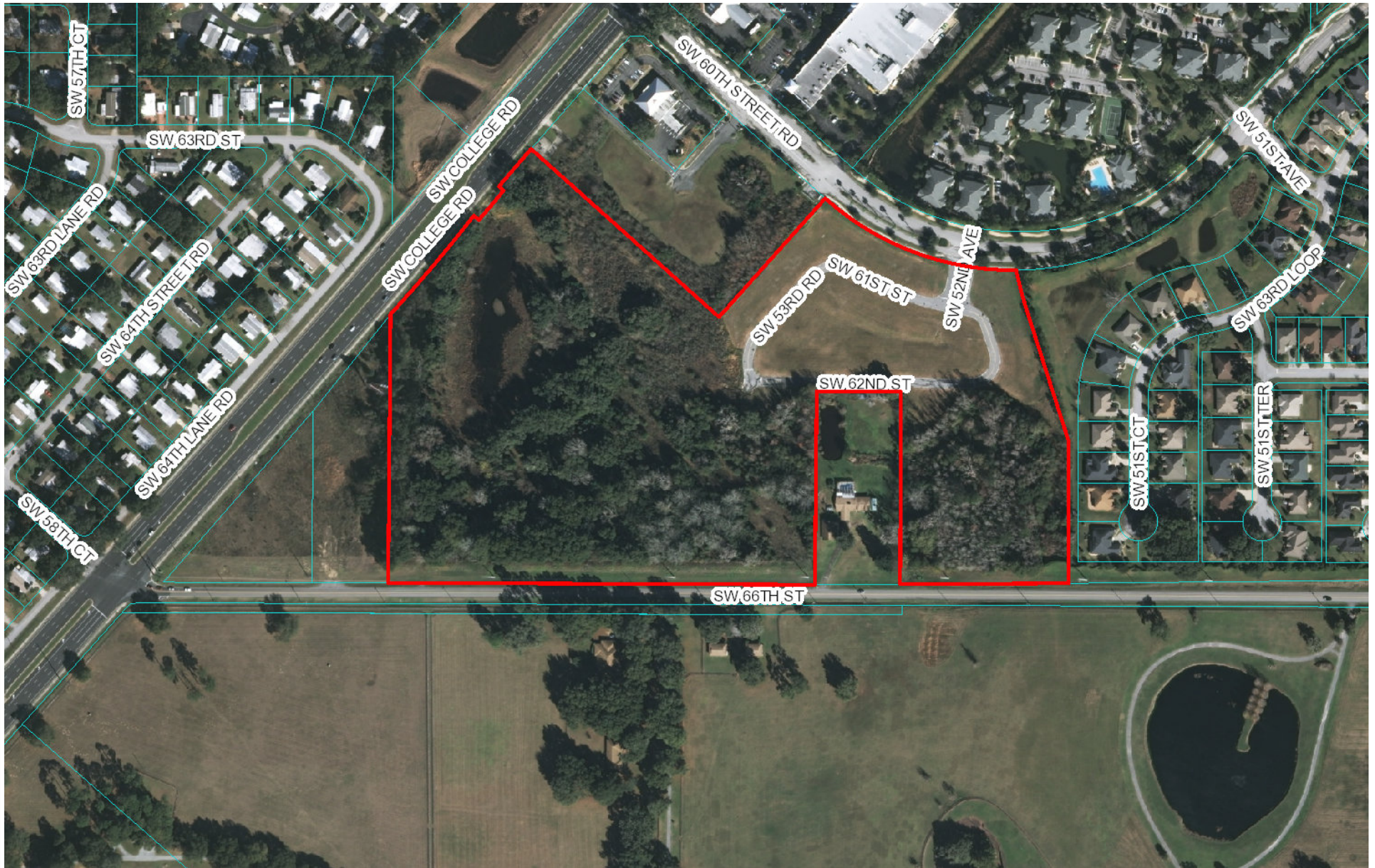
**NATIVE ENGINEERING, PLLC  
18856 N. Dale Mabry Highway  
Lutz, FL 33548  
813-536-2589**



**Villie M. Smith, CFA, ASA**  
Marion County Property Appraiser

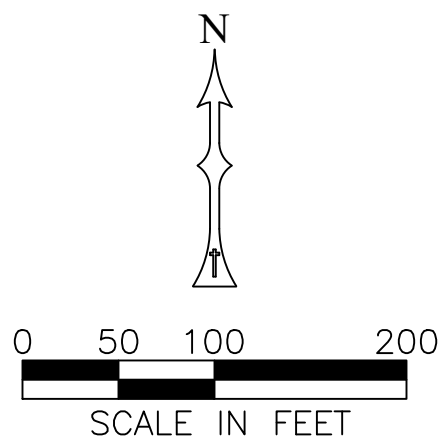
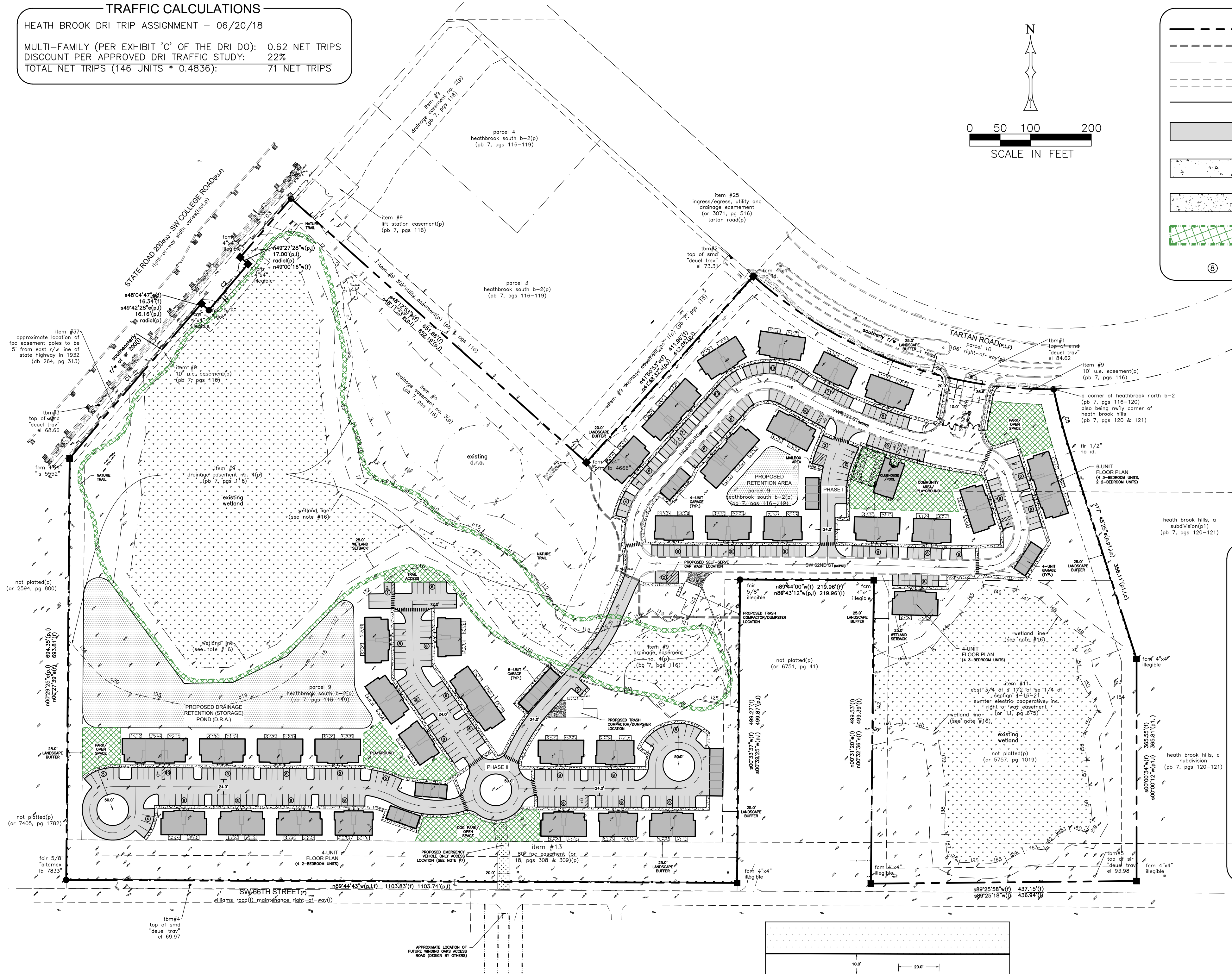
**GIS Web Mapping Application**

Last Updated: 09/14/2018

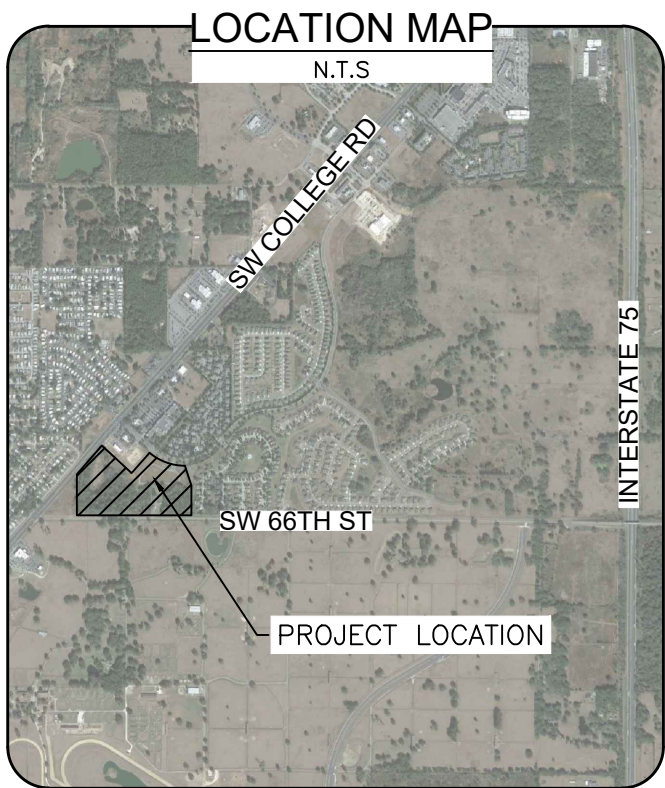


DISCLAIMER: This is a work in progress. This application was compiled by the Marion County Property Appraiser's Office solely for the governmental purpose of property assessment. These are NOT surveys. Our goal is to provide the most accurate data available, however, no warranties, expressed or implied are provided with this data, its use, or interpretation. All information subject to change without notice. Use at your own risk.

| TRAFFIC CALCULATIONS                          |                |
|-----------------------------------------------|----------------|
| HEATH BROOK DRI TRIP ASSIGNMENT - 06/20/18    |                |
| MULTI-FAMILY (PER EXHIBIT 'C' OF THE DRI DO): | 0.62 NET TRIPS |
| DISCOUNT PER APPROVED DRI TRAFFIC STUDY:      | 22%            |
| TOTAL NET TRIPS (146 UNITS * 0.4836):         | 71 NET TRIPS   |



| LEGEND |                                                                |
|--------|----------------------------------------------------------------|
|        | PROPERTY LINE                                                  |
|        | PROPOSED PHASE LINE                                            |
|        | PROPOSED CENTERLINE                                            |
|        | EXISTING EDGE OF PAVEMENT & BACK OF CURB                       |
|        | PROPOSED EDGE OF PAVEMENT                                      |
|        | PROPOSED ASPHALT                                               |
|        | PROPOSED 4" THICK PEDESTRIAN CONCRETE (UNLESS OTHERWISE NOTED) |
|        | PROPOSED 6" THICK REINFORCED FIBERMESH CONCRETE                |
|        | AGGREGATE OPEN SPACE                                           |
|        | PARKING NUMBERS                                                |

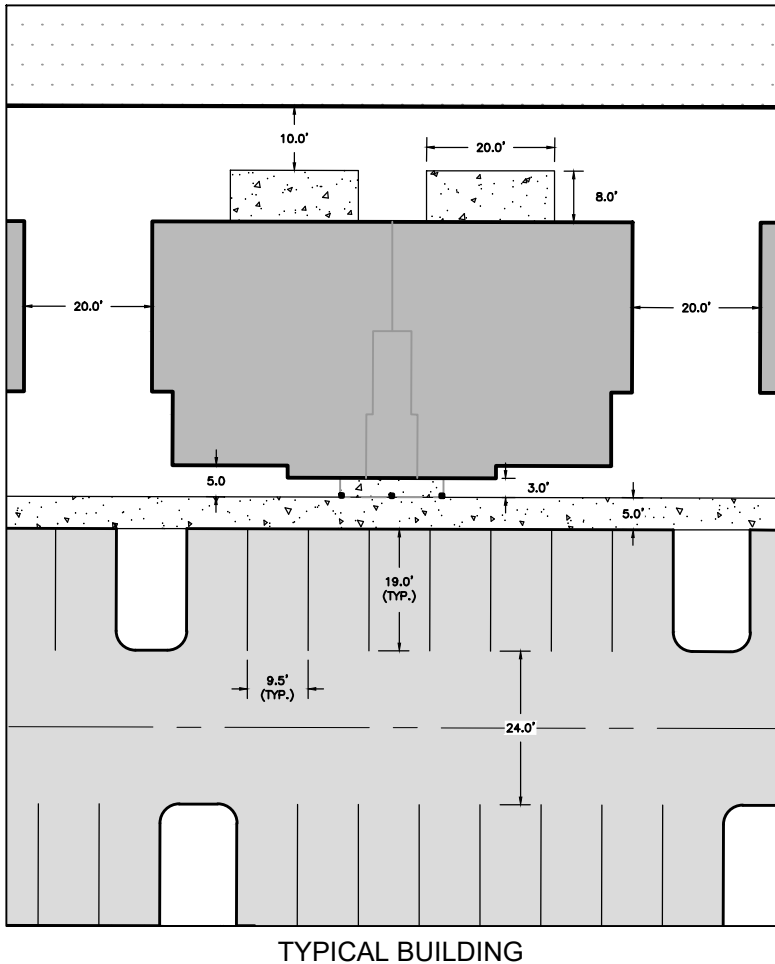


| SITE DATA                                               |                                                                                               |
|---------------------------------------------------------|-----------------------------------------------------------------------------------------------|
| PARCEL ID NUMBER:                                       | 2389-100-009                                                                                  |
| EXISTING ZONING:                                        | PUD-05                                                                                        |
| EXISTING LAND USE:                                      | VACANT RESIDENTIAL                                                                            |
| FUTURE LAND USE:                                        | LOW INTENSITY                                                                                 |
| EXISTING FLOOD ZONE:                                    | ZONE 'X', 'A', & 'AE'<br>PANEL #: 12083C 0702 E; COMMUNITY # 120330;<br>DATED: 04/19/17       |
| DEVELOPMENT TYPE:                                       | RESIDENTIAL                                                                                   |
| BUILDING USE:                                           | MULTI-FAMILY                                                                                  |
| PHASE I:                                                | 16 BUILDINGS (70 UNITS)                                                                       |
| PHASE II:                                               | 21 BUILDINGS (76 UNITS)                                                                       |
| TOTAL PROPOSED UNITS:                                   | 146 UNITS                                                                                     |
| PROPOSED DENSITY:                                       | 4.53 UNITS/AC (146 UNITS / 32.22 AC)                                                          |
| REQUIRED MULTI-FAMILY PARKING:<br>(1.5 SPACES PER UNIT) | 219 SPACES (1.5 x 146 UNITS)                                                                  |
| PROVIDED STANDARD PARKING:                              | 342 SPACES                                                                                    |
| PROVIDED HANDICAP PARKING:                              | 8 SPACES (MIN)                                                                                |
| PROVIDED GARAGE PARKING:                                | 32 SPACES                                                                                     |
| TOTAL PROVIDED PARKING:                                 | 382 SPACES                                                                                    |
| IMPERVIOUS SURFACE:                                     |                                                                                               |
| BUILDINGS                                               | 110,236 SF                                                                                    |
| PEDESTRIAN CONCRETE                                     | 45,671 SF                                                                                     |
| VEHICLE USE CONCRETE                                    | 3,631 SF                                                                                      |
| PROPOSED PAVEMENT (VUA)                                 | 128,696 SF                                                                                    |
| EXISTING PAVEMENT                                       | 41,579 SF                                                                                     |
| TOTAL:                                                  | 329,813 SF = 7.571 AC                                                                         |
| PROPOSED POND:                                          | 72,662 SF = 1.668 AC                                                                          |
| EXISTING DRA:                                           | 110,752 SF = 2.543 AC                                                                         |
| EXISTING WETLAND:                                       | 317,150 SF = 7.281 AC                                                                         |
| *OPEN SPACE:                                            | 573,157 SF = 13.158 AC (41% OF TOTAL AREA)                                                    |
| *AGGREGATE OPEN SPACE:                                  | 58,297 SF = 1.338 AC (10% OF OPEN SPACE)                                                      |
| TOTAL AREA:                                             | 1,403,534 SF = 32.22 AC (±)                                                                   |
| F.A.R.:                                                 | 209.373 SF/1,403,534 SF = 0.149                                                               |
| *SEE PD STANDARDS FOR OPEN SPACE DEFINITIONS            |                                                                                               |
| OWNER:                                                  | SABRINA MORGAN PROPERTIES LLC<br>8635 COMMODITY CIR; STE 100<br>ORLANDO FL 32819-9070         |
| APPLICANT:                                              | BELLEAIR DEVELOPMENT LLC<br>6654 78TH AVENUE NORTH<br>PINELLAS PARK, FL 33781<br>727-536-8686 |
| SURVEYOR:                                               | DEVEL & ASSOCIATES<br>565 SOUTH HERCULES AVE<br>CLEARWATER, FL 33764<br>727-822-4151          |

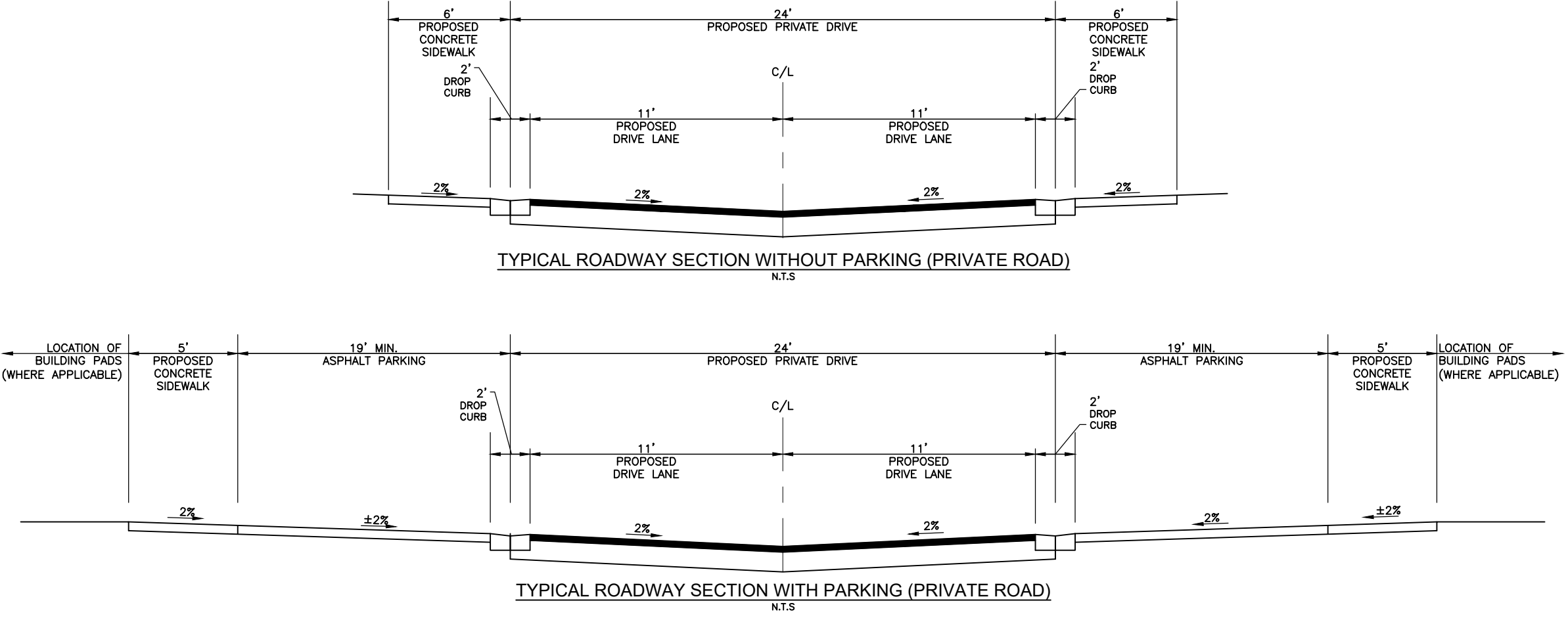
- NOTES**
- OPEN SPACE SHALL INCLUDE ACTIVE AND PASSIVE RECREATION AREAS SUCH AS COURTYARDS, STREETSCAPES/ SIDEWALKS, PLAYGROUNDS, WATERWAYS, LANDSCAPED YARDS AND PATIOS, LAAGONS, FLOODPLAINS, NATURE TRAILS, ROOF AREAS, AND OTHER SIMILAR OPEN SPACES.
  - AT LEAST TEN PERCENT OF OPEN SPACE IS DEFINED AS AGGREGATE OPEN SPACE AREA, THAT IS DESIGNED AND INTENDED FOR USE BY THE OCCUPANTS/USERS OF THIS PD.
  - COMMERCIAL SOLID WASTE IMPACT FEE SHALL BE CALCULATED, DUE AND PAYABLE WITHIN 30 DAYS OF PERMANENT ELECTRIC SERVICE.
  - FINAL PERMITTED SITE PLAN SHALL INCLUDE ALL TRAFFIC CONTROL MARKINGS AND SIGNAGE.
  - DUMPSITE PADS TO BE SCREENED PER CITY CODE.
  - SITE PLAN REVIEW SHALL BE REQUIRED BEFORE CONSTRUCTION.
  - A SECONDARY ACCESS WILL BE CONSTRUCTED FOR EMERGENCY VEHICLES ONLY ALONG SW 66TH STREET AS APPROVED BY MARION COUNTY, WHICH SECONDARY EMERGENCY ACCESS SHALL ALIGN WITH THE FUTURE ACCESS ROAD TO WINDING OAKS LOCATED ON THE SOUTHSIDE OF SW 66TH STREET. IN THE EVENT OWNER/DEVELOPER DESIRES TO CONVERT THE SECONDARY EMERGENCY ACCESS TO A FULL ACCESS ON SW 66TH STREET IN THE FUTURE, OWNER/DEVELOPER SHALL COMPLY WITH ANY AND ALL STANDARDS AS REQUIRED BY MARION COUNTY.

**LEGAL DESCRIPTION**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARION, STATE OF FLORIDA, AND DESCRIBED AS FOLLOWS: COMMENCE AT THE SE CORNER OF THE SE 1/4 OF SECTION 4, TOWNSHIP 16 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA; THENCE N 00°37'42" E 40.19 FEET TO THE NORTH RIGHT OF WAY LINE OF SW 66TH STREET (A MAINTENANCE RIGHT OF WAY); THENCE ALONG SAID NORTH RIGHT OF WAY S 89°25'18" W 1544.34 FEET TO THE POINT OF BEGINNING, SAID POINT BEING THE SOUTHWEST CORNER OF "HEATH BROOK HILLS" SUBDIVISION AS RECORDED IN PLAT BOOK 7, PAGES 120 AND 121, OF PUBLIC RECORDS OF MARION COUNTY, FLORIDA; THENCE CONTINUE ALONG SAID NORTH RIGHT OF WAY S 89°25'18" W 436.94 FEET; THENCE N 00°31'20" E 499.53 FEET; THENCE N 89°43'12" W 219.96 FEET; THENCE S 00°32'25" W 499.87 FEET TO THE AFOREMENTIONED NORTH RIGHT OF WAY OF WILLIAMS ROAD (SW 66TH STREET); THENCE ALONG SAID RIGHT OF WAY N 89°44'43" W 1103.74 FEET; THENCE DEPARTING SAID NORTH RIGHT OF WAY N 00°29'25" E 694.35 FEET TO THE SOUTHEASTERLY RIGHT OF WAY OF STATE ROAD 200 SAID POINT BEING ON A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 23002.31 FEET, A CENTRAL ANGLE OF 00°49'55" AND A CHORD BEARING AND DISTANCE OF N 40°24'29" E AT 333.97 FEET; THENCE NORTHEASTERLY ALONG SAID CURVE 333.98 FEET; THENCE ALONG SAID RIGHT OF WAY S 49°42'28" E 16.16 FEET TO A POINT ON A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 22818.31 FEET, A CENTRAL ANGLE OF 00°14'59" AND A CHORD BEARING AND DISTANCE OF N 40°25'02" E AT 99.50 FEET; THENCE NORTHEASTERLY ALONG SAID CURVE AND SAID RIGHT OF WAY 99.50 FEET; THENCE CONTINUE ALONG SAID RIGHT OF WAY N 49°27'28" W 17.00 FEET TO A POINT ON A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 22835.31 FEET, A CENTRAL ANGLE OF 00°19'14" AND A CHORD BEARING AND DISTANCE OF N 40°42'09" E AT 127.74 FEET; THENCE NORTHEASTERLY ALONG SAID CURVE AND RIGHT OF WAY OF STATE ROAD 200, 127.74 FEET; THENCE DEPARTING SAID RIGHT OF WAY OF STATE ROAD 200, S 48°11'23" E 652.19 FEET; THENCE N 41°48'37" E 412.06 FEET TO THE SOUTHERLY RIGHT OF WAY OF TARTAN ROAD SAID POINT BEING ON A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 730.00 FEET, A CENTRAL ANGLE OF 42°22'44" AND A CHORD BEARING AND DISTANCE OF S 69°22'46" E AT 527.72 FEET; THENCE SOUTHEASTERLY ALONG SAID CURVE AND RIGHT OF WAY OF TARTAN ROAD, 529.94 FEET TO A CORNER OF "HEATHBROOK NORTH B-2" SUBDIVISION AS RECORDED IN PLAT BOOK 7, PAGES 116 THROUGH 120, OF PUBLIC RECORDS OF MARION COUNTY, FLORIDA, SAID POINT ALSO BEING THE NORTHWESTERLY CORNER OF THE AFOREMENTIONED "HEATH BROOK HILLS" SUBDIVISION AND ON A CURVE CONCAVE EASTERLY HAVING A RADIUS OF 1080.00 FEET, A CENTRAL ANGLE OF 05°44'39" AND A CHORD BEARING AND DISTANCE OF S 14°53'05" E AT 108.23 FEET; THENCE SOUTHERLY ALONG SAID CURVE AND WEST BOUNDARY LINE OF SAID "HEATH BROOK HILLS" SUBDIVISION, 108.28 FEET TO THE POINT OF TANGENCY; THENCE S 17°45'25" E 356.11 FEET; THENCE S 00°00'12" W 365.81 FEET TO THE POINT OF BEGINNING.

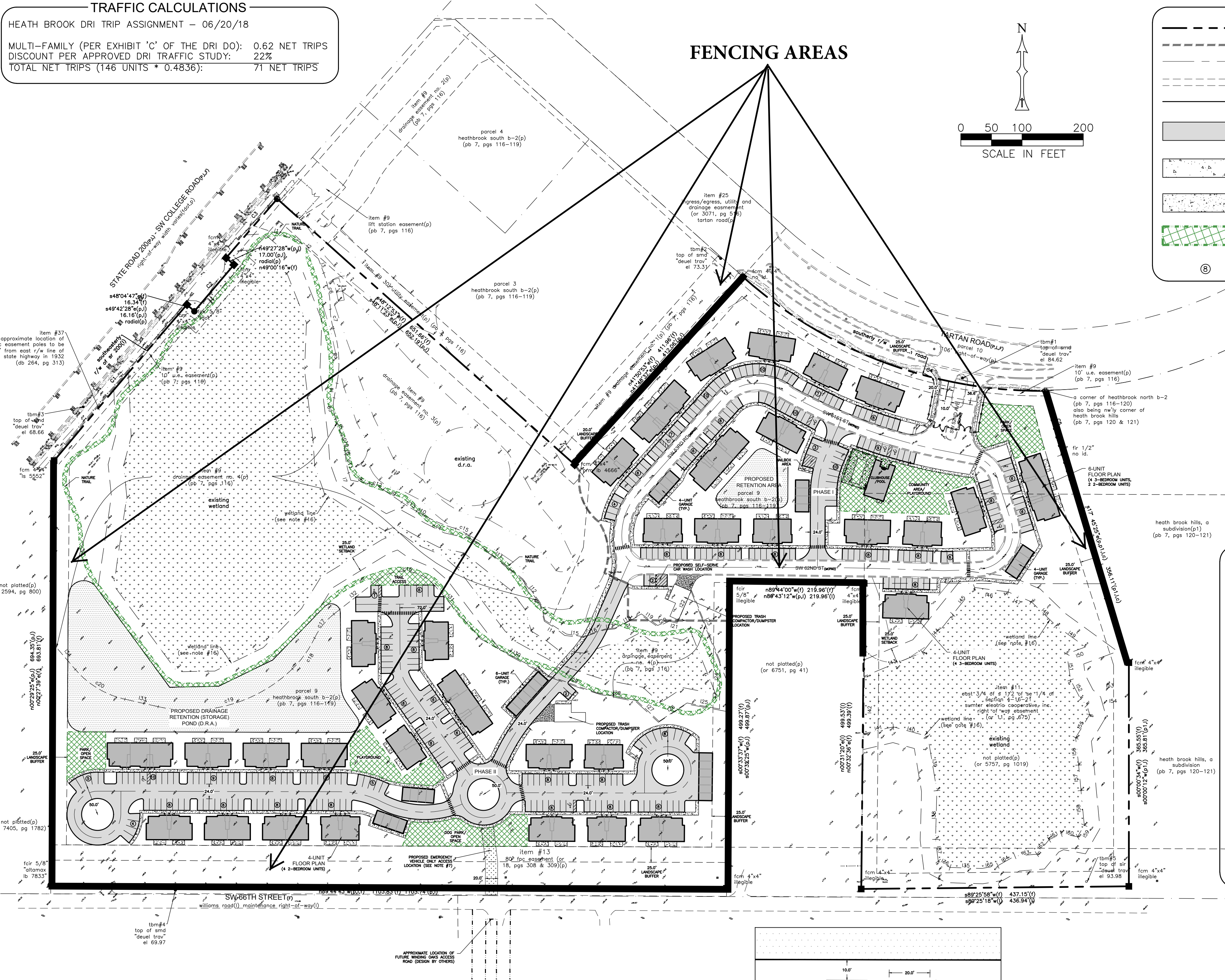


\*SEE ARCHITECTURAL DRAWINGS FOR MORE DETAIL OF SPECIFIC BUILDING TYPE, SIZES AND DIMENSIONS

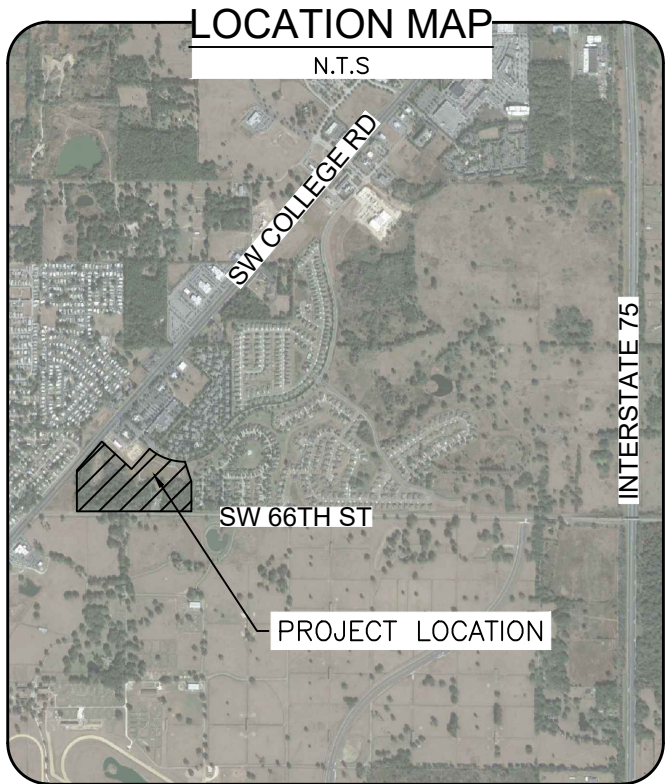


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| DISCOUNT PER APPROVED DRI TRAFFIC STUDY:      | 22%            |
| TOTAL NET TRIPS (146 UNITS * 0.4836):         | 71 NET TRIPS   |



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|        | PROPOSED ASPHALT                                               |
|        | PROPOSED 4" THICK PEDESTRIAN CONCRETE (UNLESS OTHERWISE NOTED) |
|        | PROPOSED 6" THICK REINFORCED FIBERMESH CONCRETE                |
|        | AGGREGATE OPEN SPACE                                           |
|        | PARKING NUMBERS                                                |



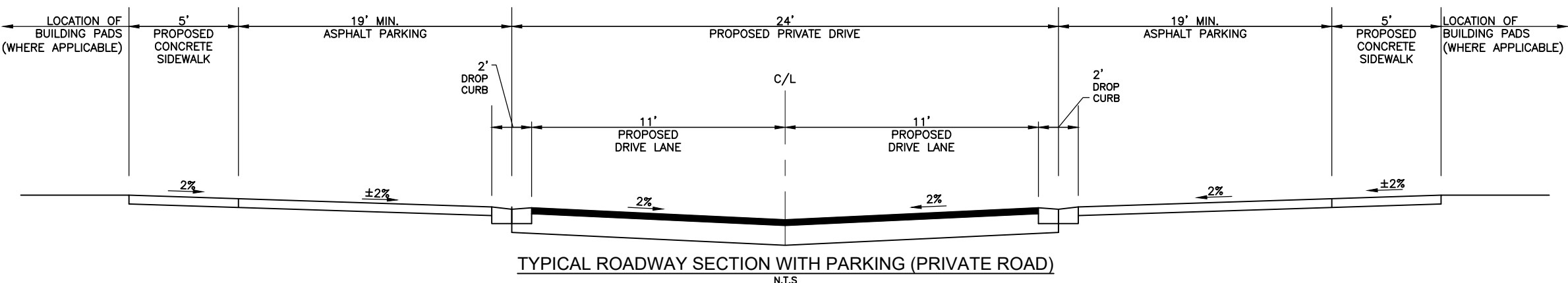
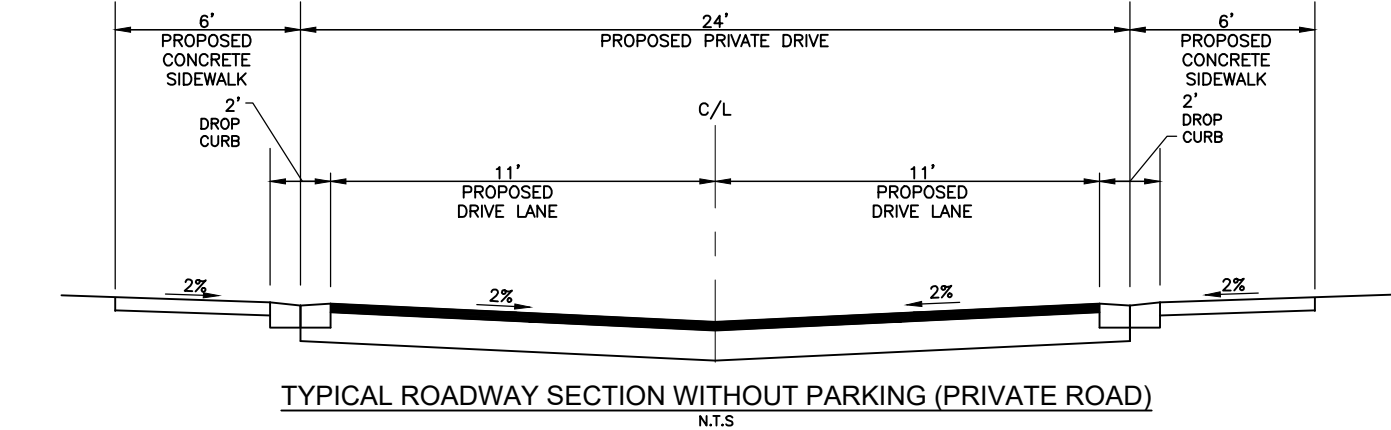
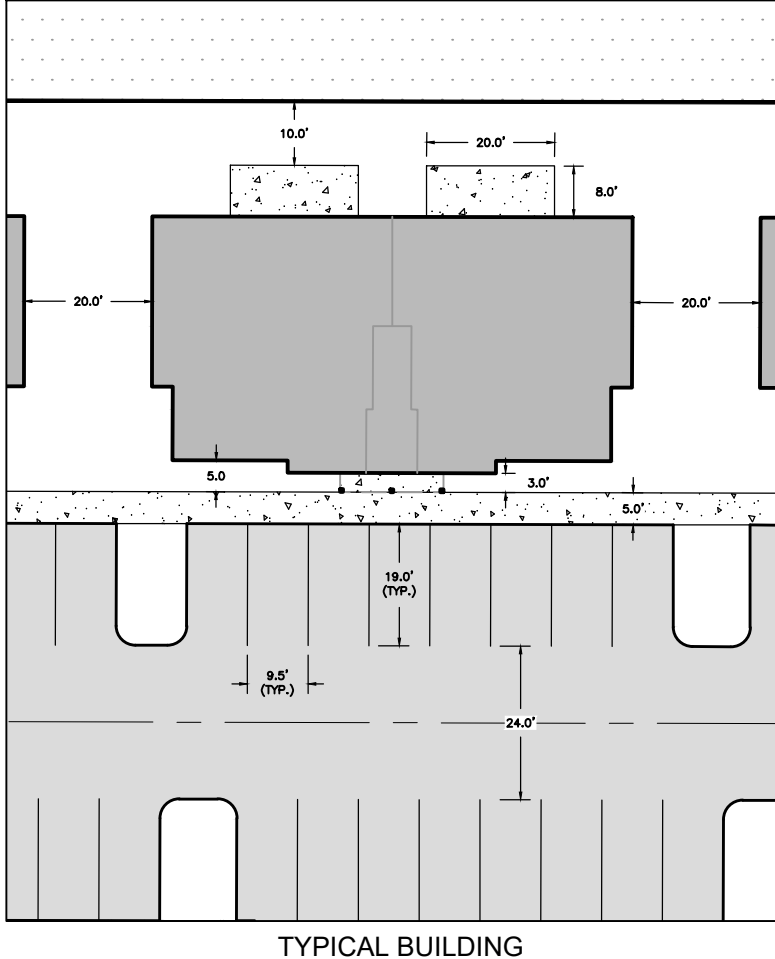
| SITE DATA                                            |                                                                 |
|------------------------------------------------------|-----------------------------------------------------------------|
| PARCEL ID NUMBER:                                    | 2389-100-009                                                    |
| EXISTING ZONING:                                     | PUD-05                                                          |
| EXISTING LAND USE:                                   | VACANT RESIDENTIAL                                              |
| FUTURE LAND USE:                                     | LOW INTENSITY                                                   |
| EXISTING FLOOD ZONE:                                 | ZONE 'X', 'A', & 'AE'                                           |
|                                                      | PANEL #: 12083C 0702 E; COMMUNITY # 120330; DATED: 04/19/17     |
| DEVELOPMENT TYPE:                                    | RESIDENTIAL                                                     |
| BUILDING USE:                                        | MULTI-FAMILY                                                    |
| PHASE I:                                             | 16 BUILDINGS (70 UNITS)                                         |
| PHASE II:                                            | 21 BUILDINGS (76 UNITS)                                         |
| TOTAL PROPOSED UNITS:                                | 146 UNITS                                                       |
| PROPOSED DENSITY:                                    | 4.53 UNITS/AC (146 UNITS / 32.22 AC)                            |
| REQUIRED MULTI-FAMILY PARKING: (1.5 SPACES PER UNIT) | 219 SPACES (1.5 x 146 UNITS)                                    |
| PROVIDED STANDARD PARKING:                           | 342 SPACES                                                      |
| PROVIDED HANDICAP PARKING:                           | 8 SPACES (MIN)                                                  |
| PROVIDED GARAGE PARKING:                             | 32 SPACES                                                       |
| TOTAL PROVIDED PARKING:                              | 382 SPACES                                                      |
| IMPERVIOUS SURFACE:                                  |                                                                 |
|                                                      | BUILDINGS 110,236 SF                                            |
|                                                      | PEDESTRIAN CONCRETE 45,671 SF                                   |
|                                                      | VEHICLE USE CONCRETE 3,631 SF                                   |
|                                                      | PROPOSED PAVEMENT (VUA) 128,696 SF                              |
|                                                      | EXISTING PAVEMENT 41,529 SF                                     |
|                                                      | TOTAL: 329,813 SF = 7.571 AC                                    |
|                                                      | PROPOSED POND: 72,662 SF = 1.668 AC                             |
|                                                      | EXISTING DRA: 110,752 SF = 2.543 AC                             |
|                                                      | EXISTING WETLAND: 317,150 SF = 7.281 AC                         |
|                                                      | *OPEN SPACE: 573,157 SF = 13.158 AC (41% OF TOTAL AREA)         |
|                                                      | *AGGREGATE OPEN SPACE: 58,297 SF = 1.338 AC (10% OF OPEN SPACE) |
|                                                      | TOTAL AREA: 1,403,534 SF = 32.22 AC (±)                         |
|                                                      | F.A.R.: 209.373 SF/1,403,534 SF = 0.149                         |
| *SEE PD STANDARDS FOR OPEN SPACE DEFINITIONS         |                                                                 |
| OWNER:                                               | SABRINA MORGAN PROPERTIES LLC                                   |
|                                                      | 8635 COMMODITY CIR; STE 100                                     |
|                                                      | ORLANDO FL 32819-9070                                           |
| APPLICANT:                                           | BELLEAIR DEVELOPMENT LLC                                        |
|                                                      | 6654 78TH AVENUE NORTH                                          |
|                                                      | PINELLAS PARK, FL 33781                                         |
|                                                      | 727-536-8686                                                    |
| SURVEYOR:                                            | DEVEL & ASSOCIATES                                              |
|                                                      | 565 SOUTH HERCULES AVE                                          |
|                                                      | CLEARWATER, FL 33764                                            |
|                                                      | 727-822-4151                                                    |

- NOTES
1. OPEN SPACE SHALL INCLUDE ACTIVE AND PASSIVE RECREATION AREAS SUCH AS COURTYARDS, STREETSCAPES/ SIDEWALKS, PLAYGROUNDS, WATERWAYS, LANDSCAPED YARDS AND PATIOS, LAAGONS, FLOODPLAINS, NATURE TRAILS, ROOF AREAS, AND OTHER SIMILAR OPEN SPACES.
  2. AT LEAST TEN PERCENT OF OPEN SPACE IS DEFINED AS AGGREGATE OPEN SPACE AREA, THAT IS DESIGNED AND INTENDED FOR USE BY THE OCCUPANTS/USERS OF THIS PD.
  3. COMMERCIAL SOLID WASTE IMPACT FEE SHALL BE CALCULATED, DUE AND PAYABLE WITHIN 30 DAYS OF PERMANENT ELECTRIC SERVICE.
  4. FINAL PERMITTED SITE PLAN SHALL INCLUDE ALL TRAFFIC CONTROL MARKINGS AND SIGNAGE.
  5. DUMPSTER PADS TO BE SCREENED PER CITY CODE.
  6. SITE PLAN REVIEW SHALL BE REQUIRED BEFORE CONSTRUCTION.
  7. A SECONDARY ACCESS WILL BE CONSTRUCTED FOR EMERGENCY VEHICLES ONLY ALONG SW 66TH STREET AS APPROVED BY MARION COUNTY, WHICH SECONDARY EMERGENCY ACCESS SHALL ALIGN WITH THE FUTURE ACCESS ROAD TO WINDING OAKS LOCATED ON THE SOUTHSIDE OF SW 66TH STREET. IN THE EVENT OWNER/DEVELOPER DESIRES TO CONVERT THE SECONDARY EMERGENCY ACCESS TO A FULL ACCESS ON SW 66TH STREET IN THE FUTURE, OWNER/DEVELOPER SHALL COMPLY WITH ANY AND ALL STANDARDS AS REQUIRED BY MARION COUNTY.

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF MARION, STATE OF FLORIDA, AND DESCRIBED AS FOLLOWS:

COMMENCE AT THE SE CORNER OF THE SE 1/4 OF SECTION 4, TOWNSHIP 16 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA; THENCE N 0°37'42" E 40.19 FEET TO THE NORTH RIGHT OF WAY LINE OF SW 66TH STREET (A MAINTENANCE RIGHT OF WAY); THENCE ALONG SAID NORTH RIGHT OF WAY S 89°25'18" W 1544.34 FEET TO THE POINT OF BEGINNING; SAID POINT BEING THE SOUTHWEST CORNER OF "HEATH BROOK HILLS" SUBDIVISION AS RECORDED IN PLAT BOOK 7, PAGES 120 AND 121, OF PUBLIC RECORDS OF MARION COUNTY, FLORIDA; THENCE CONTINUE ALONG SAID NORTH RIGHT OF WAY S 89°25'18" W 436.94 FEET; THENCE N 0°31'20" E 499.53 FEET; THENCE N 89°43'12" W 219.96 FEET; THENCE S 0°32'25" W 499.87 FEET TO THE AFOREMENTIONED NORTH RIGHT OF WAY OF WILLIAMS ROAD (SW 66TH STREET); THENCE ALONG SAID RIGHT OF WAY N 89°44'43" W 1103.74 FEET; THENCE DEPARTING SAID NORTH RIGHT OF WAY N 0°29'25" E 694.35 FEET TO THE SOUTHEASTERLY RIGHT OF WAY OF STATE ROAD 200 SAID POINT BEING ON A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 23002.31 FEET, A CENTRAL ANGLE OF 0°49'55" AND A CHORD BEARING AND DISTANCE OF N 40°24'29" E AT 333.97 FEET; THENCE NORTHEASTERLY ALONG SAID CURVE 333.98 FEET; THENCE ALONG SAID RIGHT OF WAY S 49°42'28" E 16.16 FEET TO A POINT ON A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 22818.31 FEET, A CENTRAL ANGLE OF 0°14'59" AND A CHORD BEARING AND DISTANCE OF N 40°25'02" E AT 99.50 FEET; THENCE NORTHEASTERLY ALONG SAID CURVE AND SAID RIGHT OF WAY 99.50 FEET; THENCE CONTINUE ALONG SAID RIGHT OF WAY N 49°27'28" W 17.00 FEET TO A POINT ON A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 22835.31 FEET, A CENTRAL ANGLE OF 0°19'14" AND A CHORD BEARING AND DISTANCE OF N 40°42'09" E AT 127.74 FEET; THENCE NORTHEASTERLY ALONG SAID CURVE AND RIGHT OF WAY OF STATE ROAD 200, 127.74 FEET; THENCE DEPARTING SAID RIGHT OF WAY OF STATE ROAD 200, S 48°11'23" E 652.19 FEET; THENCE N 41°48'37" E 412.06 FEET TO THE SOUTHERLY RIGHT OF WAY OF TARTAN ROAD SAID POINT BEING ON A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 730.00 FEET, A CENTRAL ANGLE OF 42°22'44" AND A CHORD BEARING AND DISTANCE OF S 69°22'46" E AT 527.72 FEET; THENCE SOUTHEASTERLY ALONG SAID CURVE AND RIGHT OF WAY OF TARTAN ROAD, 527.72 FEET TO A CORNER OF "HEATHBROOK NORTH B-2" SUBDIVISION AS RECORDED IN PLAT BOOK 7, PAGES 116 THROUGH 120, OF PUBLIC RECORDS OF MARION COUNTY, FLORIDA; SAID POINT ALSO BEING THE NORTHWESTERLY CORNER OF THE AFOREMENTIONED "HEATH BROOK HILLS" SUBDIVISION AND ON A CURVE CONCAVE EASTERLY HAVING A RADIUS OF 1080.00 FEET, A CENTRAL ANGLE OF 0°54'39" AND A CHORD BEARING AND DISTANCE OF S 14°53'05" E AT 108.23 FEET; THENCE SOUTHERLY ALONG SAID CURVE AND WEST BOUNDARY LINE OF SAID "HEATH BROOK HILLS" SUBDIVISION, 108.28 FEET TO THE POINT OF TANGENCY; THENCE S 17°45'25" E 356.11 FEET; THENCE S 0°00'12" W 365.81 FEET TO THE POINT OF BEGINNING.



REVISIONS

| # | DATE     | DESCRIPTION               |
|---|----------|---------------------------|
| 1 | 07/07/21 | RESPONSE TO CITY COMMENTS |
| 2 | 07/27/21 | RESPONSE TO CITY COMMENTS |
| 3 | 09/07/21 | RESPONSE TO CITY COMMENTS |
| 4 | 09/07/21 | RESPONSE TO CITY COMMENTS |

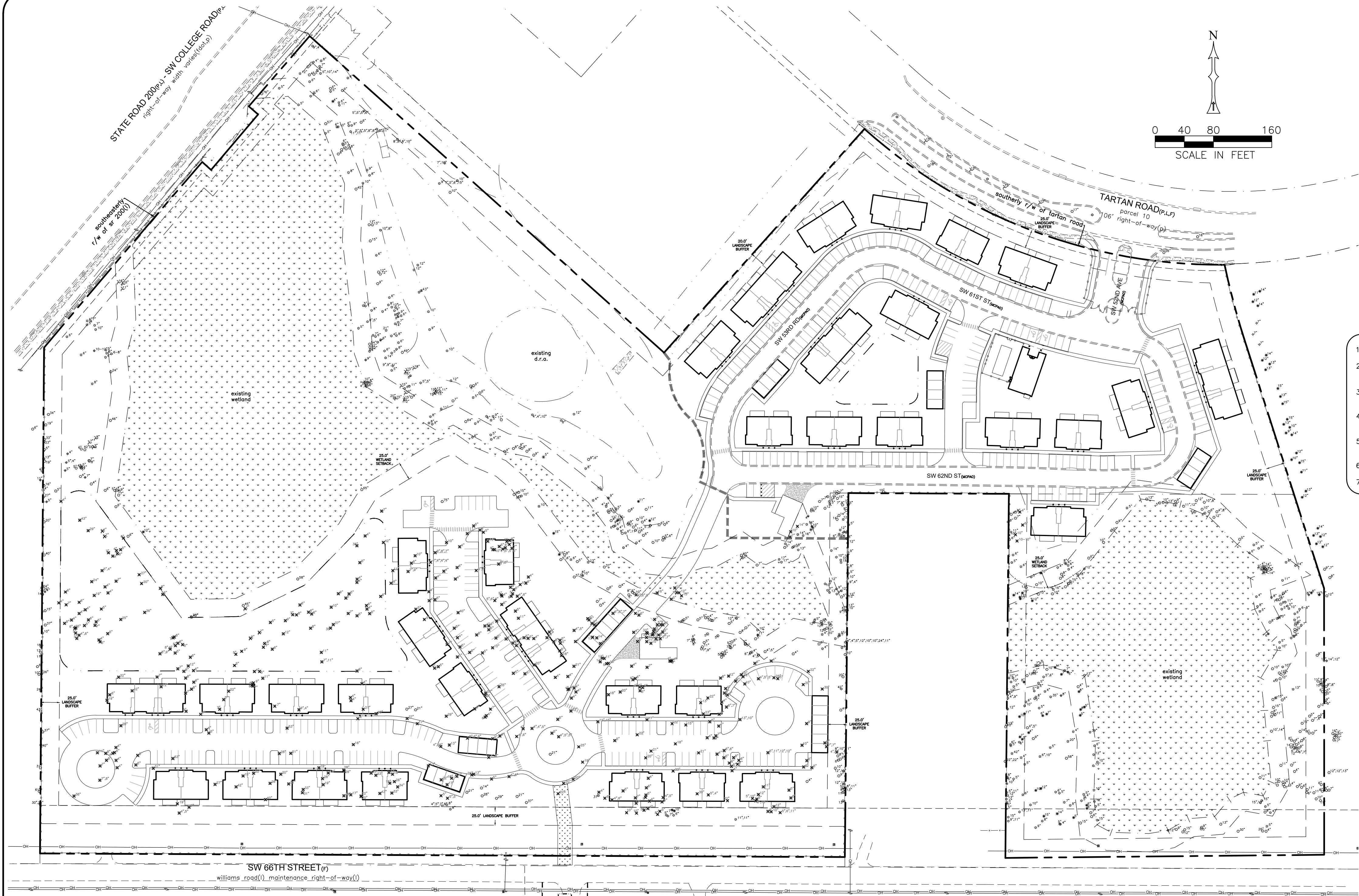
THE KEYS AT OCALA II (5451 SW 66TH ST)

PD SITE PLAN

SHEET NUMBER  
PD1.0  
S-T-R  
4-16-21

TREE PRESERVATION /  
MASTER LANDSCAPE PLAN

C:\MY\_DRIVE\COMPANY\CLIENTS\BELLEAIR\_DEV\GROUP\PROJECTS\1.2\1.001.05 - THE KEYS AT OCALA II (SR 200 & 66TH)\DRAWINGS\EXHIBITS\PD1.0 SITE PLANDWG - 2/8/2022 10:37 AM

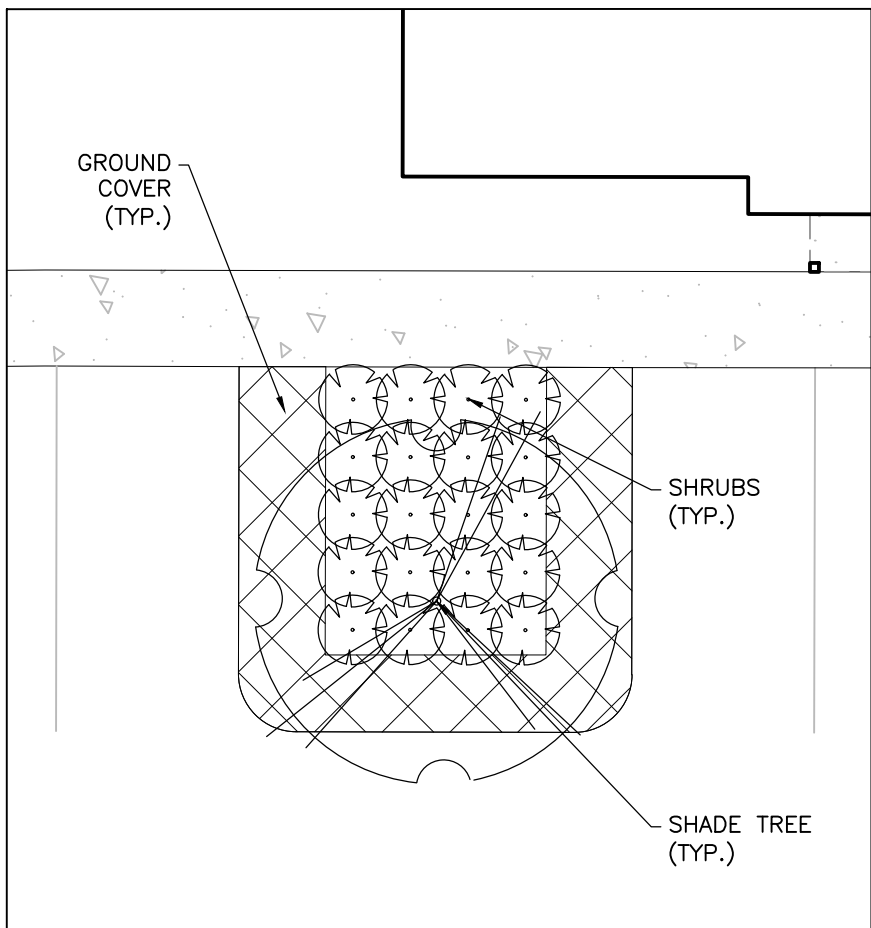


| LEGEND |                             |
|--------|-----------------------------|
|        | PROPERTY LINE               |
|        | EXISTING CEDAR TREE         |
|        | EXISTING PALM TREE          |
|        | EXISTING CYPRESS            |
|        | EXISTING PINE TREE          |
|        | EXISTING MISC. TREE         |
|        | EXISTING OAK TREE           |
|        | EXISTING TREE TO BE REMOVED |

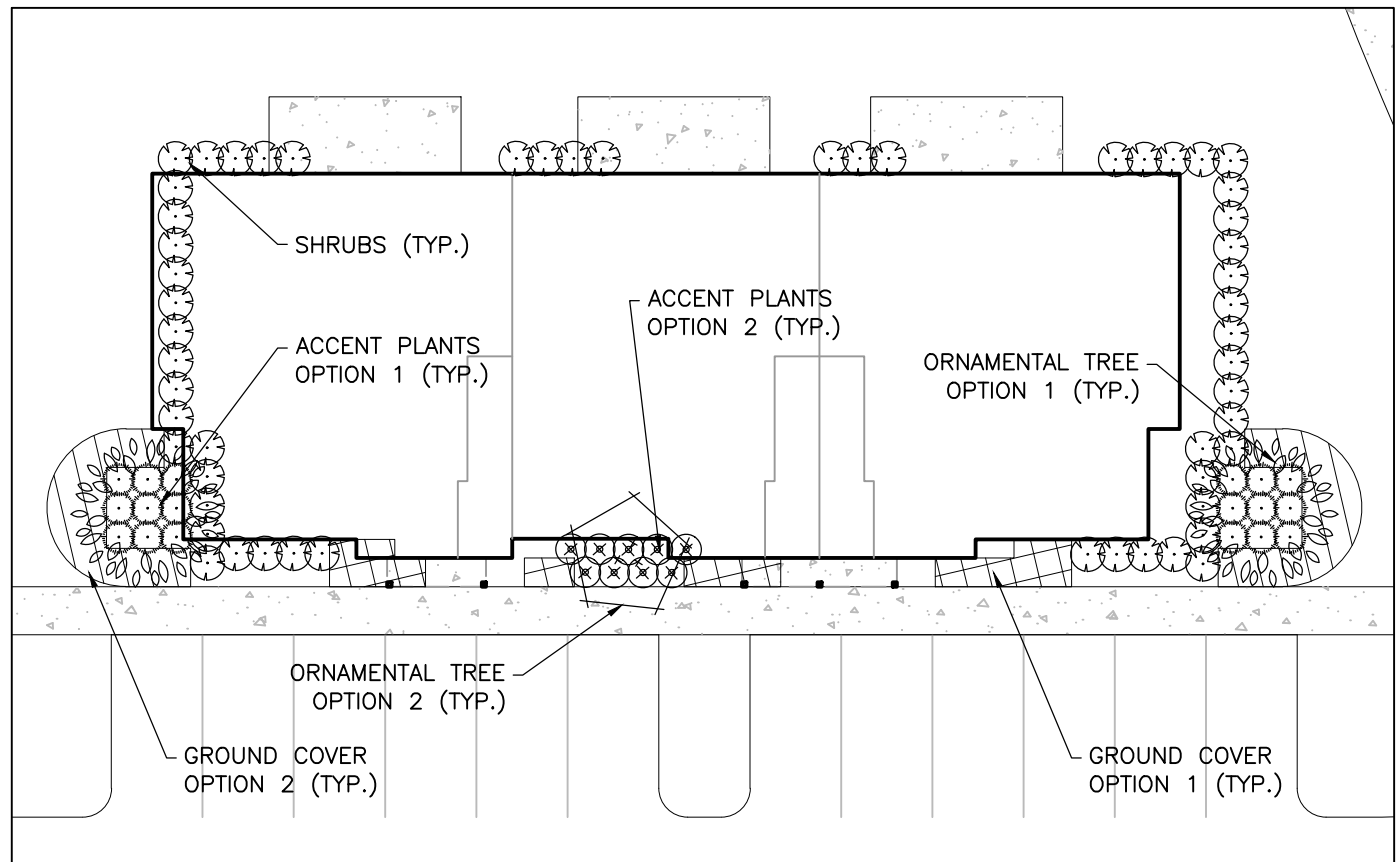
| PRESERVATION TABLE             |                         |
|--------------------------------|-------------------------|
| PROJECT AREA:                  | 32.22 AC                |
| EXISTING IMPACTED SHADE TREES: | 1,112 (35/AC)           |
| IMPACTED SHADE TREES REMOVED:  | 442                     |
| MIN. SHADE TREES TO BE SAVED:  | 4 SHADE TREES/AC        |
| TOTAL SHADE TREES SAVED:       | 670 (21 SHADE TREES/AC) |

NOTES

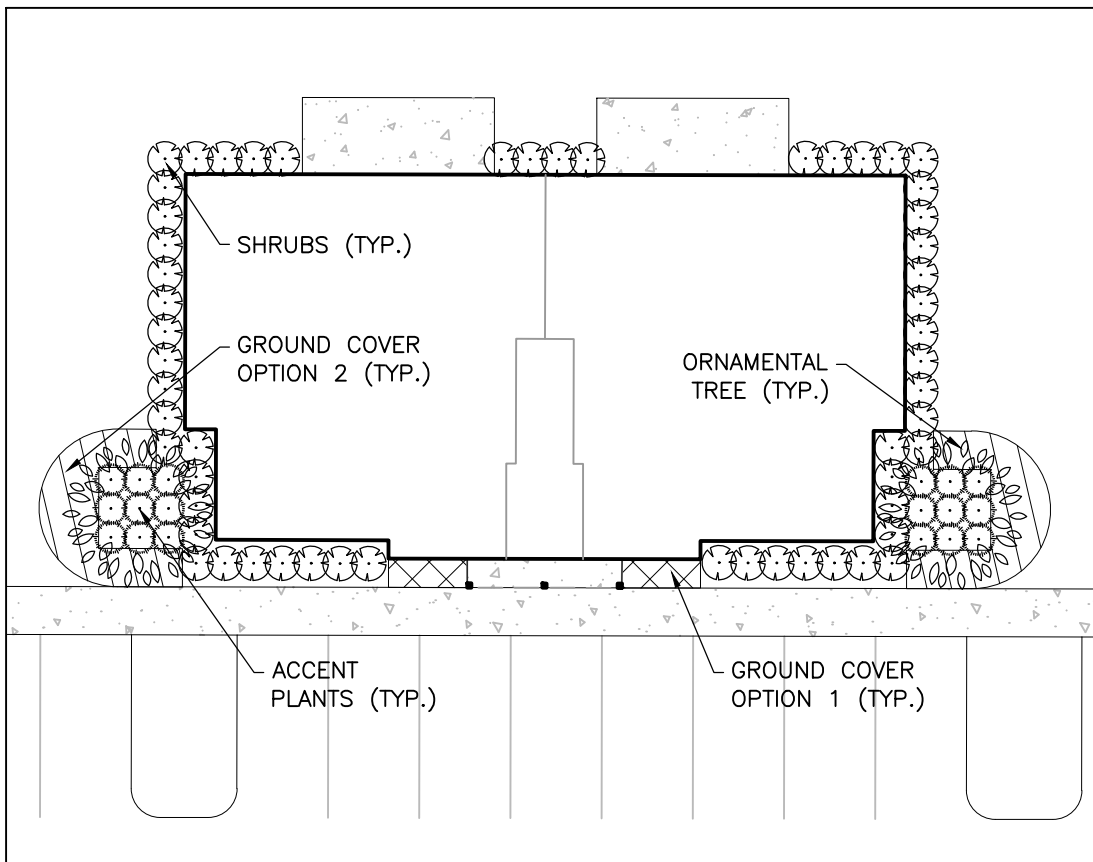
1. FINAL LANDSCAPE CONSTRUCTION PLAN WILL FULLY ADDRESS ANY ADDITIONAL TREE REMOVAL/MITIGATION REQUIRED BY THE CURRENT CITY CODE.
2. ALL LANDSCAPING (BUFFERS, ENTRYWAY, ETC.) SHALL ADHERE TO STANDARDS SET FORTH IN THE HEATH BROOK MASTER RESIDENTIAL LANDSCAPE STANDARDS, SPECIFICALLY SECTION 4.2 LANDSCAPE PLANS (PG. 32-33), FIGURES 1 & 2 POD ENTRANCE (PG. 34-35) AND FIGURE 4 LANDSCAPE BUFFER (PG. 37).
3. ALL LANDSCAPE MATERIAL SHALL BE CHOSEN FROM THE APPROVED PLANT LIST (EXHIBIT G; PG. 38-42) OF THE HEATH BROOK MASTER RESIDENTIAL LANDSCAPE STANDARDS, AND SHALL MEET THE MINIMUM REQUIREMENTS AS DEFINED IN SEC.118-32 OF THE CITY OF OCALA CODE.
4. BUFFER LANDSCAPING SHALL ADHERE TO STANDARDS SET FORTH IN THE HEATH BROOK MASTER RESIDENTIAL LANDSCAPE STANDARDS FIGURE 4 LANDSCAPE BUFFER (PG. 37), AS WELL AS SEC.122-260(E) OF THE CITY OF OCALA CODE.
5. DESIGNATED AGGREGATE OPEN SPACE AREAS SHALL INCLUDE ELEMENTS OF PEDESTRIAN USE (SEATING/WALKING TRAILS), LANDSCAPED AREAS, PICNIC AREAS, PLAYGROUND EQUIPMENT, DOG PARK ELEMENTS, ETC. DETAILS TO BE FULLY ADDRESSED IN FINAL CONSTRUCTION PLANS.
6. ALL UTILITARIAN FUNCTIONS SUCH AS, BUT NOT LIMITED TO, AC UNITS AND BACKFLOW PREVENTERS WILL BE SCREENED FROM VIEW WITH THE LANDSCAPING PER SEC. 122-940(A)(9).
7. DUMPSTER PADS TO BE SCREENED PER CITY CODE.



1"=10'  
ANY LANDSCAPE ISLAND USED TOWARD THE INTERIOR LANDSCAPING REQUIREMENT CALCULATION SHALL BE A MINIMUM OF 360 SF



1"=20'  
TYPICAL 6-UNIT BUILDING FACADE



1"=20'  
TYPICAL 4-UNIT BUILDING FACADE

TREE  
PRESERVATION/  
MASTER  
LANDSCAPE PLAN

THE KEYS @ OCALA II (5451 SW 66TH ST)  
FOR  
BELLEAIR DEVELOPMENT, LLC  
6654 78TH AVE NORTH  
PINELLAS PARK, FL 33781

SHEET NUMBER  
PD2.0  
S-T-R  
4-16-21

NATIVE  
engineering,plc  
P.O. BOX 2995  
LAND OAK, FL 33463  
813-536-2539  
CERTIFICATE OF  
AUTHORIZATION NUMBER: 28759

REVISIONS

| NO. | DATE   | DESCRIPTION               |
|-----|--------|---------------------------|
| 1   | 9/7/21 | RESPONSE TO CITY COMMENTS |
| 2   |        |                           |
| 3   |        |                           |
| 4   |        |                           |
| 5   |        |                           |

## INTRODUCTION

“The Keys at Ocala II” Planned Development consists of approximately 32 acres located 5451 SW 66<sup>th</sup> Street within the City of Ocala (the “Property” or “Planning Area”). The Property is located within an area of the City that includes a mix of land uses, including single family residential, multi-family and commercial, which uses support the goals defined in the City’s Comprehensive Plan.

The PD Plan for “The Keys at Ocala II” provides a community feel with open green space for a playground, community pool and a dog park, and design qualities that compliment this unique “Key-West” style multi-family development. Consistent with requirements for a PD Plan, these PD Standards establish project objectives that are appropriate for planning. Additionally, these PD Standards shall include those residential guidelines for landscape and architectural standards which are included in the Heath Brook DRI/PD set forth in Resolution 2018-48 recorded at OR Book 6840, Pages 860-920 attached hereto (collectively the “Standards”). It is expected that during the review and final approval of “The Keys at Ocala II”, the following activities will take place:

1. A neighborhood meeting, which was held on Tuesday, May 18, 2021 at 5:30 p.m. in a meeting room at the Hilton of Ocala located at 3600 Southwest 36<sup>th</sup> Avenue, Ocala. Only six neighbors attended the meeting to discuss the proposed development. The main concern was the location of the compactor on the east side of the Property, which has been relocated to the middle of the development.
2. PD Plans will be prepared and submitted to the City of Ocala and the Architectural Review Committee (the “ARC”) for the Heath Brook Master Association for development review and approval.
3. Building architectural plans will be prepared and submitted to the City of Ocala building department and the ARC for review and approval and will be consistent with the City’s PD design standards and the Heath Brook DRI/PD standards as approved by the ARC.
4. Non-substantial adjustments as defined in Sec. 122-946, made to the plan sheets can be made with staff approval. Other substantial changes require City Council approval. Any changes to the PD standards require City Council approval.

These Standards serve as the foundation for the PD Plan, following the provisions of the City’s Planned Development (PD) district and those residential standards set forth in the Heath Brook DRI/PD. This PD Plan is comprised of several components intended to provide assurance that the development of the Property complies with the requirements of the City’s Comprehensive Plan and Chapter 118 and 122 of the Code of Ordinances. The PD Plan and Standards are designed to provide the framework for development within this Planning Area.

These Standards have been prepared to encourage and regulate the multi-family residential use of the development, including building and site design elements, which help to ensure the requirements for sound land use planning. The PD Plan identifies the Planning Area, the land use and density, parking and landscape requirements, and the

Standards for development. This application is consistent with the Planned Development zoning standards in Chapter 122, Division 30.

These Standards may be amended from time to time by the Applicant, and/or their designee, with approval by Ocala City Council to reflect changes in market conditions and development approvals. The PD Plan includes standards that have been developed based on the existing site conditions, available infrastructure, market demand for affordable, middle-income rental housing, and the City's overall vision for growth in this area.

## OVERALL GUIDING PRINCIPLES

This PD Plan is for a 146-unit "Key-West" style multi-family development with open space to accommodate its community amenities. The following building principles are intended to provide the framework for development and provide for implementation of the overall vision of this development.

- The dwellings will consist of 2 and 3 bedroom two-story units and internal private streets will be designed to reinforce safety and ease of traffic flow and pedestrian access throughout the community, and to complement the topography, vegetation or other natural features wherever possible.
- The overall site will be designed to enhance the open space between the dwelling units and the internal streets and provide adequate landscape buffers between the development and the adjoining properties.
- Typical landscaping and parking design is included in these Standards.
- The dwelling units will be designed to complement one another with unique "Key-West" style colors, with similar design elements, including Bahama shutters, and similar building materials.
- The community shall have a decorative fence around the boundary of the development and gated entrance and shall provide street lighting along the internal roadways to create a safe living environment. The community will provide access to EMS, as well as police and fire rescue, and a secondary access will be constructed for emergency vehicles only along SW 66<sup>th</sup> Street as approved by Marion County, which secondary emergency access shall align with the future access road to Winding Oaks located on the southside of SW 66<sup>th</sup> Street.
- Amenities shall include, but not be limited to, a playground, dog park, fitness center, community pool and central mailbox location. Retention ponds may provide for fountain features but are not required.
- The access driveway to Tartan Road shall be a minimum of twenty-four (24) feet wide to provide ease of vehicular traffic in and out of the development.
- Pedestrian and vehicular traffic will be separated by providing sidewalks throughout the development.
- Any parking areas shall contain clearly defined pedestrian crossings to provide safe access to adjacent buildings or amenities.
- The community entrance sign shall be as set forth in the attached Sign Design Standards.
- The development includes an on-site leasing office open to residents in the community during normal business hours established by Developer.

- Water and sewer services will be provided by the City of Ocala. Electric service will be provided by Sumter Electric, except as to a building(s) which may fall within the service area of Ocala Electric.

## **PLANNING AREA GUIDELINES**

This PD Plan is intended to provide for quality design while meeting the City's intent for development consistent with "Low Intensity" Land Use Designation and these Standards. This document is intended to provide development standards that go beyond minimum code requirements to minimize impact on the adjacent properties. Site development should be mindful of the emphasis on pedestrian connectivity utilizing safe and inviting designs features to promote access for walking and bicycling for residents within the community. "The Keys at Ocala II" provides for appropriate buffers, setbacks and development standards to mitigate impacts to the existing adjoining uses.

These PD Standards are intended to communicate the design standards for the development. Any changes to the PD standards must go through public hearing review. Non-substantial changes to the plan may be administratively approved.

## DEVELOPMENT STANDARDS

| STANDARDS                                         | LOT                                                                                                                                                                                                                                                                                                                                                                                      |
|---------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Tract Size (Acres +/-)                            | 32 Acres (Overall Property)                                                                                                                                                                                                                                                                                                                                                              |
| Minimum Front Setbacks from Interior Roads (Feet) | 27 Feet (includes parking area, sidewalks and landscaping buffer)                                                                                                                                                                                                                                                                                                                        |
| Minimum Interior Side Yard Setbacks (Feet)        | 7.5 Feet (Total of 15 feet between buildings, excluding eaves and overhangs not exceeding 2.5 feet)                                                                                                                                                                                                                                                                                      |
| Street Side Yard Setbacks (Feet)                  | 10 Feet (not including a parking lot)                                                                                                                                                                                                                                                                                                                                                    |
| Interior Rear Yard Setbacks (Feet)                | 15 Feet (Total of 30' feet between buildings, not including rear patios)                                                                                                                                                                                                                                                                                                                 |
| Street Rear Yard Setbacks (Feet)                  | 20 Feet                                                                                                                                                                                                                                                                                                                                                                                  |
| Rear Setback to Property Line (Feet)              | 20 Feet                                                                                                                                                                                                                                                                                                                                                                                  |
| Lot Width (Minimum)                               | 100' (Lots may not be created in any size in the future)                                                                                                                                                                                                                                                                                                                                 |
| Open Space                                        | 40% of the total gross acreage. Open space shall include active and passive recreation areas such as courtyards, streetscapes, sidewalks, playgrounds, dog parks, landscaped yards, patios, floodplains, roof areas, and other similar open spaces. Water retention areas that are designated as aesthetic lakes or dry ponds with a 4:1 gentle slope may also be counted as open space. |
| Building Height (Maximum Feet)                    | 35 Feet (Buildings can be 2 or 3 story)                                                                                                                                                                                                                                                                                                                                                  |
| Building Services Area                            | Buildings shall be designed to provide the utility functions away from public view from the streets. HVAC equipment, dumpster/compactor locations, backflow preventors and other utility and service functions shall be incorporated into the overall design of the dwelling units and landscaping.                                                                                      |
| Dumpsters/Compactor                               | The dumpster/compactor shall be enclosed and screened consistent with City standards.                                                                                                                                                                                                                                                                                                    |
| Self-Serve Carwash                                | The development may include a self-serve carwash for use by residence only in the area depicted on the Site Plan.                                                                                                                                                                                                                                                                        |

|                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
|--------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Parking                        | Parking shall be pursuant to Article VI of the Land Development Code.                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
| Lighting                       | Lighting assemblies along driveways shall be consistent in type and color and should generally not exceed 35 feet in height; pedestrian level lighting should generally not exceed 16 feet in height. Light fixtures may allow for additional elements such as banners or hanging planters.                                                                                                                                                                                                                                                |
| Signage                        | A six foot (6') double-sided, aluminum monument sign with 1/4" aluminum contour cut and painted letters (stud mounted to sign) will be installed at entrance of the development as illustrated on the attached Sign Exhibit. Street signs will also be installed for pedestrian safety based on applicable portions of the Land Development Code for Other Residential Dwelling Units and which meet the design standards pursuant to the architectural guidelines (Section 3.5) of the Heath Brook DRI for single family residential use. |
| Landscaping & Buffers          | Buffers shall comply with Section 122-260 except where shown otherwise on the PD Plan. Buffers and landscaping are proposed to be provided based on the type and intensity of development and meet the requirements of the Heath Brook DRI/PD for single family residential use. Additionally, general landscaping details are shown on the attached Tree Preservation Master Landscape Plan (PD2.0).                                                                                                                                      |
| Fencing/Gate                   | A decorative fence along Tartan Road has been constructed pursuant to Figure 3 of the Heath Brook Architectural Standards. An electronic gate will be constructed at the entrance on Tartan Road. A six (6) foot high decorative fence will be constructed along portions of the Property as set forth on the attached Fencing Exhibit. There shall be no fencing installed around the wetland areas or between the units unless otherwise approved by the Property owner and the Heath Brook Master Association.                          |
| Exterior Elevations/Renderings | Exterior elevations and photo renderings are provided herein.                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |

|                            |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
|----------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Accent Materials           | <p>Accent features shall be provided to ensure an aesthetically pleasing development and may include elements reflected in the illustrative graphics included in these PD Standards, including, but not limited to, Bahama shutters, pavers, landscape islands, accent building material and other architectural features.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| Building Materials         | <p>Foundation: Exposed rough masonry foundations shall be faced with stone, brick or stucco.</p> <p>Building Colors: Building colors shall be “Key West” style colors, unless otherwise approved by the Heath Brook Master Association.</p> <p>Windows: Windows are encouraged to be vertically oriented with height 1 ½ times the width or more except at the side elevations. Windows other than wood must be anodized or electrostatically painted.</p> <p>Exterior Walls: Vertical transitions of dissimilar materials shall be made an inside joint. Non-masonry materials shall terminate on a base of concrete or stucco.</p> <p>Roof Pitch and Roofing Types: The minimum roof pitch is 6:12. Roofs shall be tile or 30+ year architectural or dimensional textured fiberglass shingles. There shall be no flat roofs; maximum roof height is 35 feet measure from finish floor to mean height between the ridge and soffit.</p> |
| Lots and Roadway Alignment | <p>Building layout along the roadways may be adjusted at the time of formal site plan for minor engineering and planning considerations, subject to City approval.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| Access                     | <p>Lots shall provide access to public streets and right-of-way as illustrated on the PD Plan. A secondary access will be constructed <u>for emergency vehicles only</u> along SW 66<sup>th</sup> Street as approved by Marion County, which secondary emergency access shall align with the future access road to Winding Oaks located on the southside of SW 66<sup>th</sup> Street. In the event Owner/Developer desires to convert the secondary emergency access to a full access on SW 66<sup>th</sup> Street in the future, Owner/Developer shall comply with any and all standards as required by Marion County.</p>                                                                                                                                                                                                                                                                                                             |

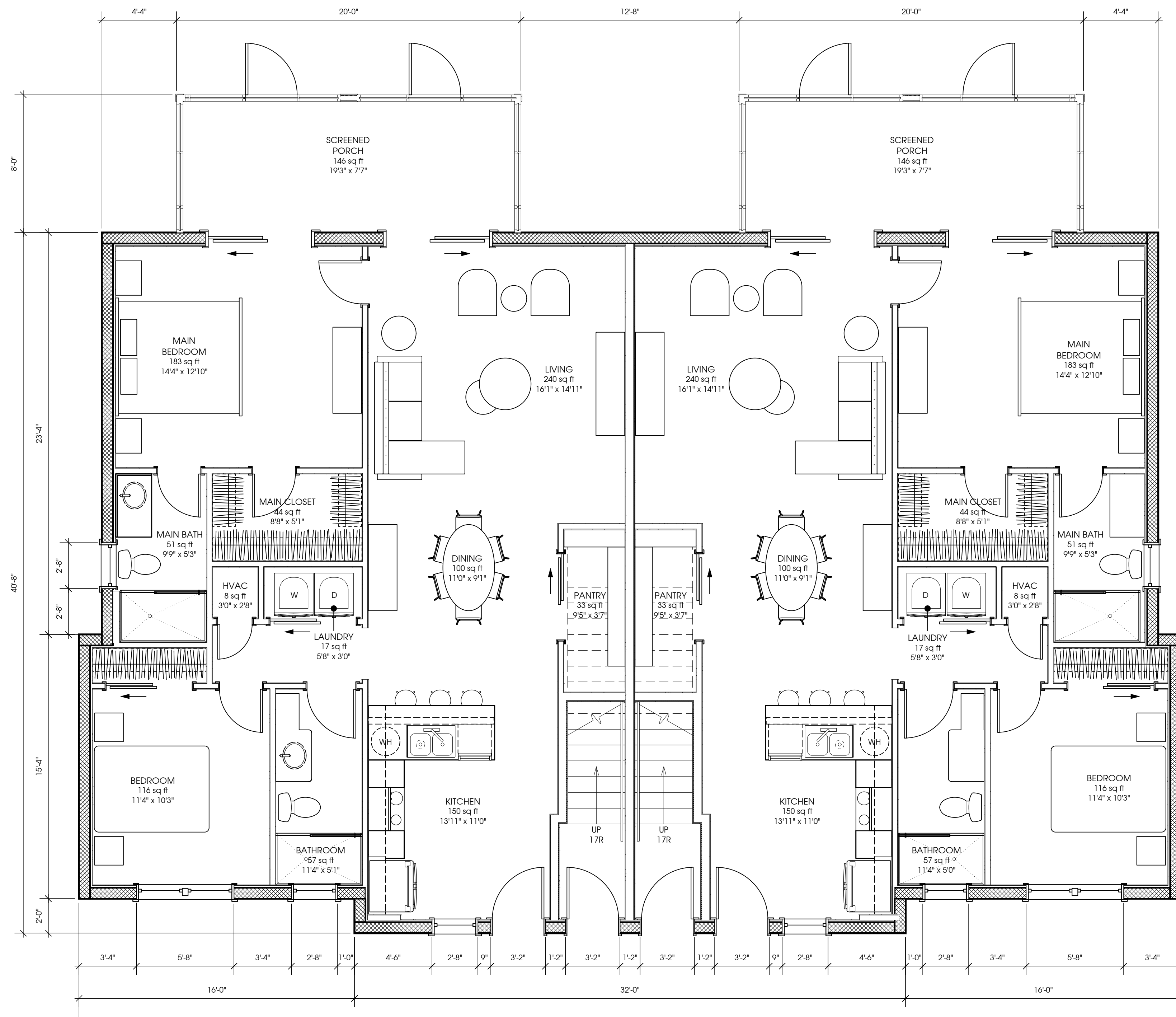
|                       |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
|-----------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Approved Uses         | Multi-family, detached garages, self-serve carwash for neighborhood use only.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| Landscaping           | All plantings shall be from the approved plant list as set forth in Section 4 of the Heath Brook DRI Landscape Standards (see attached).                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
| Utilities Connections | Permanent building connections for all utilities installed, including but not limited to, water, electric, telephone and television, shall be run underground from the Property connecting point to the structure in such a manner to be acceptable to the governing utility authority. The foregoing shall not apply, however, to transmission lines, transformers and other equipment installed by public utility companies. Above ground transformers shall be landscaped along the adjacent residence and screened from view. Utility companies shall have access to maintain such utilities as necessary. |
| Unified Control       | Developer, Belleair Development, LLC, or its successors or assigns, holds unified control over the Development Parcel.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
| Phasing Plan          | The Project will be constructed in two (2) Phases as illustrated on the attached Site Plan. Phase I will consist of 16 buildings comprising 70 units, the clubhouse/leasing office, community pool, playground, mailbox area, 3 garage buildings, trash compactor and a self-serve carwash station on the north half of the Property. Phase II will consist of 21 buildings comprising 76 units, 4 garage buildings and a trash compactor on the south half of the Property.                                                                                                                                   |
| Platting              | The Property will not be platted as it is already a platted lot within the Heath Brook DRI and will be a rental community and developed a single parcel. Individual lots will not be sold.                                                                                                                                                                                                                                                                                                                                                                                                                     |

## M&S OCALA APARTMENT COMPLEX

PROJECT ADDRESS

13

Project ID 00000  
CAD File Name 20077 - SD.vwx  
Drawn By XXX  
Reviewed By XXX  
Plot Date: 8/2/21  
Record Date:



1 2-BEDROOM FIRST FLOOR PLAN  
A.2.1 Scale: 1/4" = 1'-0"

2-BEDROOM FIRST FLOOR PLAN

A.2.1

M&S OCALA  
APARTMENT COMPLEX

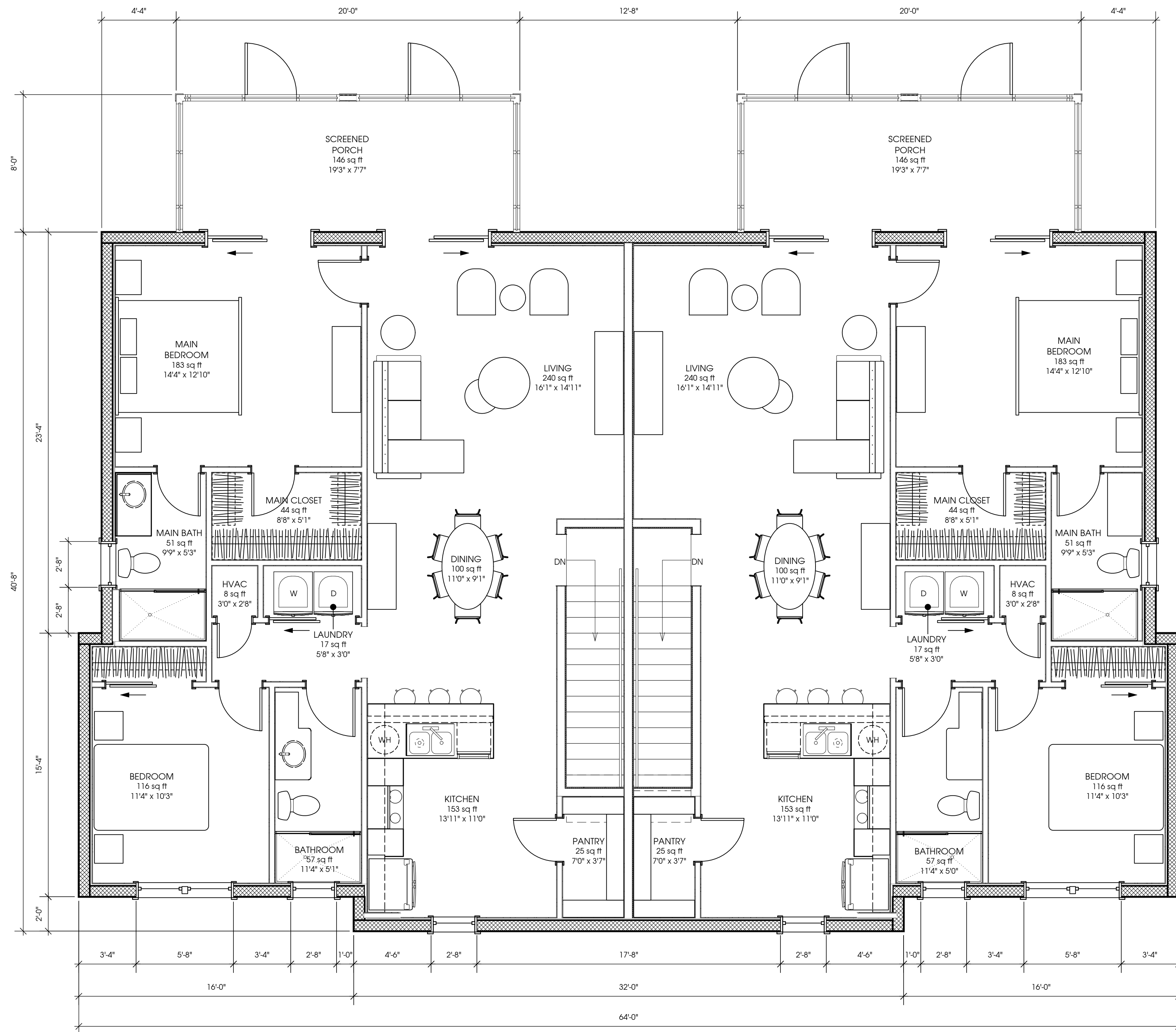
PROJECT ADDRESS

14

Project ID 00000  
CAD File Name 20077 - SD.vwx  
Drawn By XXX  
Reviewed By XXX  
Plot Date: 8/2/21  
Record Date:

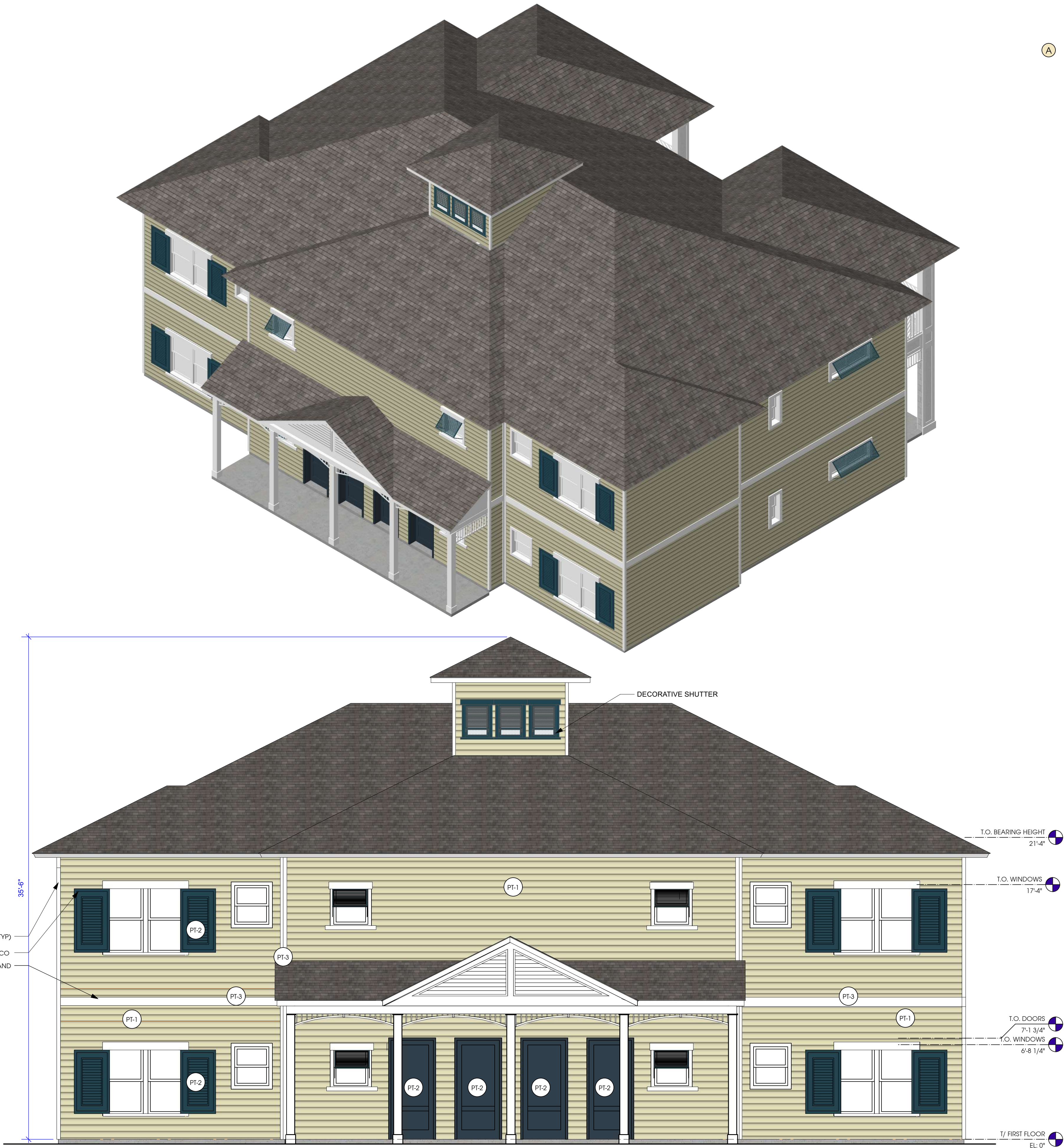
2-BEDROOM SECOND FLOOR PLAN

A.2.2



1 2-BEDROOM SECOND FLOOR PLAN  
A.2.2 Scale: 1/4" = 1'-0"

2 BEDROOM - 4 UNIT BUILDING



COLOR LEGEND:

**YELLOW & BLUE WITH BAHAMA SHUTTERS**  
PT-1 (BODY): SHERWIN WILLIAMS, SW 6693, LILY  
PT-2 (ACCENT): SHERWIN WILLIAMS, SW 6230, RAINSTORM  
PT-3 (TRIM): SHERWIN WILLIAMS, SW 7102, WHITE FLOUR

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CONSULTANT LOGO

UPDATE LICENSE INFORMATION ABOVE.  
S&S IN SPACE PROVIDED.

THE KEYS AT  
OCALA II APARTMENTS  
BUILDING A

5451 SW 66TH STREET  
OCALA, FL 34476

Project ID 00000  
CAD File Name 20077-SD-Building A .vwx  
Drawn By XXX  
Reviewed By XXX  
Plot Date: 12/6/21  
Record Date:

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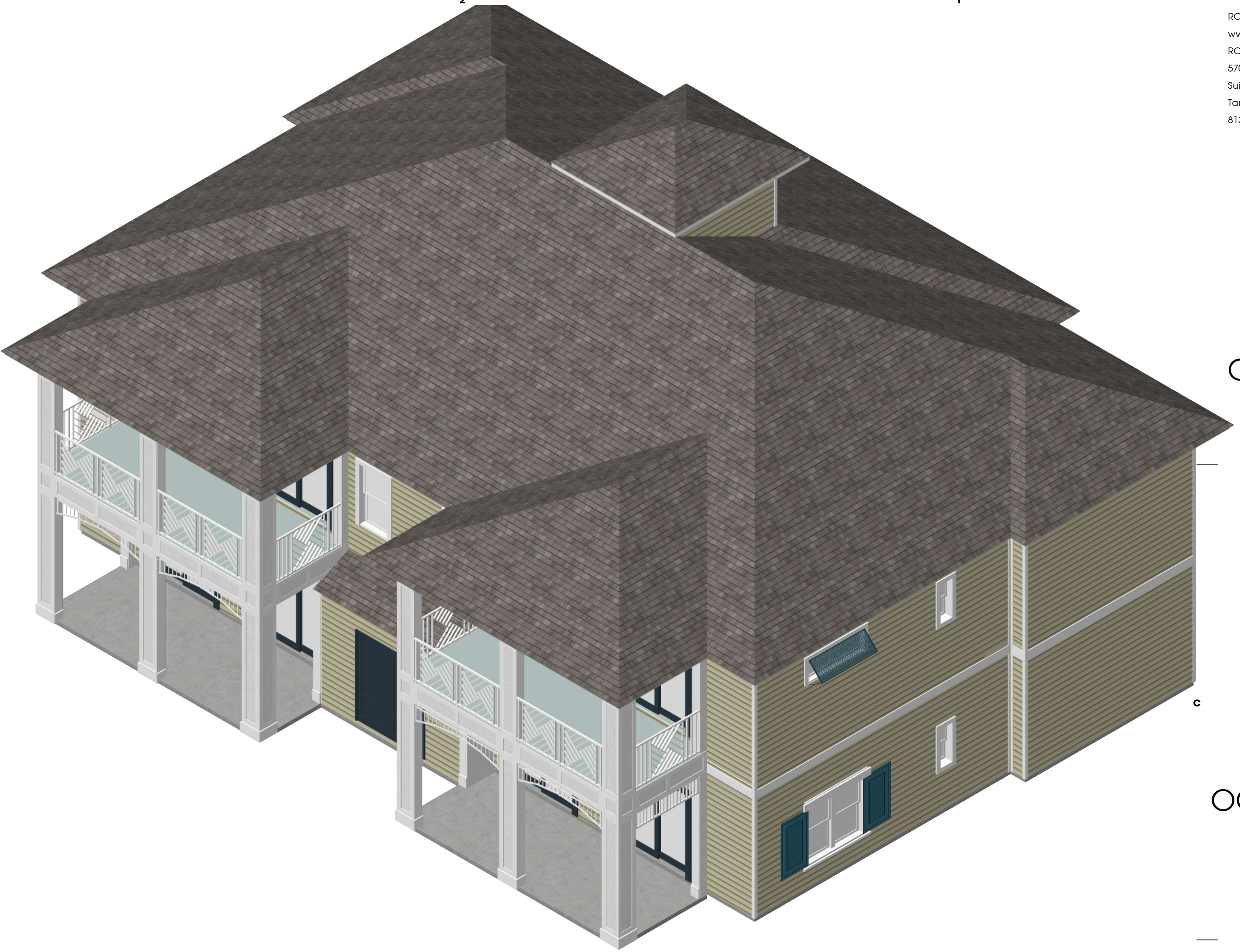
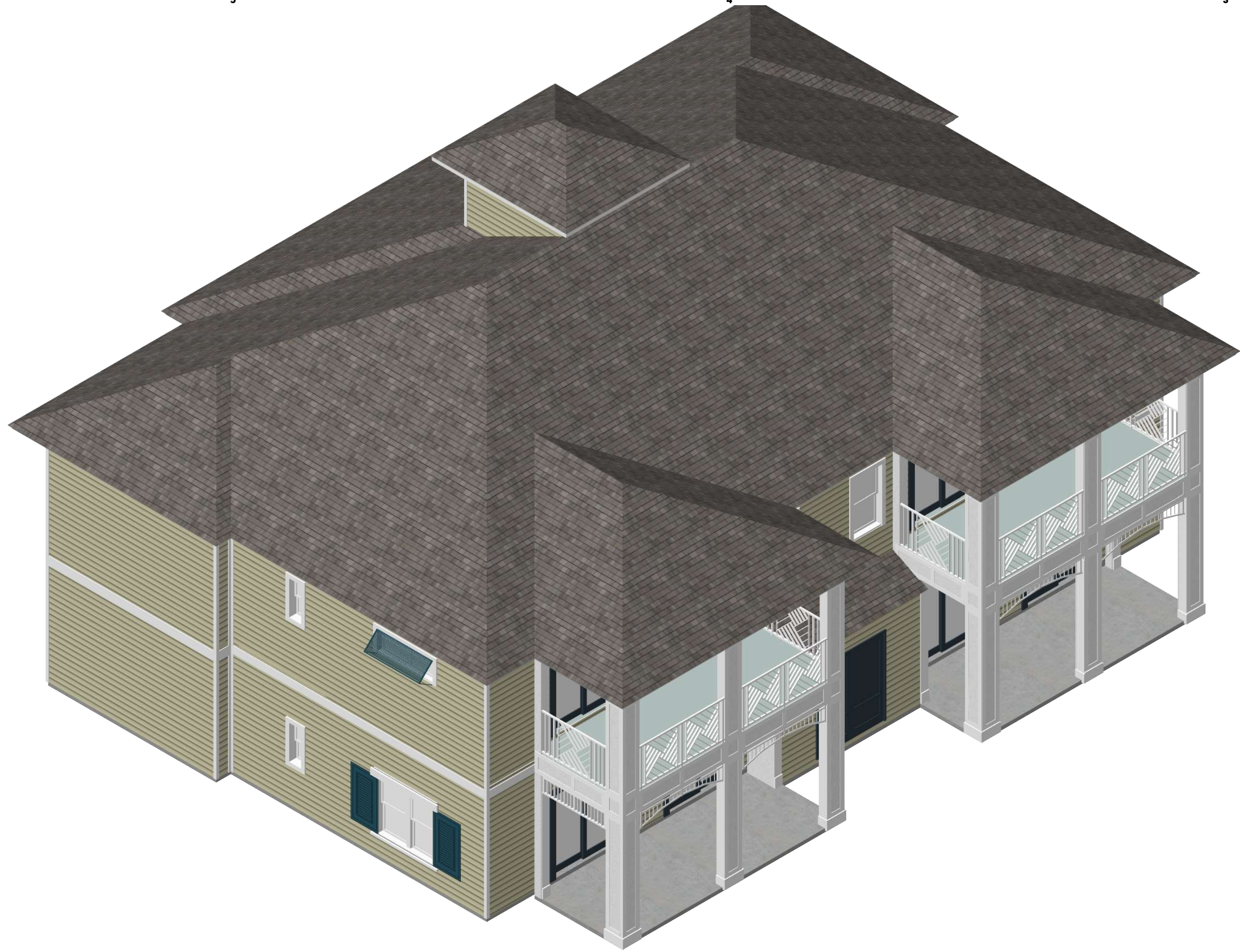
CONSULTANT LOGO

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THE KEYS AT  
OCALA II APARTMENTS  
BUILDING A

5451 SW 66TH STREET  
OCALA, FL 34476

16



4A RIGHT SIDE ELEVATION  
A.7.2 Scale: 1/4" = 1'-0"

2A LEFT SIDE ELEVATION  
A.7.2 Scale: 1/4" = 1'-0"

Project ID 00000  
CAD File Name 20077-SD-Building A .vwx  
Drawn By XXX  
Reviewed By XXX  
Plot Date: 12/6/21  
Record Date:

ELEVATIONS

A.7.2

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## THE KEYS AT OCALA II APARTMENTS BUILDING A

5451 SW 66TH STREET  
OCALA, FL 34476

17

Project ID 00000  
CAD File Name 20077-SD-Building A .vwx  
Drawn By XXX  
Reviewed By XXX  
Plot Date: 12/6/21  
Record Date:

ELEVATIONS

A.7.3



3A REAR ELEVATION  
A.7.3 Scale: 1/4" = 1'-0"

M&S OCALA  
APARTMENT COMPLEX

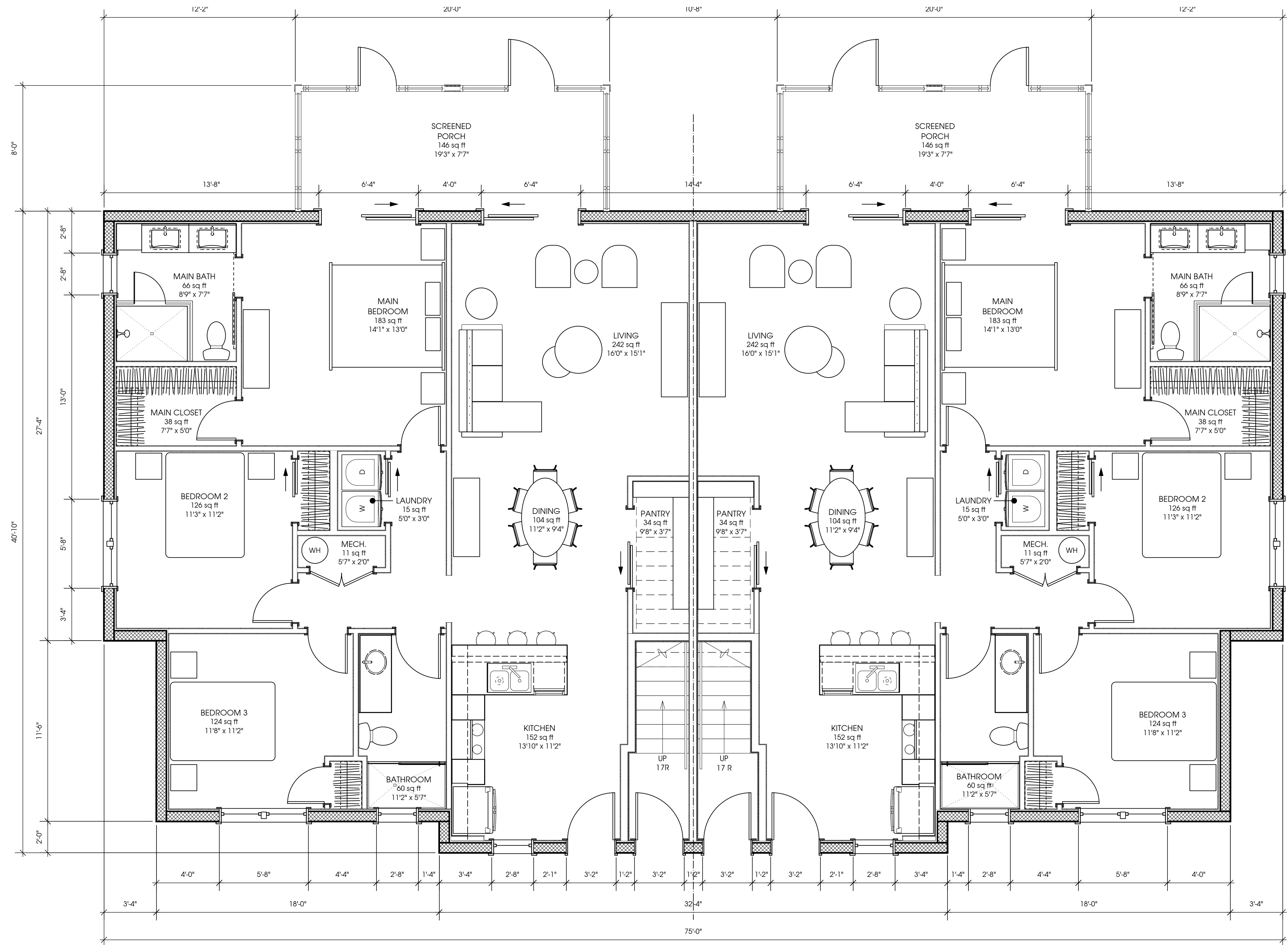
PROJECT ADDRESS

18

Project ID 00000  
CAD File Name 20077 - SD.vwx  
Drawn By XXX  
Reviewed By XXX  
Plot Date: 8/2/21  
Record Date:

3-BEDROOM FIRST FLOOR PLAN

A.3.1



1 3-BEDROOM FIRST FLOOR PLAN  
A.3.1 Scale: 1/4" = 1'-0"

## M&S OCALA APARTMENT COMPLEX

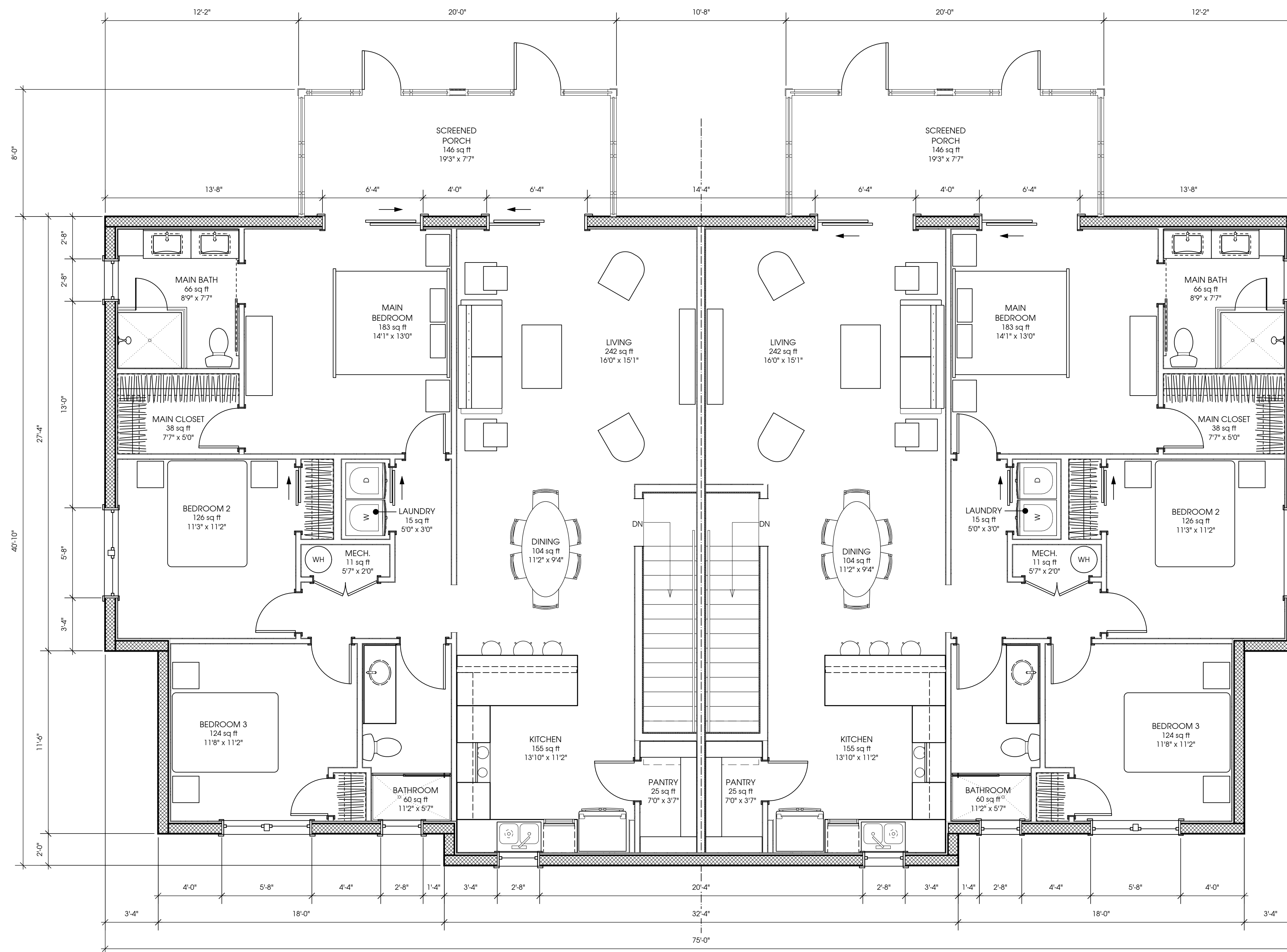
PROJECT ADDRESS

19

Project ID 00000  
CAD File Name 20077 - SD.vwx  
Drawn By XXX  
Reviewed By XXX  
Plot Date: 8/2/21  
Record Date:

3-BEDROOM SECOND FLOOR PLAN

A.3.2



1 3-BEDROOM SECOND FLOOR PLAN  
A.3.2 Scale: 1/4" = 1'-0"

3 BEDROOM - 4 UNIT BUILDING



3A FRONT ELEVATION  
A.7.1 Scale: 1/4" = 1'-0"

COLOR LEGEND:

GREEN & GREY WITH BAHAMA SHUTTERS  
PT-1 (BODY): SHERWIN WILLIAMS, SW 6463, BREAKTIME  
PT-2 (ACCENT): SHERWIN WILLIAMS, SW 7074, SOFTWARE  
PT-3 (TRIM): SHERWIN WILLIAMS, SW 7102, WHITE FLOUR

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THE KEYS AT  
OCALA II APARTMENTS  
BUILDING B

5451 SW 66TH STREET  
OCALA, FL 34476

Project ID 00000  
CAD File Name 20077-SD-Building B.vwx  
Drawn By XXX  
Reviewed By XXX  
Plot Date: 12/6/21  
Record Date:

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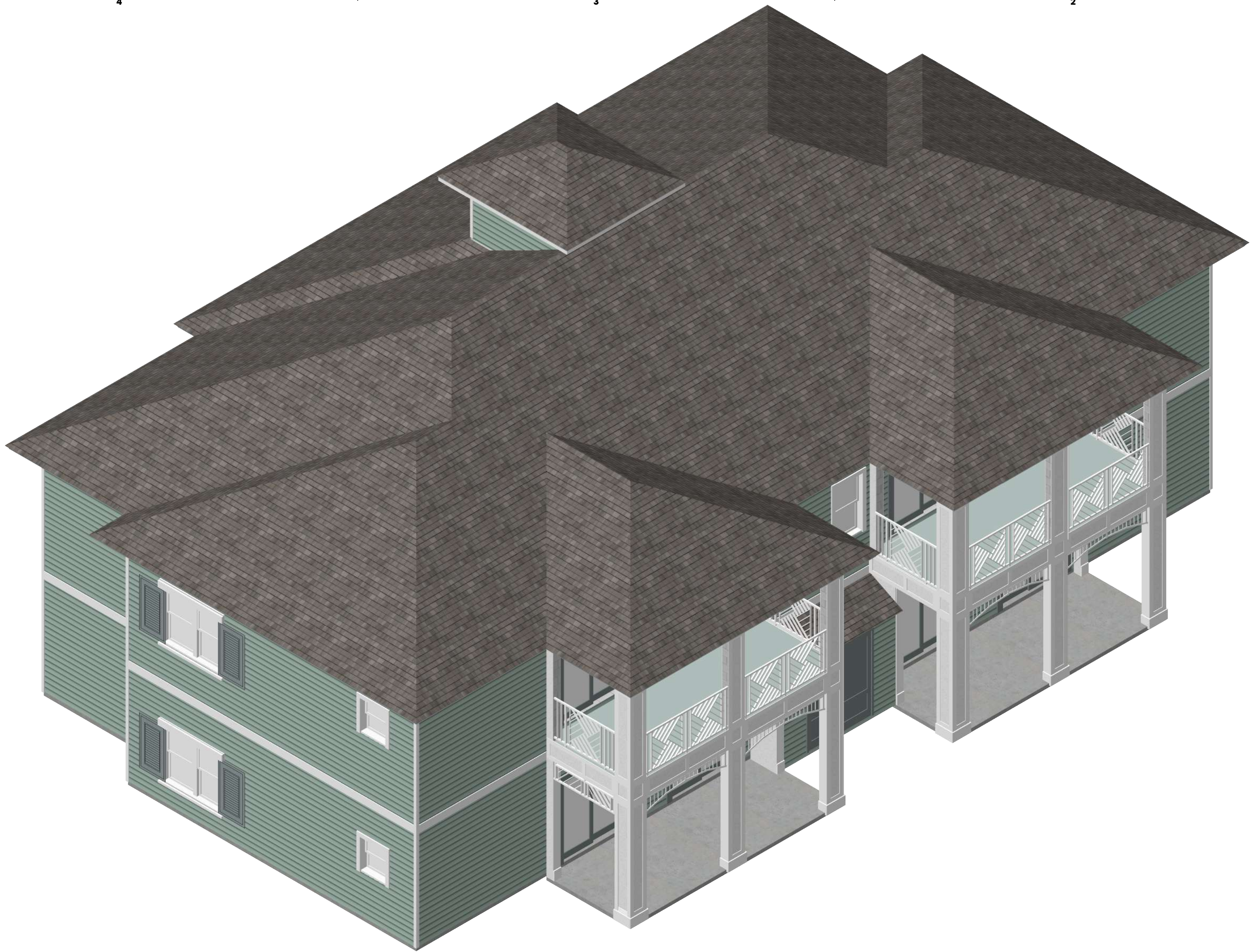
THE KEYS AT  
OCALA II APARTMENTS  
BUILDING B  
5451 SW 66TH STREET  
OCALA, FL 34476

21

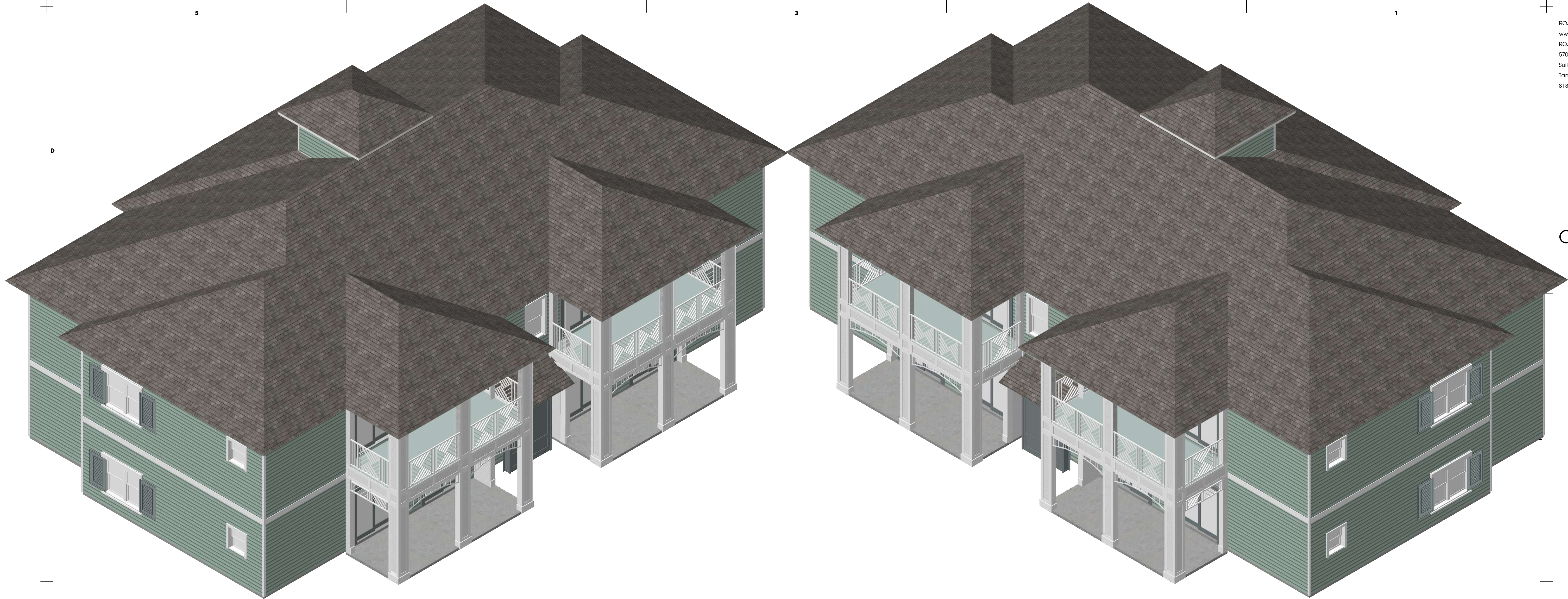
Project ID 00000  
CAD File Name 20077-SD-Building B.vwx  
Drawn By XXX  
Reviewed By XXX  
Plot Date: 12/6/21  
Record Date:

ELEVATIONS

A.7.2



3A REAR ELEVATION  
A.7.2 Scale: 1/4" = 1'-0"



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UPDATE LICENSE INFORMATION ABOVE.  
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THE KEYS AT  
OCALA II APARTMENTS  
BUILDING B  
5451 SW 66TH STREET  
OCALA, FL 34476



Project ID 00000  
CAD File Name 20077-SD-Building B.vwx  
Drawn By XXX  
Reviewed By XXX  
Plot Date: 12/6/21  
Record Date:

ELEVATIONS

4A RIGHT SIDE ELEVATION  
A.7.3 Scale: 1/4" = 1'-0"

1A LEFT SIDE ELEVATION  
A.7.3 Scale: 1/4" = 1'-0"

## M&S OCALA APARTMENT COMPLEX

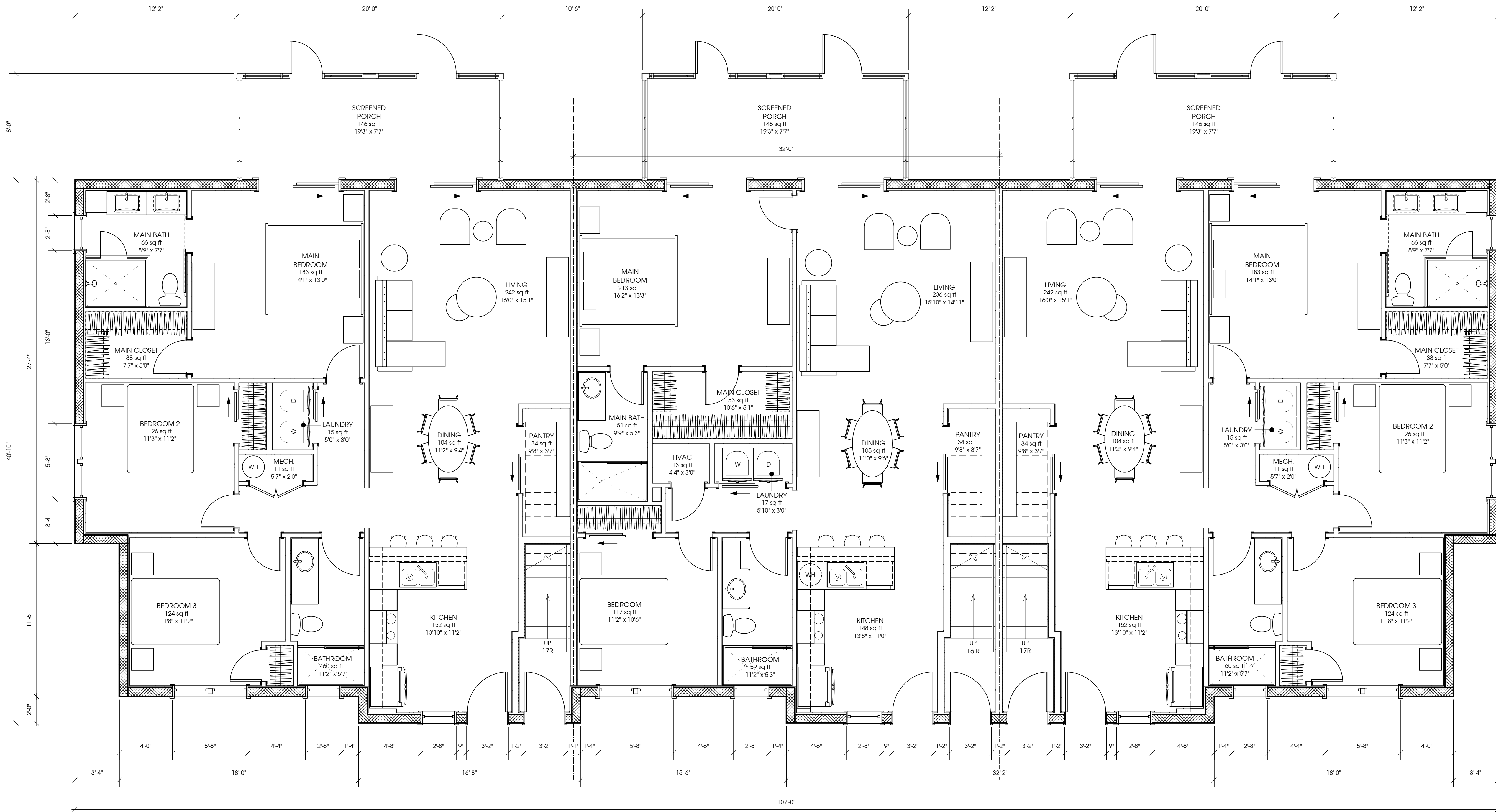
PROJECT ADDRESS

23

Project ID 00000  
CAD File Name 20077 - SD.vwx  
Drawn By XXX  
Reviewed By XXX  
Plot Date: 8/2/21  
Record Date:

6-UNIT FIRST FLOOR PLAN

A.4.1



1 6-UNIT FIRST FLOOR PLAN  
A.4.1 Scale: 1/4" = 1'-0"

# M&S OCALA APARTMENT COMPLEX

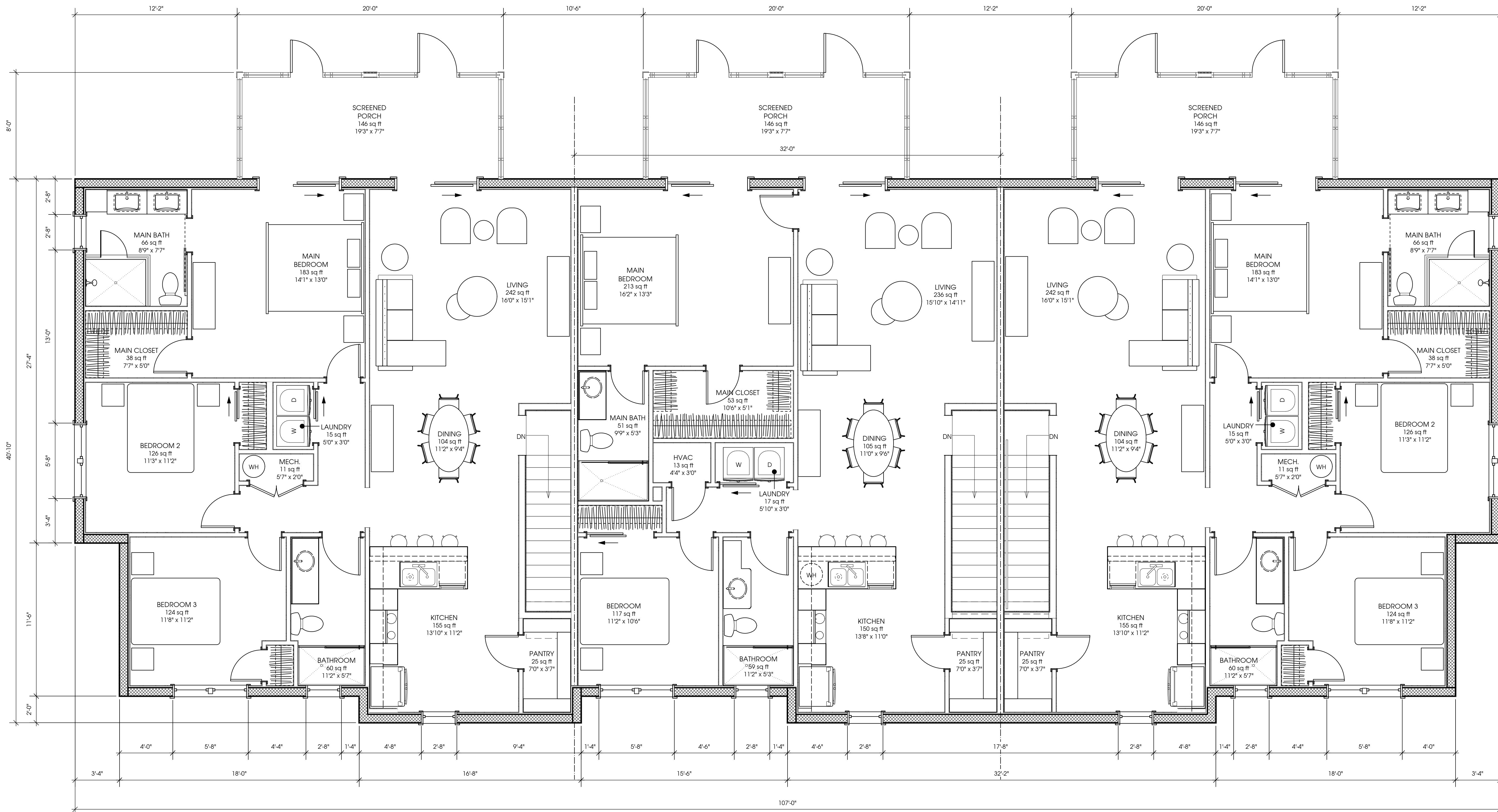
PROJECT ADDRESS

24

Project ID 00000  
CAD File Name 20077 - SD.vwx  
Drawn By XXX  
Reviewed By XXX  
Plot Date: 8/2/21  
Record Date:

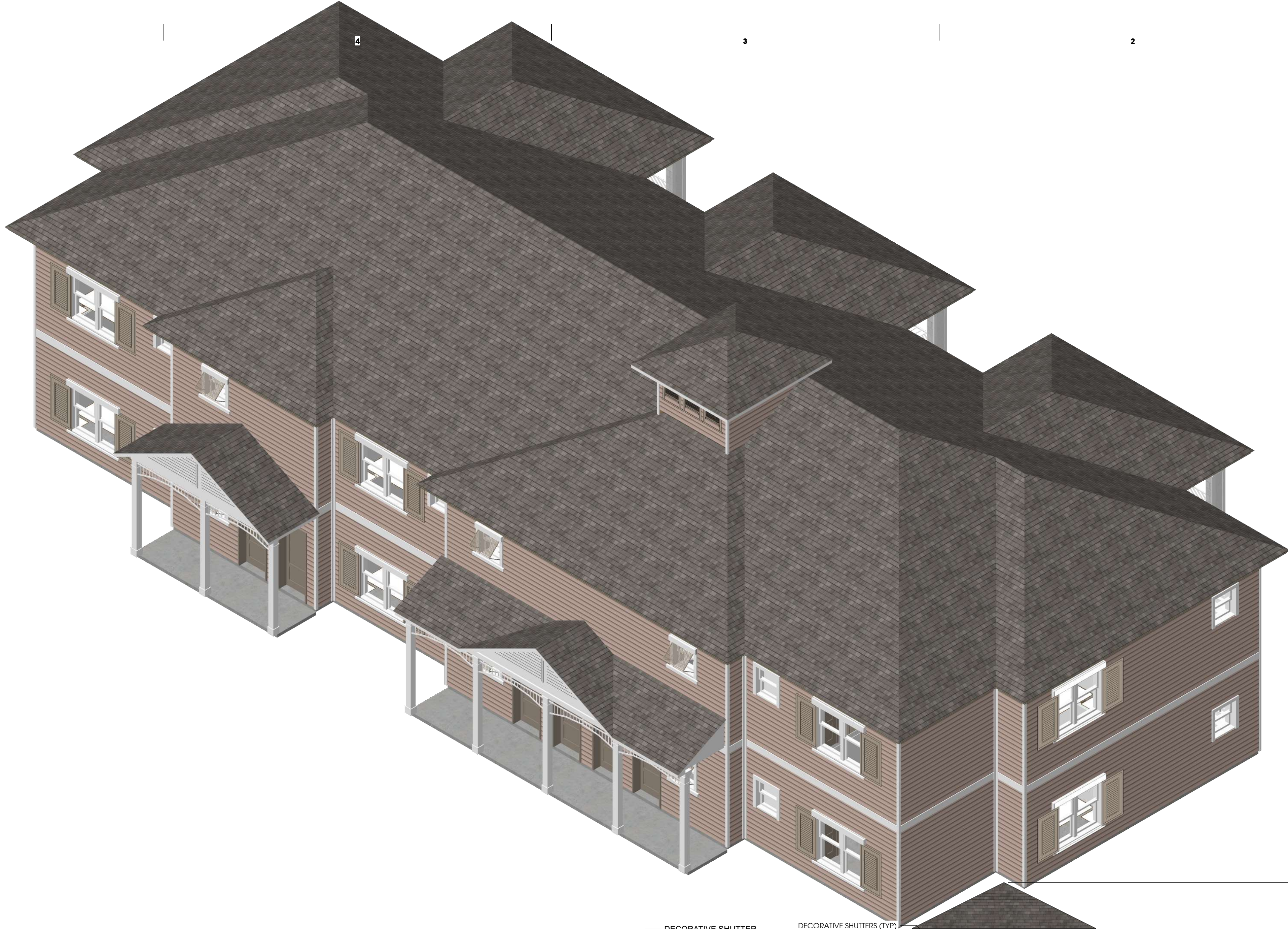
6-UNIT SECOND FLOOR PLAN

A.4.2



1 6-UNIT SECOND FLOOR PLAN  
A.4.2 Scale: 1/4" = 1'-0"

3 BEDROOM - 6 UNIT BUILDING



COLOR LEGEND:

**PINK & TOUPE WITH SIDE SHUTTERS**  
PT-1 (BODY): SHERWIN WILLIAMS, SW 6617, BLUSHING  
PT-2 (ACCENT): SHERWIN WILLIAMS, SW 9169, CHATURA GRAY  
PT-3 (TRIM): SHERWIN WILLIAMS, SW 7102, WHITE FLOUR

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THE KEYS AT  
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BUILDING C

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OCALA, FL 34476



3A FRONT ELEVATION  
A.7.1 Scale: 1/4" = 1'-0"

ELEVATIONS

Project ID 00000  
CAD File Name 20077-SD-Building C.vwx  
Drawn By XXX  
Reviewed By XXX  
Plot Date: 12/6/21  
Record Date:

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## THE KEYS AT OCALA II APARTMENTS BUILDING C

5451 SW 66TH STREET  
OCALA, FL 34476

26

Project ID 00000  
CAD File Name 20077-SD-Building C.vwx  
Drawn By XXX  
Reviewed By XXX  
Plot Date: 12/6/21  
Record Date:

ELEVATIONS

A.7.2

3A REAR ELEVATION  
A.7.2 Scale: 1/4" = 1'-0"

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THE KEYS AT  
OCALA II APARTMENTS  
BUILDING C

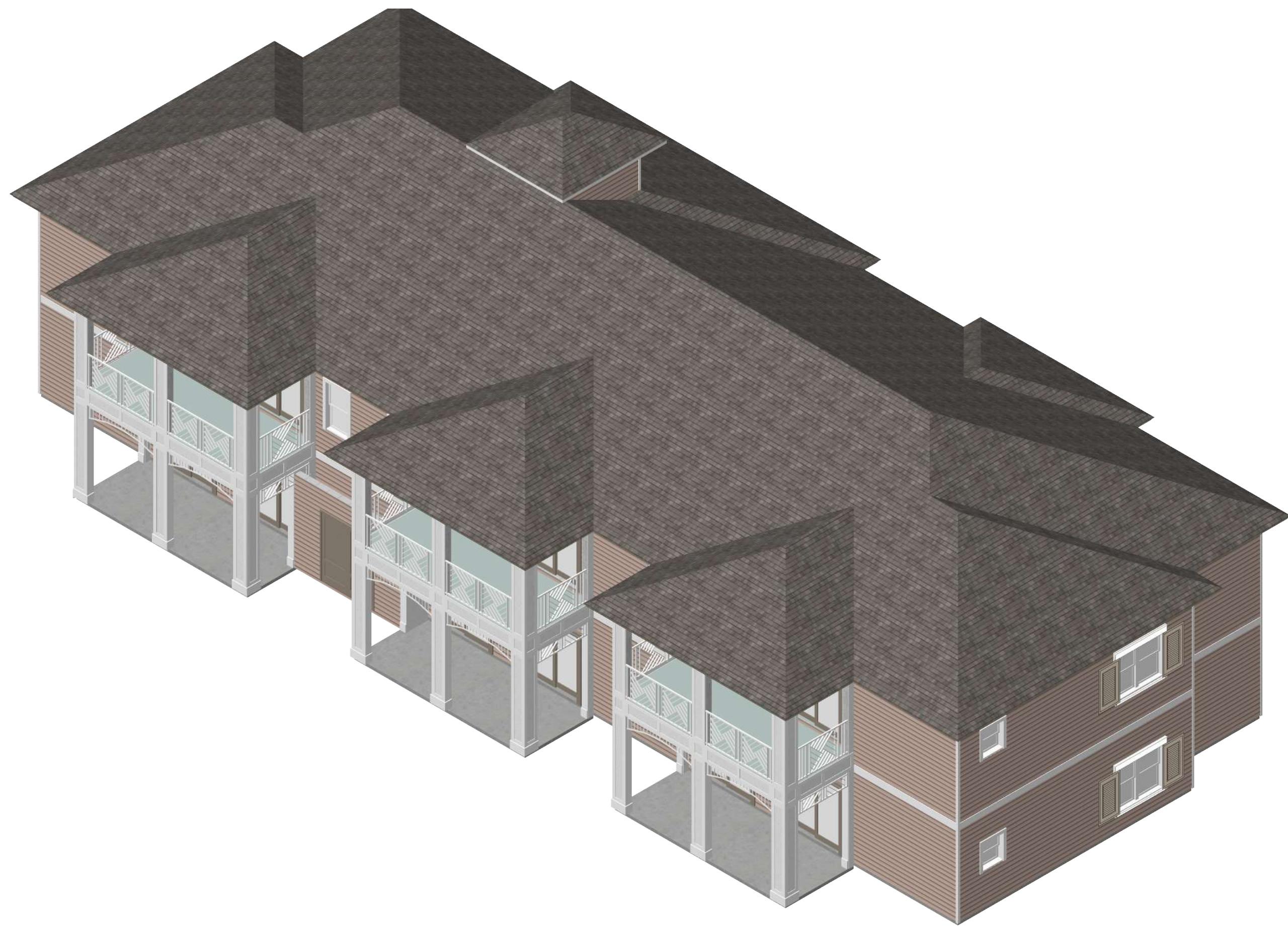
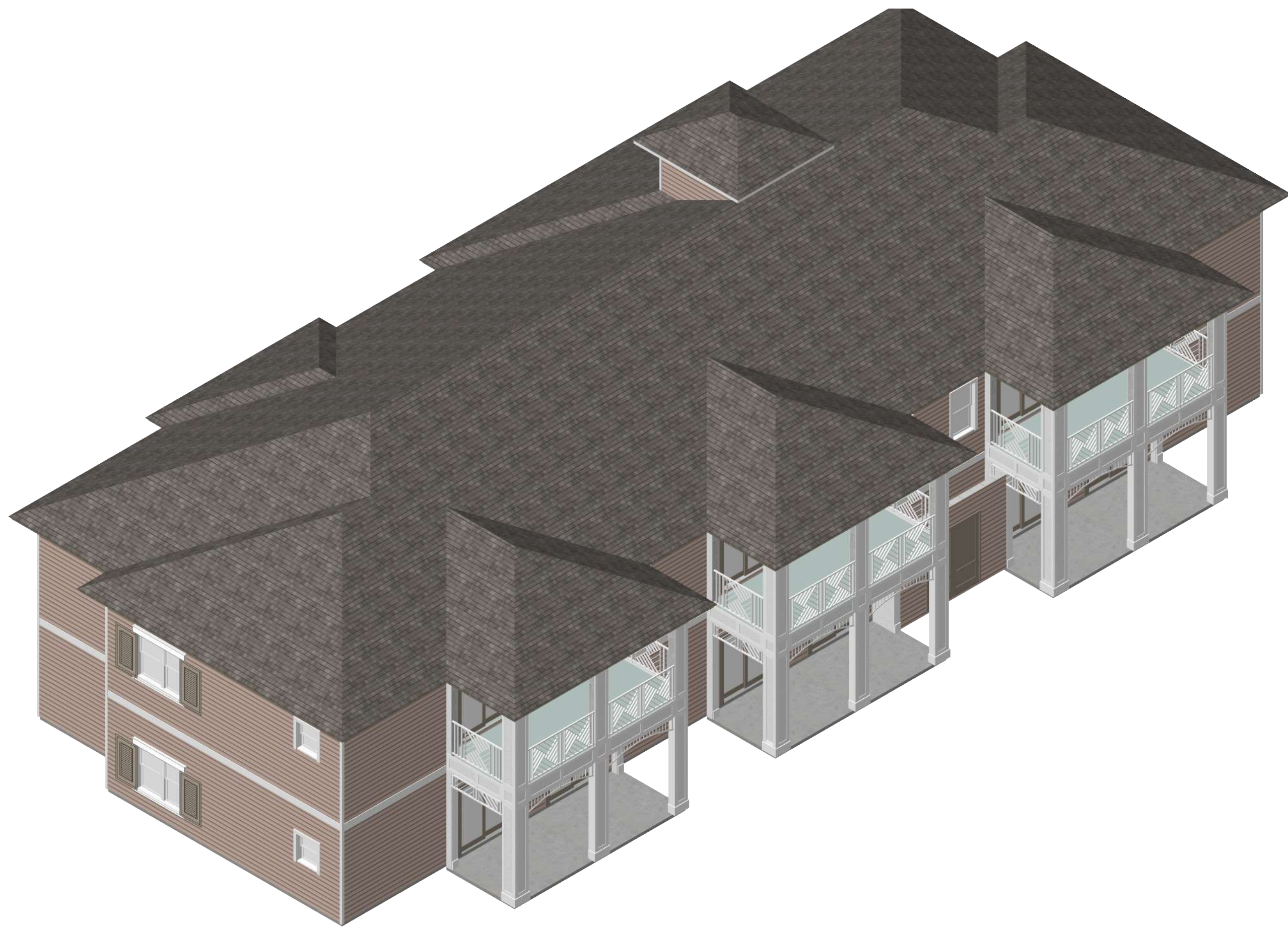
5451 SW 66TH STREET  
OCALA, FL 34476

27

Project ID 00000  
CAD File Name 20077-SD-Building C.vwx  
Drawn By XXX  
Reviewed By XXX  
Plot Date: 12/6/21  
Record Date:

ELEVATIONS

A.7.3

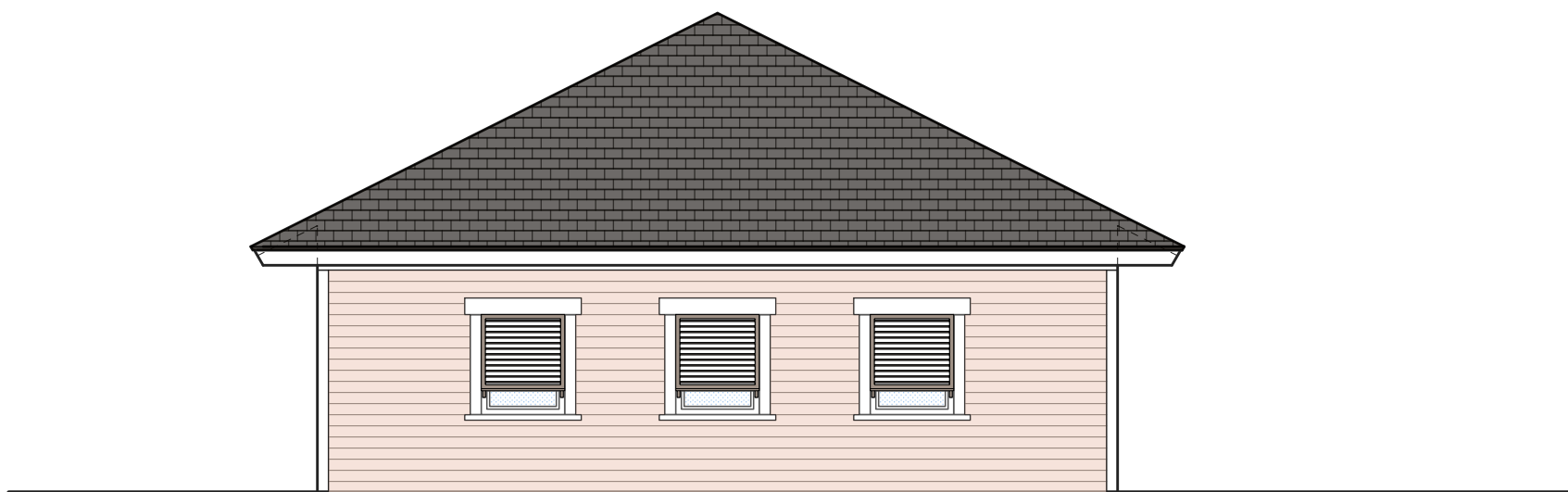


4A RIGHT SIDE ELEVATION  
A.7.3 Scale: 1/4" = 1'-0"

2A LEFT SIDE ELEVATION  
A.7.3 Scale: 1/4" = 1'-0"



GARAGE BUILDING TYPICAL FRONT ELEVATION



GARAGE BUILDING TYPICAL SIDE ELEVATION



GARAGE BUILDING TYPICAL REAR ELEVATION

M&S OCALA  
APPARTMENT COMPLEX

23

Project ID 20077  
CAD File Name 20077 - Elevations.vwx  
Drawn By PSP  
Reviewed By JS  
Plot Date: 8/2/21  
Record Date:

GARAGE BUILDING ELEVATIONS

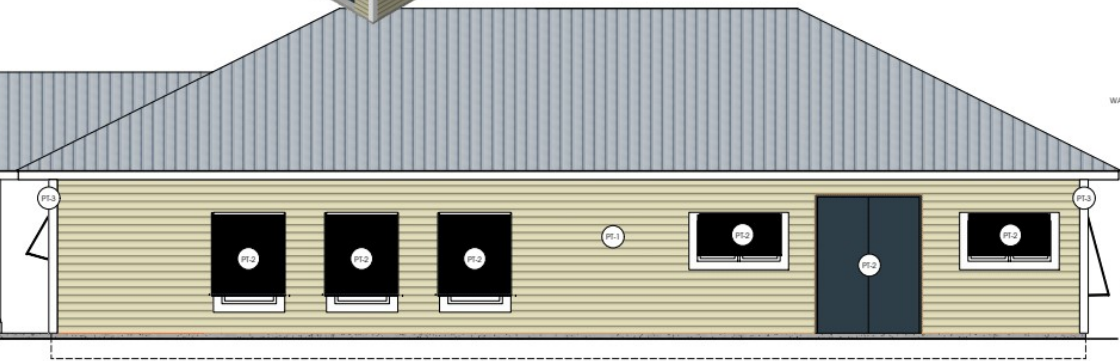
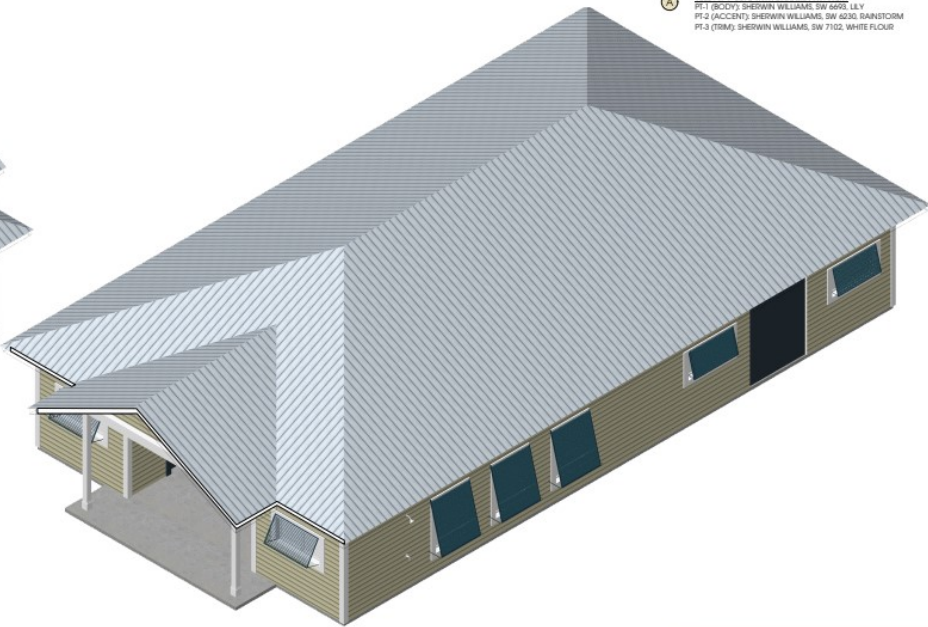
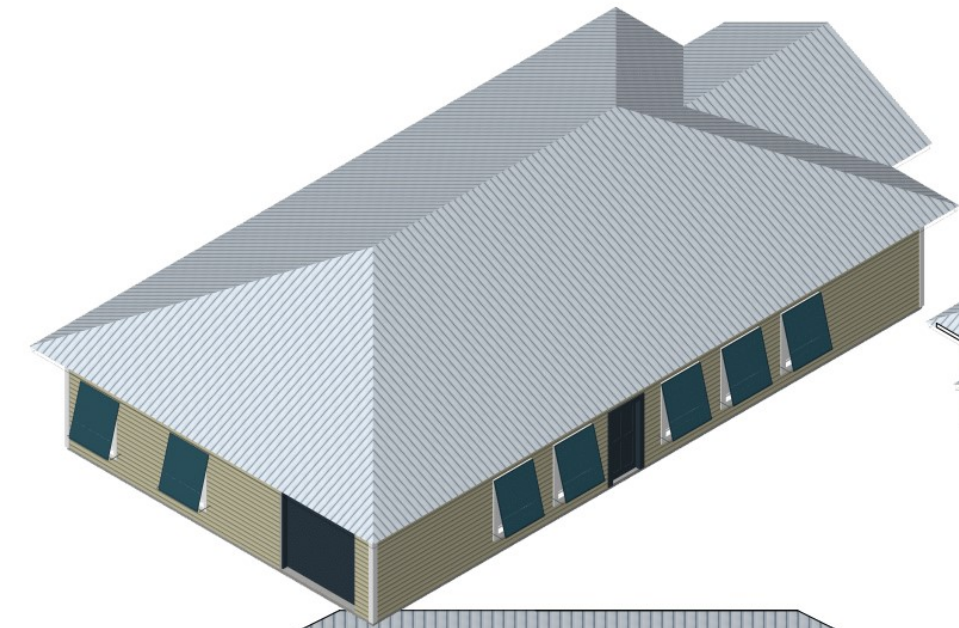
A.7.3

CLUBHOUSE

COLOR LEGEND:

**YELLOW & BLUE WITH BAHAMA SHUTTERS**  
PF1 (BODY) SHERWIN WILLIAMS SW 6692, L.V.  
PF2 (ACCENT) SHERWIN WILLIAMS SW 6235, TRANSFORM  
PF3 (TRIM) SHERWIN WILLIAMS SW 7102, WHITE FLOUR

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4B RIGHT SIDE ELEVATION  
A.7.1 Scale: 1/4" = 1'-0"



4A LEFT SIDE ELEVATION  
A.7.1 Scale: 1/4" = 1'-0"

SIGNAGE (COORDINATE W/ OWNER)  
METAL ROOF, TYP.  
ALUMINUM FASCIA, TYP.  
WALL MOUNTED LIGHTS, SEE ELECTRICAL, TYP.

TRUSS BRG.  
TYP. 12'-0"

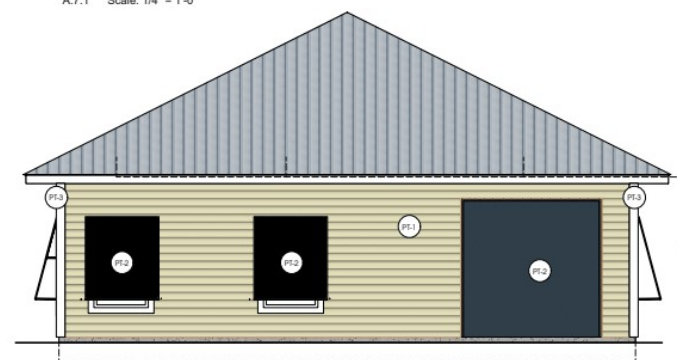
WINDOW/DOOR HEAD  
EL. 6'-8"

BAHAMA SHUTTERS  
RAISED STUCCO TRIM, TYP.  
WOOD CAP AND BASE TRIM, TYP.  
CEMENT PLASTER SIMULATED SIDING, TYP.

T.O. SLAB  
EL. 0'-0"



1B FRONT ELEVATION  
A.7.1 Scale: 1/4" = 1'-0"



2B REAR ELEVATION  
A.7.1 Scale: 1/4" = 1'-0"

**HEATH BROOK RESIDENTIAL ARCHITECTURAL  
AND LANDSCAPE STANDARDS PER RESOLUTION 2018-48  
BASED UPON SINGLE FAMILY RESIDENTIAL STANDARDS**

## HEATH BROOK MASTER RESIDENTIAL ARCHITECTURAL AND LANDSCAPE STANDARDS

3.0 Foundations: Exposed rough masonry foundations shall be faced with stone, brick or stucco.

4.0 Windows: All elevations must have windows. Windows are encouraged to be vertically oriented with Height 1 1/2 times the width or more except at the side elevations. Windows other than wood must be anodized or electrostatically painted.

- 5.0 Exterior Walls: Vertical transitions of dissimilar materials shall be made at an inside joint. Non-masonry materials shall terminate on a base of concrete or stucco. All colors must be in contractor submittal package and approved by the DRB. Earth tones and pastels are encouraged in keeping with the overall development.
- 6.0 Ceiling Heights: Minimum ceiling height is eight feet with vaulted ceilings. Minimum ceiling height shall be eight feet eight inches for flat ceilings.
- 7.0 Roof Pitch and Roofing Types: The minimum roof pitch is 6:12. Roofs shall be tile or 30+ year architectural or dimensional textured fiberglass shingles. There shall be no flat roofs; maximum roof height is 35 feet measured from finished ground floor to mean height between ridge and soffit.
- 8.0 Garage: Each dwelling shall have an attached or detached garage designed for a minimum of two automobiles.
- 9.0 Driveways: Driveways shall be a minimum of 16 feet wide and 20 feet deep at the entrance of the garage. Driveways shall be of stable and permanent materials: concrete, cast pavers brick or stone. Minimum car drive way shall be 12 feet asphalt. Loose stone or asphalt driveways are not permitted.
- 10.0 Accessory Structures: No structure of a temporary character, storage shed, trailer, tent, mobile home or recreational vehicle shall be permitted on any Lots within the Properties at any time or used at any time as a residence, either temporarily or permanently, except by the Declarant, its affiliates, Declarant's Permittees or Participating Builders during construction. Permanent Accessory Structures shall be permitted in front or side yards, or in setbacks. Permanent Accessory Structures must be used for human habitation and therefore be under air. Plans shall be submitted to the ARB for approval prior to construction. Permanent Accessory Structures not attached to the house must mimic the style of the house and comply with setback restrictions.
- 11.0 Signs. No sign of any kind shall be displayed to the public view on any Lot or Common Areas, except as authorized by Declarant or DRB (in locations and in accordance with applicable design standards). Declarant may authorize Declarant, its affiliates, Declarant's Permittees or Participating Builders to place signs on the Properties for advertising purposes during the construction and sales period. No sign of any kind which shall be visible outside the Unit shall be permitted to be placed inside a Unit or on the outside walls of such Unit, or on any fences on the Properties, nor on the Common Areas, nor on dedicated areas, nor on entryways or any vehicles within the Properties, except such as are authorized by Declarant or DRB.
- 12.0 Pets, Livestock and Poultry. Each Unit Owner or Occupancy (regardless of the number of joint owners or occupants) may maintain not more than two (2) household pets in his Unit, provided that the pets are not kept, bred or maintained for any commercial purpose and do not become a nuisance or annoyance to other Owners. No reptiles, wildlife, livestock or poultry of any kind shall be kept on any Lot or any Common Area. All pets (including cats) must be kept on a leash of a length that affords reasonable control over the pet at all times when outside the Unit. No household pets shall be permitted to leave excretions on any Common Areas, except areas designated by the association, and Owners shall be responsible to clean-up any such improper excretions. For purposes hereof, "household pets" means dogs, cats and other animals expressly permitted by the Association, if any. Nothing contained herein shall prohibit the keeping of fish or domestic (household type) birds, as long as the latter are kept indoors and do not become a source of annoyance to neighbors. Pets shall also be subject to all applicable rules.
- 13.0 Commercial Trucks, Trailers, Campers and Boats. No motorcycle, boat, trailer, camper, travel trailer, recreational vehicle, mobile home, or other powered or non-powered vehicle, other than private passenger vehicle, shall be parked or maintained on any lot or public right-of-way, except in an enclosed garage. No commercial vehicle of any kind shall be permitted on any lot except vehicles owned by the lot owner not exceeding three-quarter tons and must be parked in an enclosed garage; and except vendors providing temporary services to the lot owner. All private passenger vehicles shall be parked within an enclosed garage, unless all spaces for private passenger vehicles, of which there must be two pursuant to Architectural Guidelines, are occupied by a private passenger vehicle, commercial vehicle, recreational vehicle, camper, trailer, or boat. All vehicles parked within the driveway must be in good condition, and

any vehicle, which is unlicensed or cannot operate on its own power, shall not remain in the driveway for more than 24 hours. No major repair of any vehicle shall be made on the lot. Overnight on street parking is prohibited. Restrictions if any, on commercial trucks, trailers, campers and boats (particularly as to the parking or storage thereof) shall be imposed and enforced by the Association; provided, however, that no commercial trucks, trailers, campers or boats shall be parked or stored within the Common Areas if the Association prohibits such parking or storage by regulation or otherwise.

Subject to applicable laws and ordinances, any vehicle parked in violation of these or other restrictions contained herein or in the rules and regulations now or hereafter adopted may be towed by the Association at the sole expense of the owner of such vehicle if such vehicle remains in violation for a period of 24 hours from the time a notice of violation is placed on the vehicle. The Association shall not be liable to the Owner of such vehicle for trespass, conversion or otherwise, nor guilty of any criminal act, by reason of such towing and once the notice is posted, neither its removal, nor failure of the owner to receive it for any other reason, shall be grounds for relief of any kind. For purposes of this paragraph, "vehicle" shall also mean campers, mobile homes and trailers. An affidavit of the person posting the aforesaid notice stating that it was properly posted shall be conclusive evidence of proper posting.

- 14.0 Garbage and Trash Disposal. No garbage, refuse, trash or rubbish shall be deposited except as permitted by the Association. The requirements from time to time of the applicable governmental authority, trash collection company or the Association (which may, but shall not be required to, provide solid waste removal services) for disposal or collection of waste shall be complied with. All equipment for the storage or disposal of such material shall be kept in a clean and sanitary condition. All solid waste containers shall comply with the standards adopted by the Association (or the DRB) for such containers (the latter to control over the former in the event of conflict). Garbage containers shall be kept inside garage except for the day of garbage collection.

- 15.0 Exterior Antennas, Etc. No Owner shall install any exterior antenna satellite dishes or similar equipment on any Lot, or the Common Areas or Improvement thereon, unless such antennae, satellite dishes and similar equipment are approved by the DRB conform to the conditions and requirements imposed by the DRB. No radio or short-wave operations of any kind shall be permitted to operate on any Common Areas or any Unit. The Declarant may erect an antenna, a master antenna, or a cable television antenna for the use of all the Owners, and Declarant grants and hereby reserves easements for such purposes as more particularly set forth in Article 11. Notwithstanding the foregoing, to facilitate compliance with the Telecommunications Act of 1996, the following provisions apply to installation of DBS, MDS, ITFS, and LMDC dishes less than one (1) meter in diameter, and TVBS antennas:

15.1 No payment of any fee shall be required as a condition of installation.

15.2 All installations shall be integrated into dwelling design and shall be a maximum of 24" in diameter. All wiring shall be in conduit and painted to match dwelling. Antennas and must be placed on the Lot in a location which is not visible from any street.

15.3 The Owner must take reasonable measures to screen the installation. "Reasonable" means an installation that is consistent with the overall landscape standards of Heath Brook Hills.

- 16.0 Trees, Shrubs and Artificial Vegetation all plantings shall be from the DRB approved plant list. No tree or shrub, the trunk of which exceeds six (6) inches in diameter, may be cut down, destroyed or removed from any Lot or Common Areas without the prior approval of the DRB. All Lots shall, upon completion of a Dwelling Unit and prior to any person occupying the Dwelling Unit, be fully landscaped, grassed and irrigated with 100% coverage in accordance with plans submitted to, and approved by the DRB. The entire yard shall be sodded with grass approved by the DRB. The Owner shall maintain all shrubbery, grass, trees and other landscaping installed on their Lot in a neat, clean, orderly and healthy condition. Decorative rock yards, paved yards, or yards in which the principal ground cover is other than grass are specifically prohibited. No artificial grass shrubbery, trees, or other artificial vegetation or landscaping, or potted shrubbery, trees, vegetation or sculptural landscape décor shall be permitted outside the Dwelling unit except that live shrubbery, trees or other vegetation in uniformly designed and attractive pots may be displayed on porches, patios, or at the entrance areas of a Dwelling Unit.

- 17.0 **Swimming pools:** Pool decking shall conform to pool industry standards. Pools and spas shall be built in ground and integrated with the house. Pool screen shall follow the form of the dwelling not extend higher than the dwellings roof and shall not be visible from the street. Pool equipment shall be screened by a wall or planting from neighbors and street. Pool equipments shall be located in rear or side yards only. Rear pool edge shall be a minimum of 4 feet from the rear property line for lots from 50 to 89 feet wide and a 10 foot set back for lots 90 feet wide and greater. Pools shall remain in rear yard setback except in courtyard plans.
- 18.0 **Air Conditioning Units:** Air Conditioning units shall be located in side or rear yards of lot. No air conditioning units shall be located in front yards. All units shall be screened from view of neighbors and streets with a wall or plantings. Compressors located in side yards must meet a SPL rating of 85 decibel or less.
- 19.0 **Exterior Lighting.** All exterior lighting shall be designed so as to not disturb neighbors. All exterior lighting shall be subject to prior approval by the DRB.
- 20.0 **Games and Play Structures.** -All game or play structures shall be located at the rear of the Lot and 10 feet from any property line(s) or on the inside portion of corner Lots within the setback lines. All game and play structures shall be screened from view from any street. No platform, doghouse, playhouse, game or play structures of a similar kind or nature shall be constructed on any part of the Lot located in front of the rear (wall) line of any Unit(s) constructed on the Lot, and any such structure must have the prior approval of the DRB.
- 21.0 **Fences and Walls.** The composition, location, color and height of any fence or wall to be constructed on any Lot are subject to the approval of the DRB. The DRB shall, among other things, require that the composition of any fence or wall be consistent with the material used in the surrounding buildings, be harmonious with the style of the house and other fences, if any. All fences shall be constructed of permanent material with a painted finish. Fences shall be a maximum of six feet high along rear and side yards and not extend past a line extending from the front of the dwelling, except in courtyard houses. No chain link or wood fences shall be permitted on any Lot or portion thereof, unless installed by Declarant, its affiliates, Declarant's Permittees or Participating Builders during construction periods or as otherwise approved by Declarant or the DRB.
- 22.0 **Mailbox and Paper box:** Shall be project type and style as selected by DRB.
- 23.0 **Flagpoles:** Flagpoles shall be attached to the house. Only U.S. flags shall be displayed no other flags will be allowed.
- 24.0 **Solar Collectors:** Collectors shall be integrated into the roof design on rear of roof. Color and form of collectors shall harmonize with roofing. No storage tanks shall be permitted on roof. Equipment located on ground shall be located in rear or side yard and screened from street and neighbors with walls or planting. Equipment is not permitted in front yard.
- 25.0 **Tanks:** Tanks shall be underground or in side or rear yards screened from street and neighbors by walls or plantings. Tanks are not permitted in front yards.
- 26.0 **Utilities Connections.** Permanent building connections for all utilities installed after the date hereof, including but not limited to, water, electricity, telephone and television, shall be run underground from the proper connecting points to the structure in such a manner to be acceptable to the governing utility authority. The foregoing shall not apply, however, to transmission lines, transformers and other equipment installed by public utility companies. Above ground transformers shall be landscaped along with adjacent residence and screened from view.
- 27.0 **Off-Street Motor Vehicles.** No motorized vehicle may be operated off of paved roadways and drives except as specifically approved in writing by the Association for the purpose of maintenance, construction or similar purposes and except as operated by the Association or its contractors, subcontractors or

designees.

- 28.0 **Golf Carts.** The Association shall permit golf carts owned by an Owner to be operated on the private streets of the Common Areas, provided all such carts are subject to the same traffic and parking regulations as motor vehicles. The Association may adopt rules and regulations governing the use and operation of golf carts on the Properties.

#### 4.0 Single Family Residential Lots – Landscape Plan Review Criteria

*The following landscape criteria will be the responsibility of the individual home builder:*

##### 4.1 Site Plan

Scaled drawing which will include the following:

- a. Location of proposed house, porches, pool, garage, driveway, mailbox, and fences with applicable setbacks. A current tree survey with the locations of existing trees must also be included with site plan.
- b. Minimum setbacks as per City of Ocala and HeathBrook Single Family Architectural Standards.
- c. Statement indicating ground floor elevations above existing natural grade. All units shall have one (1) 6" step above the existing grade.

##### 4.2 Landscape Plans

Scale drawings shall include the following:

- a. Location of existing trees, proposed house, porches, pool, garage, driveway, mailbox, and fences with agreeable setbacks.
- b. Location of all proposed plantings with a listing of each plant type and size.
- c. The individual homebuilder shall install one (1) 3 ½" caliper Live Oaks (*Quercus virginiana*) within the ROW at the corner of every other lot throughout the residential pod (referred to as "street Live Oak")
- d. Landscape plans shall have the following minimum:
  - One (1) shade tree (in addition to the street Live Oaks) with a 3 ½" caliper selected from approved plant list and meeting City of Ocala code requirements. Height and spread are per variety (see approved tree list). Three (3) palms with 10' c.t. used in a cluster may replace the required shade tree. Lots 80' and above shall require two (2) shade trees in addition to the street Live Oaks.
  - Two (2) ornamental trees of a 30 gallon container size from the approved ornamental tree list (caliper, height, and spread per variety). Lots 80' and above shall require three (3) ornamental trees.
  - Complete shrub coverage with 3-gallon shrubs selected from the approved shrub list. All elevations shall receive a continuous hedge with shrubs spaced 3' oc and a minimum of 24" from walls. All garages and carports (side opening) will be screened from adjacent property for the length of the side elevation with approved shrub/screening plants.
  - Front elevations shall have an average depth of 8' with appropriate trees, shrubs and groundcovers to ensure a dimensional layering to transform from lawn area to house wall. (See approved ground cover and other plant material list). Lots

Land Design Group, Inc.

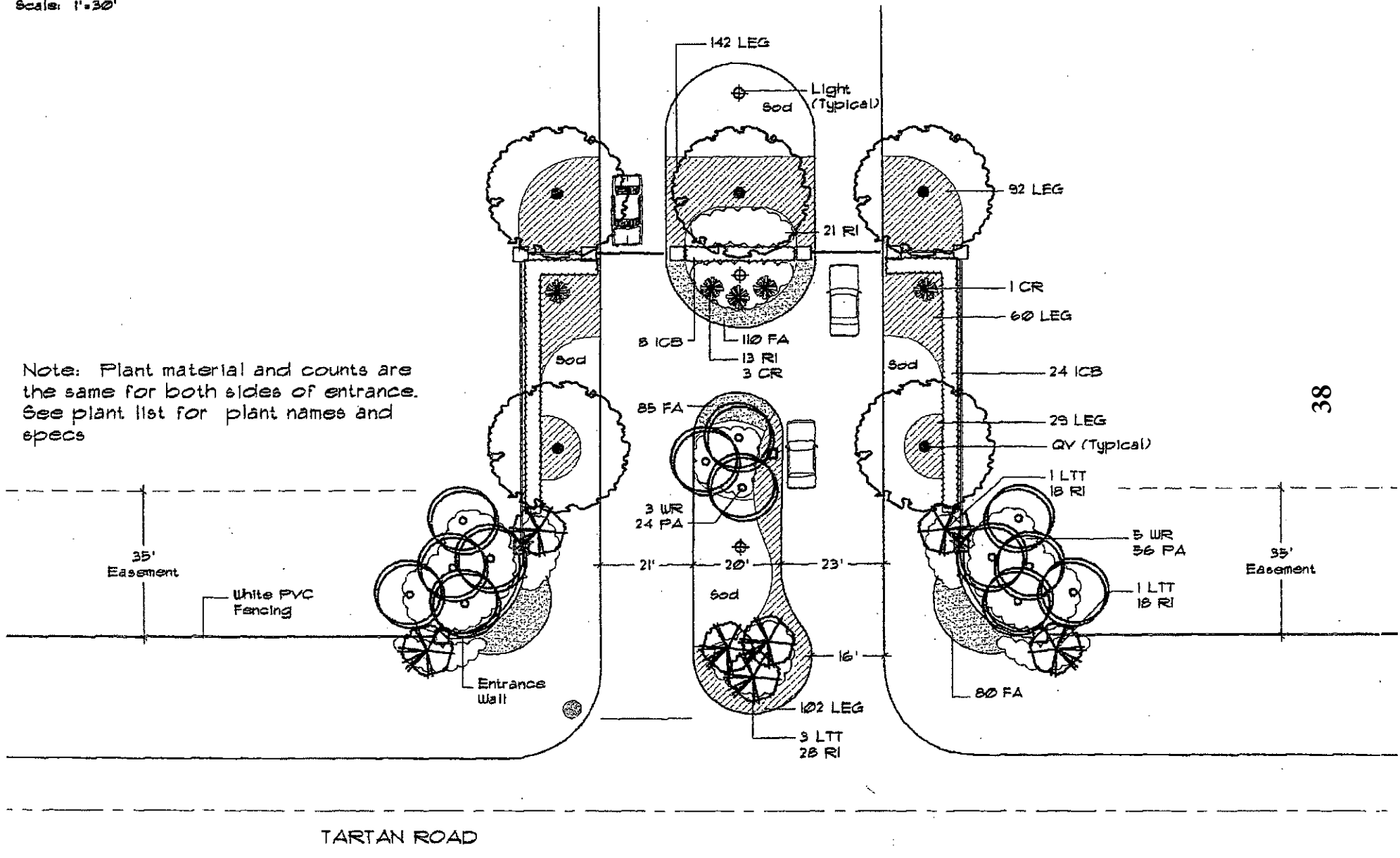
80' and above shall require front elevations to have an average landscape depth of 12'.

Effort should be made to provide both textured and color variations within the plantings to provide contrast and interests to the home landscape.

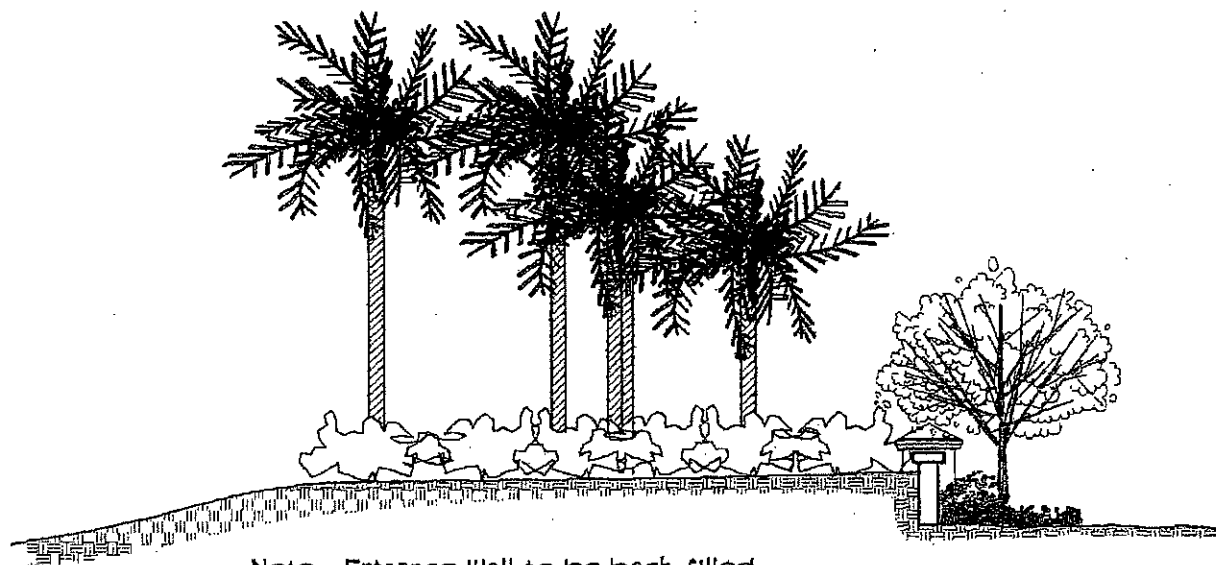
- All sod shall be St. Augustine 'Floratan' or 'Bitter Blue' for shady locations.
- Mulch shall be pine bark "mini-nuggets" only with a depth of 2-3". Large natural areas (if they occur) may use pine straw at a depth of 5-6".
- The lawn and landscape maintenance will adhere to the guidelines set forth in the *Florida Yards and Neighborhoods*.
- Outdoor lighting should be specified and located on all landscape plans and subject to approval by the Architectural Review Board (ARB).
- 100% of the property, including ROW, shall be irrigated with a fully automatic irrigation system with 100% coverage.
- Location and type of all fences, including the height, style, and material, will be submitted for review. There will be no chain link fence of any kind.
- Mailbox selections must be submitted to the Ocala Trophy Limited Partnership for approval.

Figure 1  
SF Residential Landscape Requirements  
Pod Entrance  
Scale: 1"=30'

Note: Plant material and counts are the same for both sides of entrance.  
See plant list for plant names and specs



**Figure 2**  
**SF Residential Landscape Requirements**  
**Pod Entrance**  
 Scale: 1"=30'



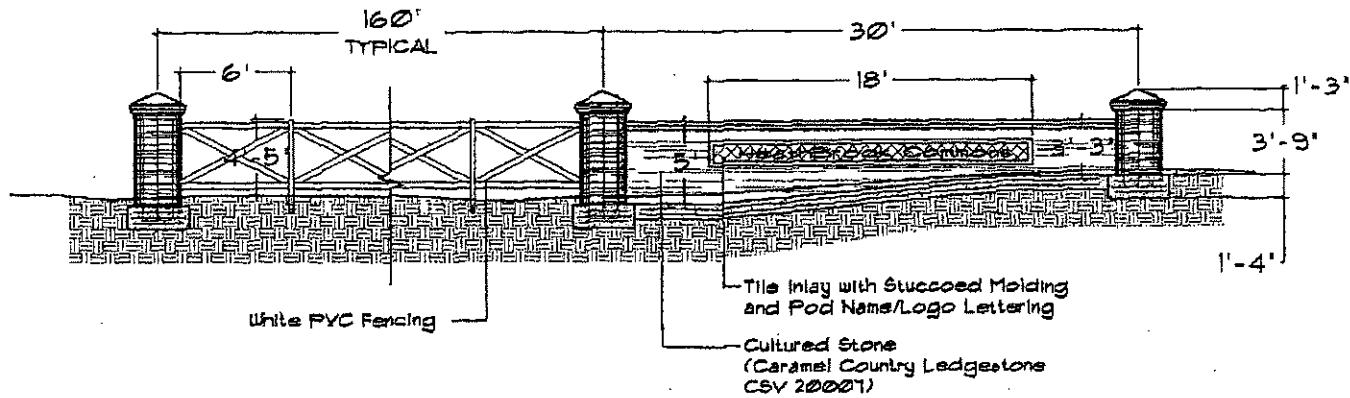
Note: Entrance Wall to be back-filled  
 and landscaped as shown

# PLANT LIST

| TREES                           |        |                                                       |                                   |                                        |
|---------------------------------|--------|-------------------------------------------------------|-----------------------------------|----------------------------------------|
| QTY                             | CODE   | COMMON NAME                                           | SCIENTIFIC NAME                   | SIZE AND SPACING                       |
| 7                               | LT     | Liquetum Tree-Type                                    | Liquetum lucidum                  | B&B, 8-10'ht x 5-6'apr                 |
| 5                               | QV     | Live Oak                                              | Quercus virginia                  | B&B, 10-12'ht x 5-6'apr, 3 1/2' cal mn |
| PALMS                           |        |                                                       |                                   |                                        |
| QTY                             | CODE   | COMMON NAME                                           | SCIENTIFIC NAME                   | SIZE AND SPACING                       |
| 9                               | CR     | Sago Palm                                             | Cycas revoluta                    | #5, 36"ht x 36"apr                     |
| 13                              | WR     | Washington Palm                                       | Washington robusta                | C.T., 3-18', 3-16', 3-14', 4-12'       |
| SHRUBS, GROUNDCOVERS, AND VINES |        |                                                       |                                   |                                        |
| QTY                             | CODE   | COMMON NAME                                           | SCIENTIFIC NAME                   | SIZE AND SPACING                       |
| 355                             | FA     | Flowering Annule                                      | Variety by Landscape Architect    | 4'pots, full, 12' oc                   |
| 56                              | IC'B   | Dwarf Globe Holly                                     | Ilex cornus 'Burfordii'           | #3, 18-24"oc, 3'oc                     |
| 504                             | L'EG   | Liriope                                               | Liriope muscari 'Evergreen Giant' | #1, full gal, 2'oc                     |
| 136                             | PA     | Plumbago                                              | Plumbago auriculata               | #3, 18-24"ht, 3' oc                    |
| 134                             | RI     | Indian Hawthorne                                      | Raphiolepis indica                | #3, 18"ht x 18"apr, 3'oc               |
| MULCH                           |        |                                                       | SOD                               |                                        |
| 58                              | CU YDS | Fine Bark Mini-Nuggets, 3' cover in all planted areas | 13,000                            | 50 FT   St. Augustine Floratan         |

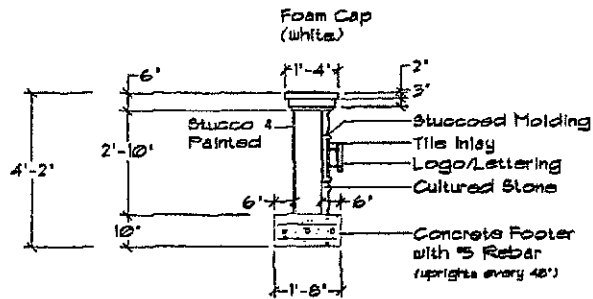
Figure 3  
SF Residential Landscape Requirements  
Wall & Fence Details

Elevation

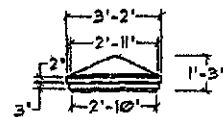
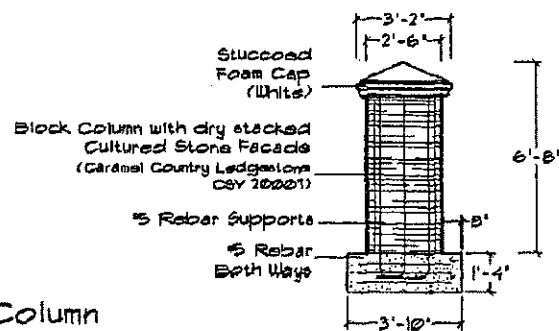


Note: Curved Wall, 30' L.F. from column centers.  
Average wall height is 3'-8"  
(minimum of 3'-3" and maximum of 5'-0")

Wall Section



Column (Typical)



Plan

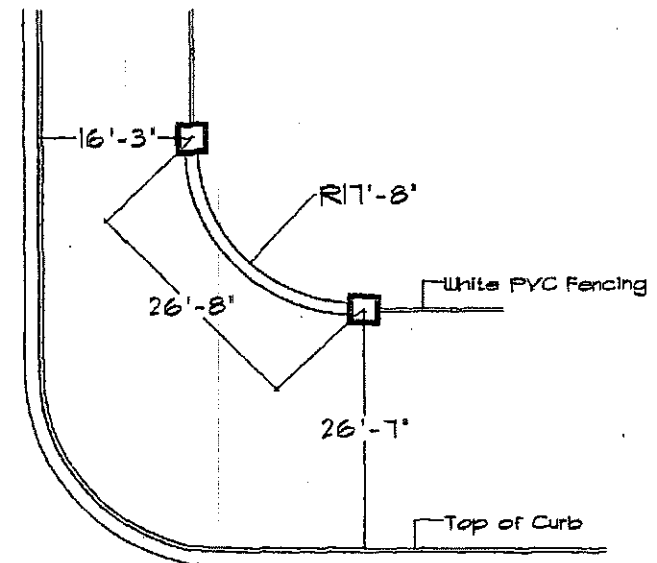
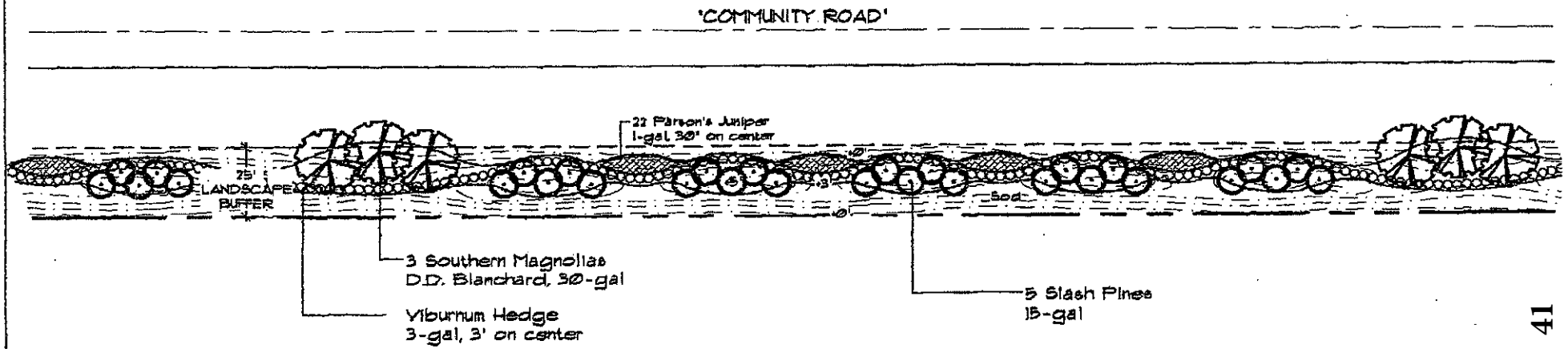
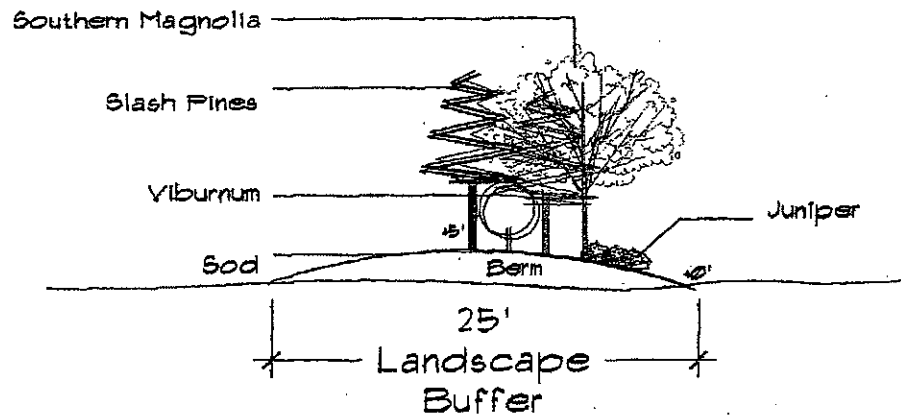


Figure 4  
SF Residential Landscaping Requirements  
Landscape Buffer

Plan



Section



## Exhibit "G"

### Approved Plant List

#### SHADE TREES

|     |                                                  |     |                                 |
|-----|--------------------------------------------------|-----|---------------------------------|
| MG  | Southern Magnolia<br><i>Magnolia grandiflora</i> | #30 | 9'ht x 4' spr;<br>1 ½ " cal min |
| QS  | Shumard Oak<br><i>Quercus laurifolia</i>         | #30 | 10-12'ht x 5'spr;<br>3" cal min |
| QU  | Laurel Oak<br><i>Quercus virginia</i>            | #30 | 9'ht x 4'spr;<br>2" cal min     |
| QV  | Live Oak<br><i>Quercus virginia</i>              | #30 | 10-12'ht x 5'spr;<br>3" cal min |
| UPD | Drake Elm<br><i>Ulmus parvifolia</i>             | #30 | 10-12'ht x 5'spr;<br>3" cal min |

#### ORNAMENTAL TREES

|      |                                                  |         |                                    |
|------|--------------------------------------------------|---------|------------------------------------|
| BN   | River Birch<br><i>Betula nigra</i>               | #30     | 10-12'ht x 4-5'spr                 |
| CF   | Florida Dogwood<br><i>Cornus Florida</i>         | #15     | 7-8'ht x 3-4'spr                   |
| IAF  | Fosteri Holly<br><i>Ilex attenuata</i>           | #30     | 10-12'ht x 3-4'spr                 |
| IOEP | East Palatka Holly<br><i>Ilex opaca</i>          | #30     | 10-12'ht;full;<br>3" cal min       |
| IVP  | Weeping Holly<br><i>Ilex vomitoria</i>           | #30     | 10-12'ht x 3-4'spr;<br>3" cal min  |
| LI   | Crape Myrtle<br><i>Lagerstroemia indica</i>      | #30     | 10-12'ht x 5-6'spr;<br>multi-trunk |
| LT   | Ligustrum Tree-Type<br><i>Ligustrum lucidum</i>  | B&B     | 8-10'ht x 6-7'spr                  |
| MS   | Japanese Magnolia<br><i>Magnolia soulangiana</i> | B&B/#30 | 8-10'ht x 4-5'spr                  |
| PC   | Bradford Pear<br><i>Pyrus calleryana</i>         | B&B/#30 | 10'-12'x 5-6'spr                   |

## Exhibit "G"

### PALMS

|    |                                              |     |                           |
|----|----------------------------------------------|-----|---------------------------|
| BC | Pindo Palm<br><i>Butia capitata</i>          | B&B | clear trunk;<br>10-12' ht |
| SP | Cabbage Palm<br><i>Sabal palmeto</i>         | B&B |                           |
| WR | Washington Palm<br><i>Washington robusta</i> | B&B |                           |

### SCREEN PLANTS

|    |                                                          |     |                                         |
|----|----------------------------------------------------------|-----|-----------------------------------------|
| ID | Dwarf Delcambre Holly<br><i>Ilex cornuta 'Delcambre'</i> | #3  | 18-24"oa;<br>2'-6'oc                    |
| IP | Florida Anise<br><i>Illicium parviflorum</i>             | #3  | 24"-30"oa;<br>3'oc                      |
| JV | Red Cedar<br><i>Juniperus virginia</i>                   | B&B | 6-8'ht; full                            |
| LJ | Ligustrum Hedge<br><i>Ligustrum japonica</i>             | #3  | 18-24"ht<br>18-24"spr                   |
| MC | Wax Myrtle<br><i>Myrica cerifera</i>                     | #15 | 5- 6'ht x 3-4'spr;<br>multi-trunk; full |
| MG | Southern Magnolia<br><i>Magnolia grandiflora</i>         | #30 | 9'ht x 4' spr;<br>1 ½ " cal min         |
| PE | Slash Pine<br><i>Pinus elliottii</i>                     | #30 | 10'12'htx 4-5'spr                       |
| PM | Podocarpus<br><i>Podocarpus macrophyllus</i>             | #15 | 5-6'ht x<br>18-24"spr                   |
| VO | Sweet Viburnum<br><i>Viburnum odoratissimim</i>          | #3  | 18-24"ht x<br>18-24"spr                 |

### RETENTION POND PLANTS

|    |                                    |     |                    |
|----|------------------------------------|-----|--------------------|
| AR | Red Maple<br><i>Acer rubrum</i>    | #30 | 8-10ht x 4'spr     |
| BN | River Birch<br><i>Betula nigra</i> | #30 | 10-12'ht x 4-5'spr |
| TD | Bald Cypress                       | #30 | 10-12'ht x 6-8'spr |

## Exhibit "G"

### *Taxodium distichum*

#### ACCENT PLANTS

|     |                                                     |    |                            |
|-----|-----------------------------------------------------|----|----------------------------|
| CJA | Camellia<br><i>Camellia japonica</i>                | #3 | 18-24"ht x<br>12-18"spr    |
| CSQ | Sasanqua Camellia<br><i>Camellia sasanqua</i>       | #3 | 18-24" ht x<br>12'-18" spr |
| CA  | Crinum Lily<br><i>Crinum asiaticum</i>              | #7 | 30-36"ht x<br>30-36"spr    |
| CH  | European Fan Palm<br><i>Chamaerops humilis</i>      | #7 | 3'ht x 3'spr;<br>triple    |
| CR  | Sago Palm<br><i>Cycas revoluta</i>                  | #7 | 30"ht x 30"spr             |
| FJ  | Japanese Fatsia<br><i>Fatsia japonica</i>           | #3 | 24-30"ht x 30" spr         |
| HM  | French Hydrangea<br><i>Hydrangea macrophylla</i>    | #3 | 24-30"ht x 18" spr         |
| LC  | Dwarf Gold Lantana<br><i>Lantana camara</i>         | #1 | full gal                   |
| ND  | Heavenly Bamboo<br><i>Nandina domestica</i>         | #7 | 36-40'ht<br>8-10canes      |
| PS  | Philodendron<br><i>Philodendron selloum</i>         | #3 | 36"ht x 36" spr            |
| RE  | Firecracker Plant<br><i>Russelia equisetiformis</i> | #3 | 30-36"; 3' oc              |
| RP  | Raphis Palm<br><i>Raphis excelsa</i>                | #7 | 4'ht x 2-3'spr             |
| ST  | Spirea<br><i>Spirea thunbergii</i>                  | #3 | 18-24" oa<br>3'oc          |
| TF  | Windmill Palm<br><i>Trachycarpus fortunei</i>       | #7 | 3'ht x 3'spr               |

## Exhibit "G"

| SHRUBS |                                                              |    |                         |
|--------|--------------------------------------------------------------|----|-------------------------|
| BMJ    | Japanese Boxwood<br><i>Buxus microphylla</i>                 | #3 | 15-18"ht x<br>15-18"spr |
| ICB    | Dwarf Globe Holly<br><i>Ilex cornuta</i>                     | #3 | 18-24"oa;<br>2'-6'oc    |
| IVN    | Dwarf Yaupon<br><i>Ilex vomitoria</i>                        | #3 | 18-24"oa;<br>3'oc       |
| PA     | Plumbago<br><i>Plumbago auriculata</i>                       | #3 | 18"-24"                 |
| PT     | Pittosporum<br><i>Pittosporum tobira</i>                     | #3 | 18-24"ht x<br>18-24"spr |
| RDR    | Azalea 'Duc de Rohan'<br><i>Rhododendron obtusum</i>         | #3 | 18-24"oa<br>3'oc        |
| RG     | Azalea 'GG Gerbing<br><i>Rhododendron simsii</i>             | #3 | 18-24"oa;<br>4'oc       |
| RGT    | Azalea 'George Tabor'<br><i>Rhododendron simsii</i>          | #3 | 24-30"ht x<br>24-30"spr |
| RSC    | Azalea<br><i>Rhododendron simsii</i><br>'Southern Charm'     | #3 | 24-30"ht x<br>24-30"spr |
| RI     | Indian Hawthorne<br><i>Raphiolepis indica</i>                | #3 | 18"ht x 18" spr         |
| ROF    | Dwarf Azalea<br><i>Rhododendron obtusum</i><br>'Fashion'     | #3 | 18-24"ht x 20" spr      |
| RRR    | Dwarf Azalea<br><i>Rhododendron obtusum</i><br>'Red Ruffles' | #3 | 18-24"oa                |
| ZF     | Coontie<br><i>Zamia floridana</i>                            | #3 | 24"ht x 24" spr         |

## Exhibit "G"

### GROUNDCOVERS

|     |                                                     |        |                        |
|-----|-----------------------------------------------------|--------|------------------------|
| AA  | Lily of the Nile<br><i>Agapanthus africanus</i>     | #1     | full gal               |
| AE  | Cast Iron Plant<br><i>Aspidistra elatior</i>        | #1     | full gal<br>5-7leaves  |
| FA  | Flowering Annuals                                   | 4"pots | full                   |
| HC  | Algerian Ivy<br><i>Hedera helix</i>                 | 4"pots | full gal<br>2-3runners |
| HF  | Holly Fern<br><i>Cyrtomium falcatum</i>             | #1     | full                   |
| HS  | Daylily<br><i>Hemerocallis spp.</i>                 | #1     | full gal               |
| JP  | Parson's Juniper<br><i>Juniperus parsonii</i>       | #1     | full gal<br>14"-16"sp  |
| LEG | Liriope 'Evergreen Giant'<br><i>Liriope muscari</i> | #1     | full; 2'oc             |
| MI  | African Iris<br><i>Moraea iridioides</i>            | #1     | full gal               |
| NE  | Boston Fern<br><u><i>Nephrolepis exalta</i></u>     | #1     | full gal               |
| OJ  | Mondo Grass<br><i>Ophiopogon japonicus</i>          | 4"pots | full quart             |
| TA  | Dwarf Jasmine<br><i>Trachelospermum asiaticum</i>   | #1     | full gal               |

  
**THE KEYS**  
AT OCALA II

