



Ocala Downtown Ocala Redevelopment Advisory Committee Agenda - Final Wednesday, December 17, 2025

Meeting Information

Location

Ocala City Hall
110 SE Watula Avenue
Second Floor - Council Chambers
Ocala, Florida

<https://www.ocalafl.gov/meetings>

Time

10:00 AM

Committee Members

Kendall Drake
Summer Gill
Don Gulling
Brad Harper
Dr. Rhella Murdaugh
Ted Schatt
TaMara York

Staff

Roberto Ellis, Staff Liaison
Economic Development Manager
Growth Management Department

Jeff Shrum, AICP
Director
Growth Management Department

Aubrey Hale
Planning Director
Growth Management Department

Yiovanni Santiago
Committee Secretary

WELCOME!

All members of the public are invited to attend. If reasonable accommodations are needed for you to participate in this meeting, please call 629-8287 forty-eight (48) hours in advance so that arrangements can be made.

APPEALS

Any person who desires to appeal any decision at this meeting will need a record of the proceedings and for this purpose may need to ensure that a verbatim record of the proceedings is made that includes the testimony and evidence upon which the appeal is made.

1. Call To Order
 - a. Roll Call

2. Public Notice

The public notice for the Downtown Ocala CRA Advisory Committee was posted on December 8, 2025.

3. Approval of Minutes

- a. [October 28, 2025](#)

4. Grants/Applications

- a. [Commercial Building Improvement Grant for property located at 40 S. Magnolia Avenue, in an amount not to exceed \\$50,000](#)

Presentation By: Roberto Ellis

5. Project Updates
6. Other Business
7. Public Comments
8. Staff Comments
9. Board Comments
10. Next Meeting Date: February 24, 2026
11. Adjournment



Ocala

Legislation Text

110 SE Watula Avenue
Ocala, FL 34471

www.ocalafl.gov

File #: 2026-0466

Agenda Item #: a.

Submitted By: Economic Development Manager, Roberto Ellis

Department: Growth Management

Downtown Ocala CRA Advisory Committee

October 28, 2025



Ocala

110 SE Watula Avenue
Ocala, FL 34471

www.ocalafl.gov

Downtown Ocala Redevelopment Advisory Committee

Minutes

Tuesday, October 28, 2025

10:00 AM

1. Call To Order

a. Roll Call

Present Vice Chair Rhella Murdaugh, Kendall Drake, TaMara York,
Chairman Ted Schatt, and Brad Harper

Excused Summer Gill

2. Public Notice

The public notice for the East Ocala CRA Advisory Committee was published on October 13, 2025.

3. Approval of Minutes

August 26, 2025

Attachments: [Downtown Ocala CRA 8.26.25 - Minutes DRAFT](#)

RESULT: APPROVED

MOVER: Kendall Drake

SECONDER: Rhella Murdaugh

4. Grants/Applications

None

5. Project Updates

Eric Smith, Senior Transportation Project Administrator for Growth Management, provided a brief update on key projects. The Downtown Parking Garage is progressing well with infrastructure largely complete and vertical construction expected soon. The 800-space garage has an \$18.5 million budget and is scheduled for completion in July 2026.

The Brick City Lofts project on SE 1st Ave includes 22 residential units along with sidewalk, streetscape. A temporary construction easement was secured to allow work to begin while the final agreement moves toward City Council.

Several projects are in design, including a small pocket park next to the Marion Theatre that will convert an unused parking area into a public space with landscaping, seating, and a walking path. Parking Lot 7 is also nearing final design for resurfacing, improved striping, and a new compactor area. In addition, the City is redesigning and replacing lighting on 1st Ave after

inspections found aging and unsafe poles.

Intersection improvement, plans were briefly discussed and noted as temporarily delayed. While the City still intends to move forward and funding remains available, the project has been placed on a backburner due to Florida Department of Transportation (FDOT) concerns about changes to intersection colors and the need for greater standardization. The City is waiting for clarification on what will be permitted before proceeding. The project is still planned for the future but does not currently have a confirmed timeline.

An update was provided on Downtown lighting improvements. After receiving concerns about poor lighting at night, staff conducted a nighttime review and found that more than half of the Downtown lights were not functioning. Those lights have since been replaced, resulting in a noticeably brighter Downtown area.

Several projects currently in progress were reviewed. The Water Tank Mural has been well received and the next phase will include lighting and signage. Plans call for 32 color-changing LED fixtures around the base of the tower, along with a new electrical panel. Staff are also exploring adding sidewalks and limited seating to improve pedestrian connectivity to the nearby market, while being mindful of space constraints near the school.

The East Ocala Skate Park project, with a budget of \$973,000, has resumed after contractor issues and is now back on track. Site clearing is underway, and the anticipated opening is around February 1, pending no further delays.

Lastly, a proposed historic marker at the corner of Osceola Ave and State Road 40 was discussed. The marker would recognize Tom Petty's childhood visit to Ocala and his meeting with Elvis Presley during the filming of *Follow Your Dreams*, an event he credited with inspiring his music career. The sign is currently under review by Ocala Historic Preservation Advisory Board (OHPAB) and is scheduled for consideration on November 6.

6. Other Business

None

7. Public Comments

Jessica Fieldhouse, Executive Director of Ocala Main Street, supported the Marion Theatre pocket park concept and suggested revisiting earlier ideas for activating the space, such as a vendor or open bar associated with the theatre. She recommended considering a mixed-use approach to enhance the area's use.

8. Staff Comments

Economic Development Manager Roberto Ellis , reported that the CRA Board will meet on November 4 to review the proposed Hotel Marion redevelopment agreement. The project involves an estimated \$28 million private investment, with a request for up to 10% in City incentives through CRA grants, TIF funding, parking assistance, and roadway improvements along North Magnolia Ave. The estimated payback period for the City’s investment is approximately five years. The Board will also vote to fill one vacant CRA Board position from four applicants.

A public safety meeting related to the 2023 Safe Streets for all grant will be held on November 5 at the IHMC building. The meeting will address pedestrian safety, speed management, traffic calming, and the local road safety plan.

In December, staff plans to consider extending the dates of the Downtown, North Magnolia, West Ocala, and East Ocala CRAs. The Downtown CRA currently has 13 years remaining and could be extended to 2048. December will also begin CRA budget and CIP planning discussions.

9. Board Comments

A board member raised concerns about Downtown parking and pedestrian safety, noting issues with meters, restricted valet spaces, accessibility, and unclear crosswalk right-of-way near Ivy House. Staff noted a Downtown shuttle is in progress, operating on a limited 15-minute loop, with plans to expand service next year.

10. Next Meeting Date: December 18, 2025

11. Adjournment

The meeting adjourned at 10:41 a.m.



Ocala

110 SE Watula Avenue
Ocala, FL 34471

www.ocalafl.gov

Legislation Text

File #: 2026-0450

Agenda Item #: a.

Submitted By: Roberto Ellis

Presentation By: Roberto Ellis

Department: Growth Management

STAFF RECOMMENDATION (Motion Ready):

Commercial Building Improvement Grant for property located at 40 S. Magnolia Avenue, in an amount not to exceed \$50,000

BACKGROUND:

The intent of the Commercial Building Improvement Grant program is to encourage private investment into commercial properties in the Downtown Ocala Community Redevelopment Area (CRA). The program addresses key statutorily defined blight conditions that currently exist in the CRA including vacant or underutilized commercial space, obsolete or substandard interior spaces, inadequate life safety and/or accessibility provisions, and deteriorating or inappropriate facades.

- In February 2022, the grant was revised to target applications that undertake a comprehensive restoration project in the Downtown; applicants are now required to submit multiple work elements to qualify for a grant.
- In December 2023, the maximum grant was increased to offset the rising cost of construction and to encourage more business owners to invest in their property. Currently, the maximum annual grant available per applicant is \$50,000 and requires an applicant match of at least 50 percent of the project cost.

Grant Application ID #: CRA25-0052

Applicant: EZ Wellness LLC / Haagen-Dazs

Representative: Jamie Zimbleman

Address: 40 S. Magnolia Ave

Parcel ID: 2853-046-201

Project Description: Full interior buildout of a vacant space into a Haagen-Dazs Ice Cream Shop franchise.

High Quote: \$516,606

Low Quote: \$447,371

Recommended Grant Amount: \$50,000

FINDINGS AND CONCLUSIONS:

- The proposed project aligns with the intent of the grant and the program guidelines. The applicant will occupy a vacant space and conduct a full renovation in the heart of Downtown Ocala.

- The tenant holds a long-term lease ending in 2036, with the possibility of further extensions. This contributes to a stable economic environment downtown.
- The proposed improvements will be subject to building permit approval. The plans outline a full buildout of the interior to align with the layout and design of the Häagen-Dazs franchise model. The total interior gross leased area is 1,300 square feet.
 - Construction of the store will consist of complete tenant improvement work, including all required partitions, ceilings, floors, electrical, and mechanical systems within the landlord’s leased space. Some specialty finish materials will be furnished by the tenant and installed by the contractor.
- The project is being funded by the tenant. While the high cost of construction presents a challenge, the grant request will help offset these expenses and increase the feasibility of the project.
 - To qualify for the maximum grant amount, a minimum project cost of \$100,000 is required. The proposed investment costs far exceed this threshold.
- Per the Downtown Ocala Master Plan (2004), Downtown is a hub for retail, commercial and entertainment activities. These one-of-a-kind retail and entertainment opportunities must be maintained and enhanced to ensure an active, lively city center.
- The Grant Review Site Visit was held on Friday, December 5, 2025. Ms. Tamara York represented the Advisory Committee at this visit. Also present were two members of staff, and the applicant’s representative, Jamie Zimbleman.

FISCAL IMPACT:

The grant will be paid out of the grant account 621-016-012-559-55-82010, in the fiscal year when project is completed.

PROCUREMENT REVIEW:

N/A

LEGAL REVIEW:

N/A

ALTERNATIVE:

- Approve
- Approve with Changes
- Table
- Deny

CRA25-0052 - 40 S MAGNOLIA AVE ALL UNITS

SUMMARY REPORT

Parcel Id: 2853-046-201
Parcel Address: 40 S MAGNOLIA AVE ALL UNITS, OCALA, FL 34471

BUSINESS PROFILE

Business Name: Z Wellness LLC - Hagen- Dazs Franchise
Location: Ocala, Florida
Years in Business: No information entered
Relationship to City: New Business Establishment

FUNDING REQUEST

Description: Reimbursement
Eligible Cost Total: \$447,371.00
Total Estimated Project Cost: \$447,371.00
Total Funding Requested: \$50,000.00
Funding Requested Ratio: 8.95

PROJECT DETAILS

Project Name: CRA25-0052 - 40 S MAGNOLIA AVE ALL UNITS
Description: Convert a dated retail space into a code-compliant, modern cafe. Improvements include full interior buildout, new utilities, finishes and signage. These upgrades will attract visitors and support ongoing downtown revitalization.
Applicant Type: Business Tenant
Applicant Name: Jamie Zimbleman

PROJECT TIMELINE

- Completion Date**
01 Nov 2026
- Start Date**
20 Jan 2026
- CRA Board Decision**
20 Jan 2026
- Advisory Committee Review**
17 Dec 2025
- Application Started**
11 Dec 2025

(f)

**CITY OF OCALA DOWNTOWN REDEVELOPMENT AREA
COMMERCIAL BUILDING IMPROVEMENT GRANT
APPLICATION**

(Completed application and all required attachments must be submitted)

PROJECT INFORMATION

Business / Project Name: Z Wellness LLC, Haagen Dazs
Project Address: 40 S Magnolia Ave, Ocala, FL 34471
Parcel Number: 2853-046-201

APPLICANT INFORMATION

Applicant's Name: Jamie Zimbleman

Name of person to receive all correspondence if different from applicant:

Applicant's Business Name (if applicable): Z Wellness LLC - Haagen-Dazs Franchise

Type of business: Ice Cream Shop

Applicant's Mailing Address: 7256 SW 63rd St

City: Ocala State: FL Zip: 34474

Phone number: 352-207-8242 Fax: _____

E-mail address: JamieZimbleman@gmail.com

Applicant is the _____ Property Owner Business Owner/Tenant

How long has the business been at the current location? It's about to go under construction

If renter, when does your current lease expire? 2036

PROPERTY OWNER INFORMATION (if different from applicant)

Property Owner's Name: 40 Magnolia, LLC
Property Owner's Business Name (if applicable): _____
Property Owner's Mailing Address: 116 SE Broadway St
City: Ocala State: FL Zip: 34471
Phone number: 352-732-5255 Fax: _____
E-mail address: Kirk@ocaladevelopment.com

PROJECT DESCRIPTION:

If necessary, attach additional sheets addressing the following

Describe the existing or proposed business.

Häagen-Dazs Downtown Ocala will be a premium ice cream and dessert cafe serving handcrafted ice cream, milkshakes, and espresso drinks. The shop will have a modern design standards while adding to

Explain the purpose of and need for the proposed improvements.

The project will convert a dated retail space into a code-compliant, modern cafe. Improvements include full interior buildout, new utilities, finishes, and signage. These upgrades will attract visitors and support ongoing downtown revitalization

Would the proposed improvements be made without the assistance of the grant program? If not, please explain.

Without the grant, the project might hurt the success of the shop due to high buildout costs. Support will make it possible to complete full interior upgrades, open on schedule, and maximize impact.

Number and types of jobs being created. 12-15 part time, 3-4 full time

What will be the business hours of operation? 12:00pm - 10:00pm Sun-Sat

For projects with residential component - number and types of units being created. N/A

PROJECT COSTS & SCHEDULE

Cost of project based on attached submitted low bid(s). _____

Required – Attach itemized bid sheets from at least two (2) contractors

Anticipated start date: _____

Anticipated completion date: _____

GENERAL CONDITIONS

It is expressly understood and agreed that the applicant shall be solely responsible for all safety conditions and compliance with all safety regulations, building codes, ordinances, and other applicable regulations.

It is expressly understood and agreed that the applicant will not seek to hold the City of Ocala, the Grant Review Committee (Committee) and/or its agents, employees, board members, officers and/or directors liable for any property damage, personal injury, or other loss relating in any way to the Program.

It is expressly understood and agreed that the applicant will hold harmless the City, its agents, officers, employees and attorneys for all costs incurred in additional investigation or study of, or for supplementing, redrafting, revising, or amending any document (such as an Environmental Impact Report, specific plan, or general plan amendment) if made necessary by said proceeding and if the applicant desires to pursue such approvals and/or clearances, after initiation of the proceeding, which are conditioned on the approval of these documents.

The applicant authorizes the City of Ocala to promote any approved project including but not limited to displaying a sign at the site, during and after construction, and using photographs and descriptions of the project in City of Ocala materials and press releases.

If the applicant fails to perform the work approved by the Committee, the City reserves the right to cancel the grant. The applicant also understands that any work started/completed before the application is approved by the Committee is done at their own risk, and that such work will jeopardize their grant award.

Completion of this application by the applicant DOES NOT guarantee that grant monies will be awarded to the applicant.

Applicant

I, Jamie Zimbleman, business owner/tenant of the building at 40 S Magnolia Ave, have read and understand the terms and conditions of the Program and agree to the general conditions and terms outlined in the application process and guidelines of the Program.

Signature Jamie Zimbleman Date _____

Owner Approval for Tenant Applicant

I, Kirk Boone, owner of the building at 40 S Magnolia Ave, have read and understand the terms and conditions of the Program and agree to the general conditions and terms outlined in the application process and guidelines of the Program. I give my consent to the applicant to move forward with improvements on the building as outlined in the Scope of Work section of this application.

Signature Kirk Boone Date 10/14/25

Property Information – For staff use only

- Is the property assessed Marion County property taxes? Y / N
- Are property taxes paid up to date? Y / N
- Is the property in condemnation or receivership? Y / N
- Is there an active City code enforcement case on the property? Y / N
- Is the building on the National Register of Historic Places Y / N

DOWNTOWN COMMERCIAL BUILDING IMPROVEMENT GRANT

GRANT PROGRAM SUMMARY

12/19/23

Eligible Area	Downtown CRA (CRA) See Map.
Eligible Businesses	New & existing businesses; Retail, office. Residential on upper floors. Places of worship and residential rental properties are not considered as commercial buildings or businesses for the purpose of this grant.
Eligible Applicant	Property owner or business owner
Eligible Buildings	Existing buildings only; not for new construction (new construction included in another grant program)
Eligible Property Type	Taxable & non-taxable properties; taxable properties are priority.
Ineligible Properties	Tax delinquent property; property in litigation; property in condemnation or receivership; property or tenants with outstanding financial obligations to City require City Council approval.

Eligible work

The program includes both façade work and interior renovations.

I. FACADES

For facades, the intent of this grant is to target projects that undertake a comprehensive restoration of facades that were inappropriately altered and /or renovations that make the building more in compliance with form-based code design and development requirements.

Examples of work items that would be eligible and those that would not be eligible

- Painting – only as a component of major restoration or renovation project. Painting and repair of façade alone is a routine maintenance item and would **not be eligible** for a grant.
- Canvas Awnings – new or replacement **are not eligible** in any type of project.
- Metal Awnings – are eligible in any type of project.
- Doors and/or Windows - only as a component of major restoration or renovation project **not as a stand-alone item**.
- Signage – **not as a single item** and only as a component of major restoration or renovation project and must be consistent with Form Based Code – Marquee signs preferred

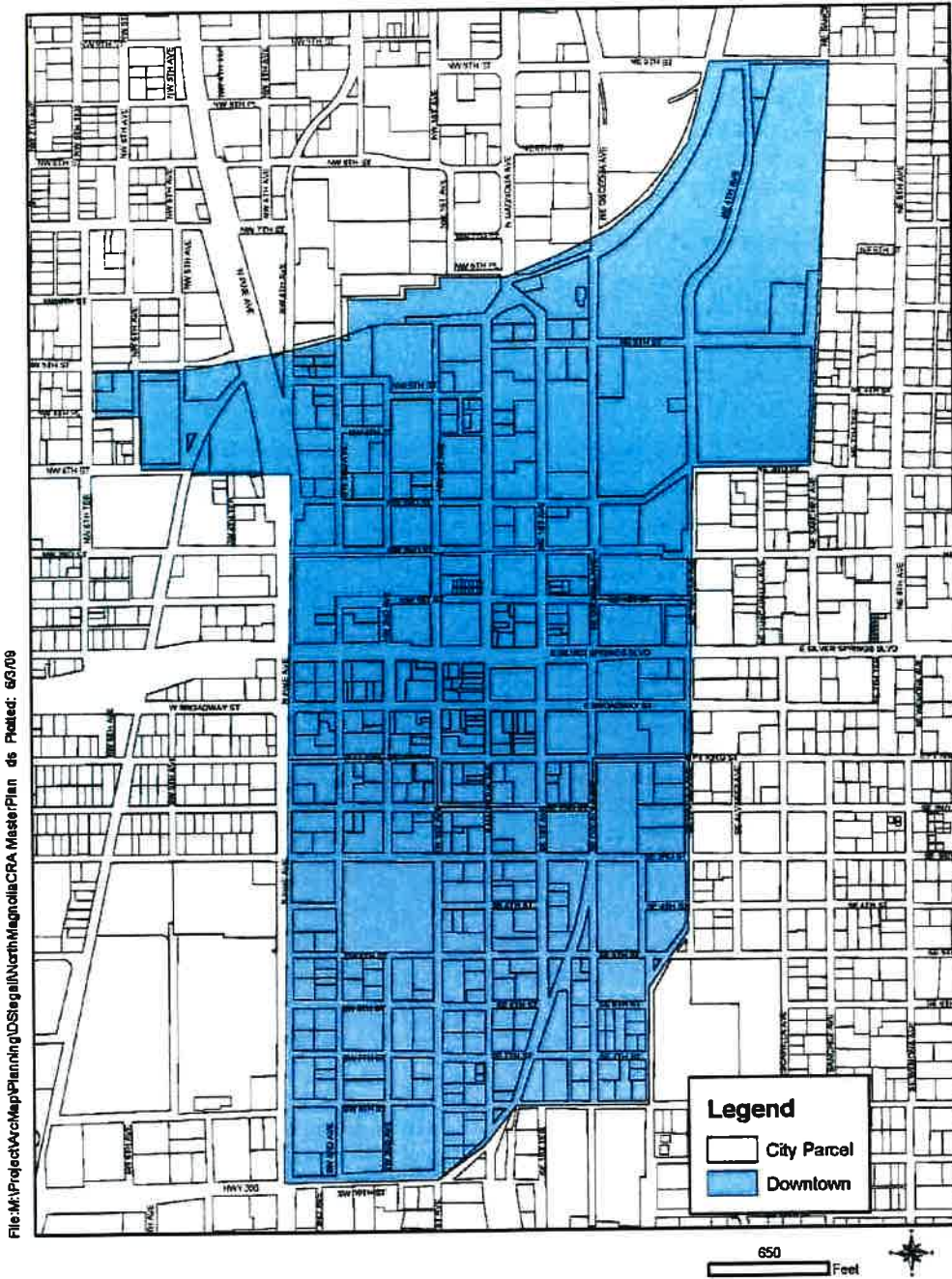
II. INTERIOR REOVATIONS

For interior renovations, the intent of this grant is to target projects that involve comprehensive renovation, such as new tenant build-out of vacant space. These projects would typically involve changes to these building components

- Structural
- Improvements to meet Building & Fire Codes for Accessibility, Fire Protection and Life Safety
- HVAC, plumbing, electric

<ul style="list-style-type: none"> ○ Conversion of upper floor space to residential <p>Examples of individual work items that would not be eligible single purpose projects</p> <ul style="list-style-type: none"> ○ Cosmetic, material change outs – flooring, ceiling ○ Fixtures, furniture, equipment 	
Ineligible work	<p>Grant cannot be used to correct outstanding code violations in active code enforcement cases;</p> <p>Routine maintenance procedures, such as painting or minor repairs to existing materials alone, are not eligible; for a grant, but may be a component of a larger project.</p> <p>Only work begun after approval by the Ocala CRA (CRA) will be eligible for a grant. Work in progress or performed before approval will not be eligible.</p>
Other Ineligible Work	Reroofing; parking lot work.
Maximum Grant	\$50,000
Required Match	1:1; 50% - 50%
Design Guidelines	Subject to Downtown Form Based Code
Ineligible Businesses	<p>The following business do not fit the vision for downtown and as such are not eligible for either grant.</p> <ul style="list-style-type: none"> ● Adult Oriented Businesses ● Tattoo Parlors/Shops ● Beauty Salons/Nail Shops on first floor ● Bail / Bonds ● Drug or Alcohol Treatment Facility ● Check Cashing Service ● Pawn Shops ● Used Clothing Consignment or Other Used Merchandise ● Auto Oriented Businesses – Auto repair & services; gas stations ● Dollar or Discount Stores ● Electronic or Vapor Cigarette Store

Downtown CRA



File M:\Project\ArcMap\Planning\GIS\Map\NorthMagnoliaCRA MasterPlan ds Plotted: 6/3/09

Prepare by: City of Ocala Department of Planning & Development

- Trimark -



*Haagen Dazs Ocala Proposal
November 17, 2025*

PREPARED FOR:
Jamie Zimbleman

HAAGEN-DAZS
1001 Lake Shore Dr
The Villages, FL 32162

PREPARED BY:
Greg McLean

LEE WOODS CONSTRUCTION OF FLORIDA, INC.
2468 HWY 27/441 STE 505
Fruitland Park, FL 34731



**Lee Woods Construction of
Florida, Inc.**
2468 HWY 27/441 STE 505
Fruitland Park, FL 34731

Haagen-Dazs
1001 Lake Shore Dr
The Villages, FL 32162

Dear Jamie Zimbleman,

We appreciate the opportunity to provide a bid for the Haagen Dazs OCALA project, located at 40 South Magnolia Avenue Ocala, FL 34471.

Please note that this price is based on the following Contract Documents provided (Drawings, Addenda, Photos, from the Plan Room), dated 10/09/2025, field observations of the space, and the attached scope of work.

Please do not hesitate to call if you have questions while reviewing this Bid Proposal.

Sincerely,

Greg McLean
Lee Woods Construction of Florida, Inc.
Estimator



Lee Woods Construction of Florida, Inc.
2468 HWY 27/441 STE 505 Fruitland Park, FL 34731

Phone #: (352) 314-9767

Fax #: (352) 315-0767

Expanded Division Report

Haagen Dazs OCALA
40 South Magnolia Avenue
Ocala, FL 34471

Printed: 11/17/2025

Description	Total
01 General Conditions	\$59,125.00
02 Site Work	\$12,155.00
03 Concrete	\$3,850.00
05 Steel	\$24,297.91
06 Carpentry	\$54,585.30
07 Moisture & Thermal Protection	\$2,805.00
08 Doors, Windows & Glass	\$14,775.76
09 Finishes	\$94,814.50
10 Specialities	\$4,977.50
11 Equipment	\$40,509.70
15 Mechanical	\$87,560.00
16 Electrical	\$47,916.00
Total	\$447,371.67
Cost/Sq. Foot	\$0.00



Lee Woods Construction of Florida, Inc.
2468 HWY 27/441 STE 505 Fruitland Park, FL 34731

Phone #: (352) 314-9767

Fax #: (352) 315-0767

Exclusions & Qualifications

Haagen Dazs OCALA
40 South Magnolia Avenue
Ocala, FL 34471

Printed: 11/17/2025

- All equipment on EQ spreadsheet by owner
 - Walk in Cooler now included
 - Connections to equipment included as per plans
- Vinyl Wall covering by others
 - GC to provide level 5 finish on new drywall
- Signs by owner
 - All signage provided and installed by owner with the following exceptions
 - ADA restroom signage.

SCOPE OF WORK

Haagen Dazs OCALA
40 South Magnolia Avenue
Ocala, FL 34471

Printed: 11/17/2025

Detailed notes explaining our attached Bid Proposal dated on 11/17/2025.

02 Site Work

02-221.S Building Demolition

1. ° Building Demolition Per Plans
 - Wall Removal
 - Drywall Removal
 - Cut & Cap Plumbing
 - ACT & Grid Demo
 - All refuse into GC provided dumpster

02-226.S Concrete Sawing Demolition

1. 1. Demo/ Remove Extg. Concrete (Saw Cut)- trench for new utilities

03 Concrete

03-001.S Concrete

1. ° Pour Concrete at saw cut trenches

05 Steel

05-4300.S Slotted Channel Framing

1. ° Metal Framing per plans
 - Metal Partition Walls
 - Blocking & Backing
 - Bolting to existing structure where required
 - Frame for doors
 - Doors by others
 - Frame ceiling where required
 - Sheeting where required
 - Wall Type B

05-728.S Ornamental Misc

1. ° Provide and install Break Metal finishes
 - Break Metal wall base
 - Break Metal trims

06 Carpentry

06-200.S Finish Carpentry

1. ° Wood & Plastic Trim Installation
 - WC-4

06-410.S Custom Cabinet

1. 1. Scope shall be according to plans and specifications, including but not limited to;
 1. Provide cabinet shop drawings
 2. Provide and install cabinets
 3. Provide and install countertops
 4. Provide coordination with other subcontractors to provide fully functioning systems
2. The following is NOT INCLUDED in scope;
 1. Blocking
 2. Any plumbing or electrical that are run in cabinetry

06-650.S Plastic Trims

1. ° Purchase of plastic trims
 - WC-4 material only

07 Moisture & Thermal Protection

07-401.S Roofing

1. ° Roof Penetration repairs

08 Doors, Windows & Glass

08-001.S Doors/Frames & Hardware

1. 1. Scope shall be according to plans and specifications, including but not limited to;
 1. Provide and install hollow metal door frames
 2. Provide and install hollow metal door (if applicable per plan and specifications)
 3. Provide and install wood doors
 4. Provide and install door hardware

09 Finishes

09-100.S Drywall

1. 1. Supply all labor and materials to perform the drywall - per plans and specifications
 - ° Provide and install drywall
 - ° Provide and install drywall taping
 - ° Provide and install drywall finish

09-510.S Acoustical Ceiling

1. 1. Scope shall be according to plans and specifications, including but not limited to.
 - ° Provide and install Acoustical Ceiling Grid
 - ° Provide and install Acoustical Ceiling Tile

09-600.S Flooring

1. 1. Scope shall be according to plans and specifications, including but not limited to;
 1. Provide and install Floor Tile
 2. Provide and install Wall Tile
 3. Provide and install Quarry Tile

09-720.S Wallcoverings

1. ° Provide and install Wallpaper
 - WC-3
 - WC-5

09-771.S FRP

1. ° Provide and install FRP

09-910.S Painting

1. 1. Scope shall be according to plans and specifications, including but not limited to;
 1. Provide and Install Interior Paint
 1. Walls &/ or Columns/ Posts:
 2. Trim:
 3. Ceilings:

10 Specialities

10-810.S Toilet Accessories

1. 1. Scope shall be according to plans and specifications, including but not limited to;
 1. Provide and install Toilet Accessories

11 Equipment

11-410.S Walk In Cooler

1. ° Provide and install walk in cooler per plans

15 Mechanical

15-400.S Plumbing

1. ° Provide and install
 - -TWO FCO ZURN FLOOR CLEANOUT
 - -THREE FS ZURN FLOOR SINK #ZN1910
 - -ONE GT GREASE TRAP #GB-50
 - -ONE LAV AMERICAN STANDARD ADA LAV #0355.012.020, WITH FAUCET #7385.050.002
 - -ONE SP SAMPLE PORT #SV10
 - -ONE WC AMERICAN STANDARD TOILET #3517A.101.020 BOWL, #4188A.104.020 TANK
 - -ONE FD ZURN FLOOR DRAIN #ZN415, WITH TRAP PRIMER
 - -ONE DWH AO SMITH WATER HEATER #DELS0, ON WALL MOUNTED SHELF
 - -TWO WCO WALL CLEANOUT
 - **KITCHEN CONNECTIONS**
 - -ONE MOP SINK
 - -ONE ICE MACHINE
 - -TWO DIPPER WELLS
 - -ONE THREE COMP SINK
 - -ONE DUMP SINK
 - -TWO HAND WASH SINKS

15-700.S HVAC

1. 1. Provide and install split system HVAC units
2. Provide and install HVAC ducting system
 1. Duct System per plans
3. Exhaust Fans
4. Controls
5. Condensate and refrigerant piping with insulation as required

16 Electrical

16-200.S Electrical

1.
 - Demo
 - Removal of electrical components as required
 - Electrical Service
 - New meter, disconnect, & panel
 - THIS DOES NOT INCLUDE ANY CONDUIT, WIRE, OR CONNECTION TO UTILITY
 - To get accurate costs, meetings must be set with utility company for design.
 - Lighting
 - Install owner provided fixtures and lamps
 - Circuits and switches per plans
 - Power
 - Outlets and circuits per plans
 - Misc equipment connections



BRIAN EHLERS
CONSTRUCTION CO., INC.

11/21/25

Jaime Zimbleman

Haagen Dazs

40 S Magnolia

Ocala Florida

Dear Mr. Zimbleman,

Please consider this letter as a proposal to complete the buildout located at 40 S Magnolia Ocala per plans created by Timothy M Lott dated 10/9/25 entitled Haagen Dazs store# 1436. CS-P500 sheets

The following items are included and shall be considered part of our scope of work. Complete buildout to certificate of occupancy as per plan.

Price for work described **\$516,606.02** (10% Deposit due at signing)

The following items are not included:

Low Voltage	Signage
Plans (Architectural)	Communications
Engineering	Wall Coverings
After Hours Work	Kitchen Equipment
Fire Sprinklers	Speakers/Music System
Fire Alarm	

Thanks for the opportunity of completing this quote. If you have any questions, feel free to contact me.

Sincerely,

Taylor Medero

Estimator

Phone 352.861.4333 • Fax 352.861.4377

Mailing Address: P.O. Box 6978, Ocala, FL 34478

Physical Address: 2801 SE 1st Ave., Suite 402, Ocala, FL 34471



PROPOSAL

Submitted To		Project	Date: 11/20/2025
Name:	Jamie Zimblemen	Name:	Haagen Dazs
Phone #:	352-237-1223	County:	Marion State: FL
Fax #:	jamiezimblemen@gmail.com	Includes:	Stated Below

We are pleased to present the following proposal for interior buildout of a Haagen Dazs at 40 South Magnolia Ave. Ocala, FL 34471. An approximately 1,300 square foot buildout per plans and specifications provided. Project No. 250219 dated 10/09/2025 by PDMS Design Group.

Base Bid: \$570,605.00

Deduct – All equipment provided by others: (\$99,015.00)

Scope of Work to include: General conditions; on-site supervision; selective demolition; concrete; metal framing; cabinetry & countertops; insulation; doors & hardware; drywall & texture; floor & wall tile; acoustic ceiling grid & tile; FRP; accessories; equipment & installation; plumbing & fixtures; electrical & fixtures.

Exclusions: Impact fees; overtime, night, & weekend work; providing equipment schedule items E11, E14, E15, E16, E20, E28, E29, E40, A23a, A24a, & A24b; vinyl applied graphics; illuminated storefront sign; pricing board; non-illuminated Haagen Dazs signs; post mounted signage; illuminated Haagen Dazs cartouche; providing 3-phase power to meter; relocation of adjacent tenant services or metering.

For the sum of: Five Hundred Seventy Thousand Six Hundred and Five Dollars. **(\$570,605.00)** with payment to be made as follows:
 Payment to be agreed upon before job commences.
 All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs, will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. This proposal subject to acceptance within thirty (30) days and is void thereafter at the option of the undersigned.

Authorized Signature _____

ACCEPTANCE OF PROPOSAL

The above prices, specifications and conditions are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

ACCEPTED:

Contractors Signature: _____

Date: _____

Owner's Signature: _____

Date: _____

Jimmy H. Cowan, Jr., CFA

Marion County Property Appraiser



501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

2025 Certified Assessment Roll

2853-046-003

[GOOGLE Street View](#)

Prime Key: 1244684

[MAP IT+](#)

[Property Information](#)

40 MAGNOLIA LLC
16 SE BROADWAY ST
OCALA FL 34471-2132

[Taxes / Assessments:](#) \$12,093.62

Map ID: 179

[Millage:](#) 1002 - OCALA

[M.S.T.U.](#)

[PC:](#) 11

Acres: .06

[More Situs](#)

Situs: 42 S MAGNOLIA AVE OCALA

[Current Property Value by Income](#)

Land Just Value	N/A
Buildings	N/A
Miscellaneous	N/A
Total Just Value	\$593,123
Total Assessed Value	\$593,123
Exemptions	\$0
Total Taxable	\$593,123

[Ex Codes:](#)

[History of Assessed Values](#)

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$73,588	\$243,060	\$465	\$593,123	\$593,123	\$0	\$593,123
2024	\$73,588	\$239,988	\$465	\$540,569	\$540,569	\$0	\$540,569
2023	\$63,076	\$253,839	\$465	\$528,972	\$528,972	\$0	\$528,972

[Property Transfer History](#)

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
7288/1160	10/2020	06 SPECIAL WARRANTY	4 V-APPRAISERS OPINION	Q	I	\$620,000
6559/0705	03/2017	09 EASEMNT	0	U	I	\$100
5977/0991	12/2013	61 FJDMNT	0	U	I	\$100
5432/1892	10/2010	05 QUIT CLAIM	7 PORTIONUND INT	U	I	\$100
3227/1273	08/2002	07 WARRANTY	7 PORTIONUND INT	U	I	\$100
2838/1948	09/2000	07 WARRANTY	2 V-SALES VERIFICATION	Q	I	\$95,000

[Property Description](#)

SEC 17 TWP 15 RGE 22
PLAT BOOK E PAGE 001
OLD SURVEY OCALA
COM 53 1/2 FT S OF NE COR BLK 46 TH S 27.7 FT TH W 105 FT TH N 27.7 FT TH

E 105 FT TO THE POB
 EXC COM AT THE NE COR OF BLK 46 TH S 00-04-21 W 53.50 FT TO THE POB TH
 S 00-04-21 W 2.67 FT TH N 89-56-16 W 105 FT TH N 00-01-24 E 2.67 FT TH
 S 89-56-16 E 105 FT TO THE POB

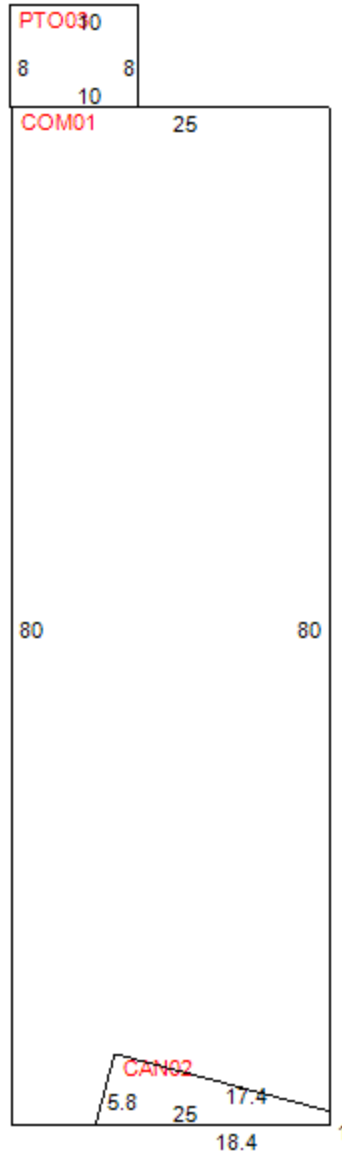
[Land Data - Warning: Verify Zoning](#)

Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
GCSF	1100	25.0	105.0	FBC	2,628.15	SF	28.0000	1.00	1.00	1.00	73,588	73,588
Neighborhood 9980											Total Land - Class \$73,588	
Mkt: 2 70											Total Land - Just \$73,588	

[Traverse](#)

Building 1 of 1

COM01=L25U80R25D80.U1
 CAN02=D1L18,4A15|5,8A105|17,4.U79L25
 PTO03=U8R10D8L10.
 MZS04=572.
 572



[Building Characteristics](#)

Structure	4 - MASONRY NO PILAST	Year Built 1886
Effective Age	7 - 30-34 YRS	Physical Deterioration 0%
Condition	3	Obsolescence: Functional 0%
Quality Grade	600 - AVERAGE	Obsolescence: Locational 0%
Inspected on	2/3/2021 by 117	Base Perimeter 210

Exterior Wall 60 COMMON BRICK24 CONC BLK-PAINT64 EXCELLENT TYPE

Section	Wall Height	Stories	Year Built	Basement %	Ground Flr Area	Interior Finish	Sprinkler	A/C
1	15.0	1.97	1886	0	2,000	M11 ONE STORY STORE	49 %	N Y
						M01 RESIDENTIAL	51 %	N Y
2	10.0	1.00	1886	0	60	CAN CANOPY-ATTACHD	100 %	N N
3	1.0	1.00	2005	0	80	PTO PATIO	100 %	N N
4	8.0	1.00	1886	0	572	MZS MEZZANINE STOR	100 %	N N

Section: 1

Elevator Shafts: 0	Aprtments: 0	Kitchens: 1	4 Fixture Baths: 1	2 Fixture Baths: 1
Elevator Landings: 0	Escalators: 0	Fireplaces: 0	3 Fixture Baths: 1	Extra Fixtures: 5

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
159 PAV CONCRETE	420.00	SF	20	2005	3	0.0	0.0
							Total Value - \$465

Appraiser Notes

HISTORIC COMMERCIAL BUILDING CONSTRUCTED CIRCA 1886

ADDRESS-42 MAGNOLIA AVE (BOTTOM FLOOR)
 IVY ON THE SQUARE CHIC BOUTIQUE.....1-2FX 2X

ADDRESS-44 MAGNOLIA AVE (TOP FLOOR)
 2 BEDROOM1-4FX 1-3FX 3X @ 1888 S.F

Planning and Building

** Permit Search **

Permit Number	Date Issued	Date Completed	Description
BLD22-2171	7/15/2022	1/11/2023	40 MAGNOLIA LLC / REROOF
BLD20-2192	11/6/2020	-	TIPSY / INTER DEMO / RENO
BLD16-1550	10/21/2016	-	DEMO LOAD WALL / ELEC & SEWER UPGRADE
OC01083	6/1/2008	-	PART WALLS, REL 2 SINKS
OC00349	12/1/2005	-	INT. RENOVATION
OC03498	12/1/2005	5/1/2006	INT. RENOVATION
OC00158	2/1/2005	5/1/2006	INT. RENO.
OC00354	3/1/2002	3/1/2003	CMRA
OC01425	8/1/1998	-	CMRA

Cost Summary

Buildings R.C.N.	\$565,256	8/8/2023				
Total Depreciation	(\$322,196)					
Bldg - Just Value	\$243,060		Bldg Nbr	RCN	Depreciation	Depreciated
Misc - Just Value	\$465	10/29/2015	1	\$565,256	(\$322,196)	\$243,060
Land - Just Value	\$73,588	5/24/2021				
Total Just Value	\$317,113	.				

CRA25-0052

Existing Conditions



View of building looking west from S. Magnolia Ave.



Existing store façade.



Vacant interior.



Vacant area to be used as office space.



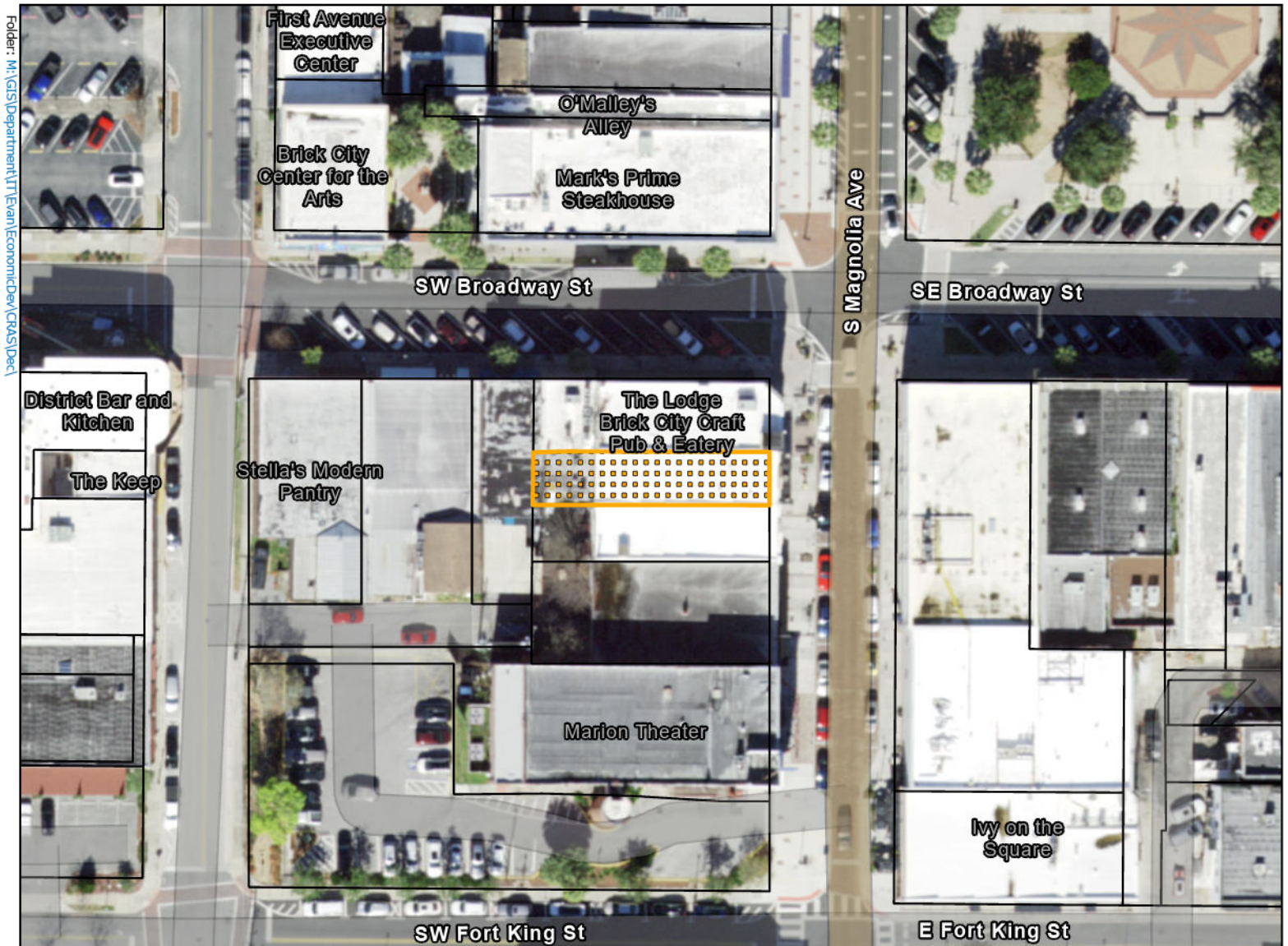
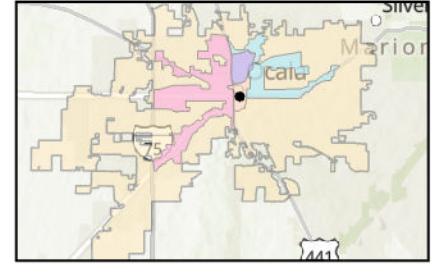
Vacant area to be used as office space.





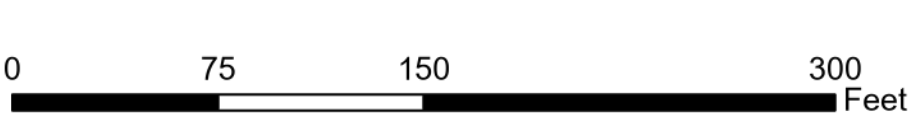
Existing salon space.

AERIAL MAP

Parcel: 2853-046-201
Case Number: CRA25-0052
Property Size: Approximately 0.06 acres
CRA Location: Downtown Ocala
Proposal: A Request for CRA fund use.

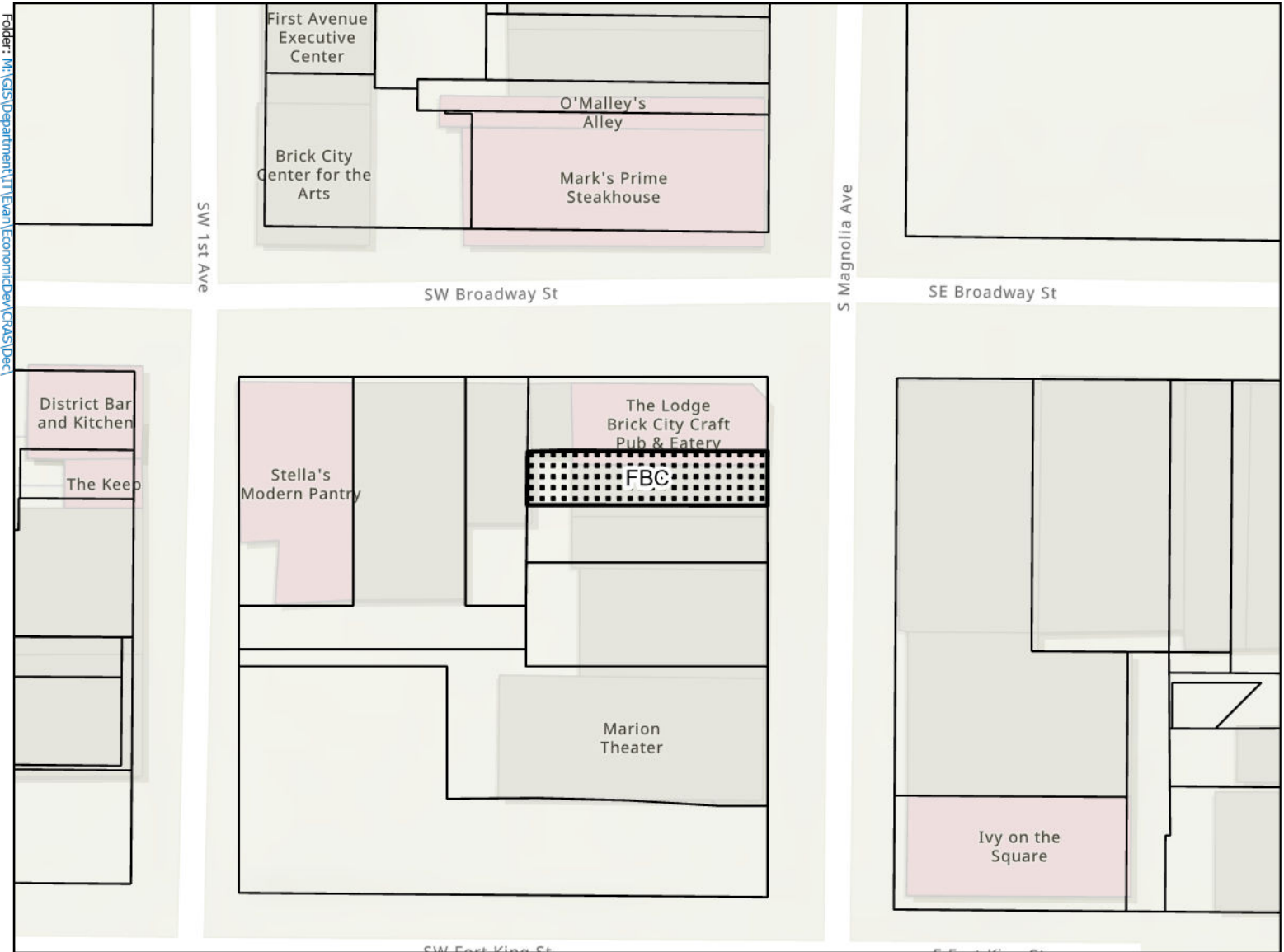
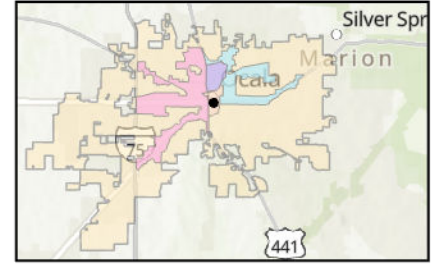





 Subject Parcel
 Parcels

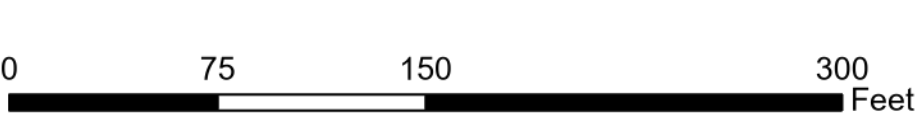


CASE MAP

Parcel: 2853-046-201
Case Number: CRA25-0052
Property Size: Approximately 0.06 acres
CRA Location: Downtown Ocala
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-  Subject Parcel
-  Parcels
-  FBC:Form Based Code



WALL TYPES
<p>A TYPICAL PARTITION (THRU CEILING): 3-5/8" 20 GA MTL STUDS AT 16" OC MAX W/ 1-LAYER 5/8" TYPE X GYP BD EACH SIDE. EXTEND STUDS TO STRUCTURE ABOVE & BRACE @ 4'-0" OC MAX. EXTEND GYP BD TO 6" MIN ABOVE CLG HT - 9/A500</p> <p>B PARTIAL HEIGHT PARTITION: 3-5/8" 16 GA METAL STUDS AT 16" OC MAX W/ 1-LAYER 5/8" MARINE GRADE FR PLYWOOD EACH SIDE. EXTEND STUDS TO 6'-0" A.F.F. EMBED 16 GA METAL STUDS WITH WALL TYPE "A" FOR SUPPORT OF WATER HEATER PLATFORM.</p> <p>C EXISTING LEASEHOLD DEMISING WALL PARTITION: 1 EXISTING LAYER 5/8" TYPE X GYP BD TO STRUCTURE ABOVE ON EXIST STUDS. G.C. TO PATCH AND REPAIR ANY DAMAGED GYP. BD. AND VERIFY TAPE AND SEAL TO STRUCTURE ABOVE TO MAINTAIN INTEGRITY OF FIRE RATED ASSEMBLY. REPAIR AS REQ'D TO MAINTAIN ASSEMBLY</p> <p>D MENU BOARD WALL: 4" 20 GA MTL STUDS AT 16" OC MAX W/ 1-LAYER OF CEMENT BACKER BOARD. EXTEND STUDS AND SUBSTRATE TO 6" ABOVE CEILING - 4/A500.</p> <p>E TYPICAL PARTITION (THRU CEILING): 3-5/8" 20 GA MTL STUDS AT 16" OC MAX W/ 1-LAYER 5/8" TYPE X GYP BD ON ONE SIDE. EXTEND STUDS AND GYP BD TO 6" MIN ABOVE CLG HT - 9/A500 SIM.</p> <p>F NEW 1 HR RATED DEMISING WALL: 3-5/8" 20 GA MTL STUDS AT 16" OC MAX W/ 1-LAYER 5/8" TYPE X GYP BD EACH SIDE TAPED AND SEALED PER UL455 - SEE DETAIL 6/A510. ADD SOUND BATT INSULATION NC-45 AND 50 DBA OR EQUAL. EXTEND STUDS TO STRUCTURE ABOVE & BRACE @ 4'-0" OC MAX.</p> <p>H EXISTING PARTITION: EXISTING METAL STUDS WITH EXISTING GYP. BD. PATCH/REPAIR AS REQ.</p>

WALL TYPE NOTES
<p>1. STUD GAUGES PER SPECIFICATIONS</p> <p>2. ALL METAL STUDS MUST BE LISTED BY AN APPROVED TESTING AND LISTING AGENCY (ICC/IBO EX) AND THEY MUST BE INSTALLED PER THE LISTING AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.</p> <p>3. PROVIDE FIRE RETARDANT WOOD BLOCKING WITHIN PARTITIONS FOR SECURE ANCHORAGE AT THE FOLLOWING LOCATIONS: WALL MOUNTED HAND SINK THREE COMPARTMENT SINK WALL MOUNTED SHELVES SECURITY STRAP @ WATER HEATER</p>

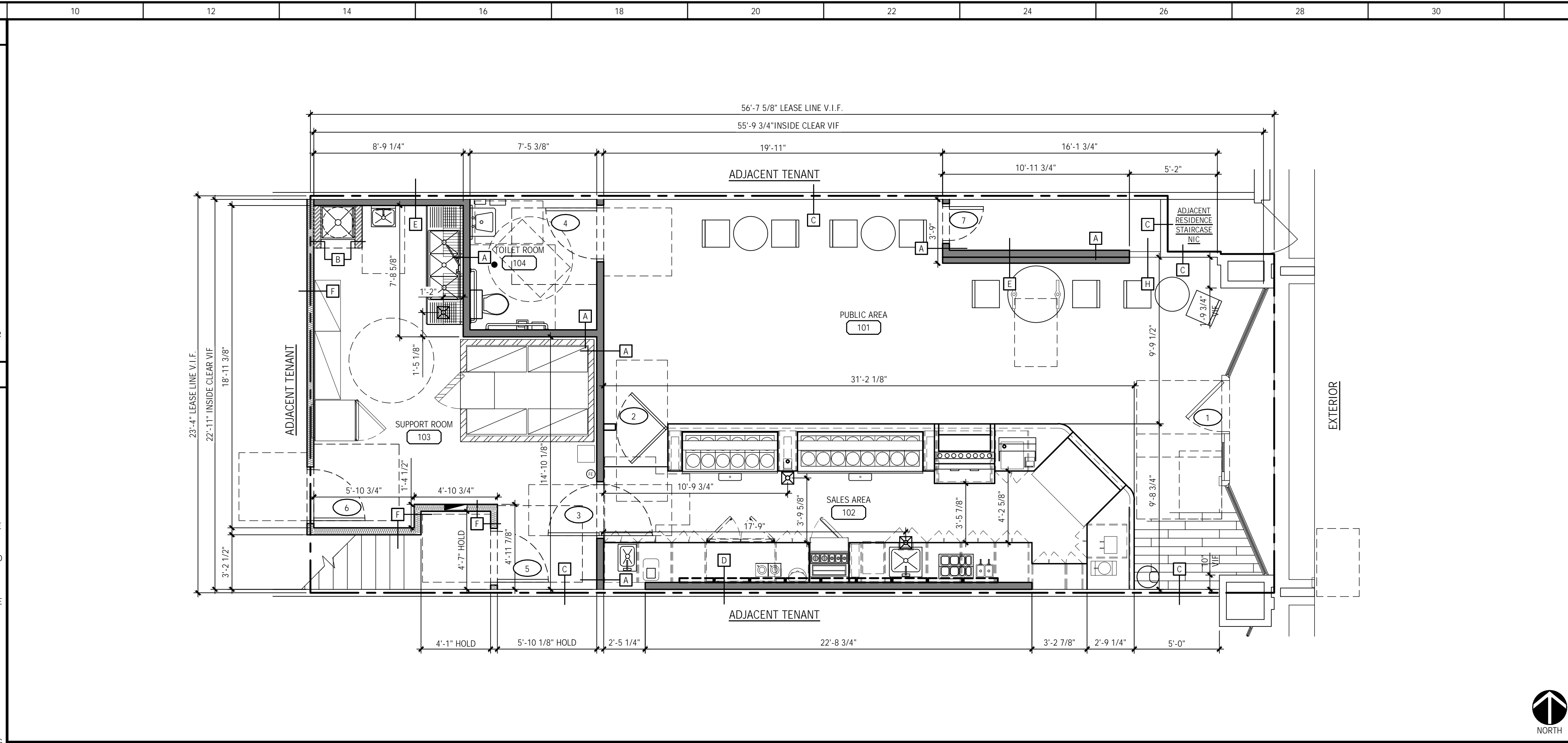
ACCESSORY NOTES
<p>PROVIDE (OR INSTALL ITEMS FURNISHED BY OTHERS WHEN NOTED) THE FOLLOWING ACCESSORIES WHERE LOCATED HEREIN OR ON THE DRAWINGS:</p> <p>SOAP DISPENSER (FCI) TOWEL DISPENSER (FCI) WASTE RECEPTACLE (FCI) FIRE EXTINGUISHER (FCI)</p> <p>CORNER GUARDS: WHERE NOTED ON THE FLOOR PLAN, PROVIDE STAINLESS STEEL 18 GA CORNER GUARDS FROM TOP OF BASE TO 5'-0" AFF. - SILICONE SEAL ALL EDGES OF CORNER GUARD TO WALL FINISH SURFACE. (FCFI)</p>

GENERAL NOTES
<p>ALL WALL AND CEILING INTERIOR FINISHES SHALL BE CLASS C OR BETTER. ALL FLOOR INTERIOR FINISHES SHALL BE CLASS 1.</p> <p>ALL INTERIOR DIMENSIONS ARE FROM FINISH FACE TO FINISHED FACE OF GYPBD, UNLESS OTHERWISE NOTED.</p> <p>ALL WOOD IN CONTACT WITH CONCRETE MUST BE PRESSURE TREATED MOISTURE RESISTANT WOOD.</p> <p>ALL WALL CONSTRUCTION FACING SUPPORT ROOM AREA AND RESTROOMS MUST UTILIZE MOISTURE RESISTANT GYPSUM BOARD.</p> <p>PROVIDE AND INSTALL OCCUPANCY SIGN IN A CONSPICUOUS LOCATION IN ACCORDANCE WITH STATE & LOCAL CODES.</p> <p>TENANT FRIT 5/8" PLYWOOD BLOCKING IN ALL AREAS WHERE THERE IS WALL MOUNTED SHELVING, EQUIPMENT, OR ACCESSORIES.</p> <p>TENANT GC TO PROVIDE FIRE EXTINGUISHERS AS REQ'D PER APPLICABLE CODES AND SHALL COORDINATE LOCATION WITH FIRE MARSHALL PRIOR TO INSTALLATION.</p> <p>ALL DOORS TO BE KEYLESS IN DIRECTION OF EMERGENCY EGRESS.</p> <p>ALL GYP BD WALLS AND CEILINGS SHALL BE LEVEL 4 FINISH.</p> <p>SEE 14/A500 FOR POUR BACK DETAIL FOR ANY CONCRETE WORK.</p>

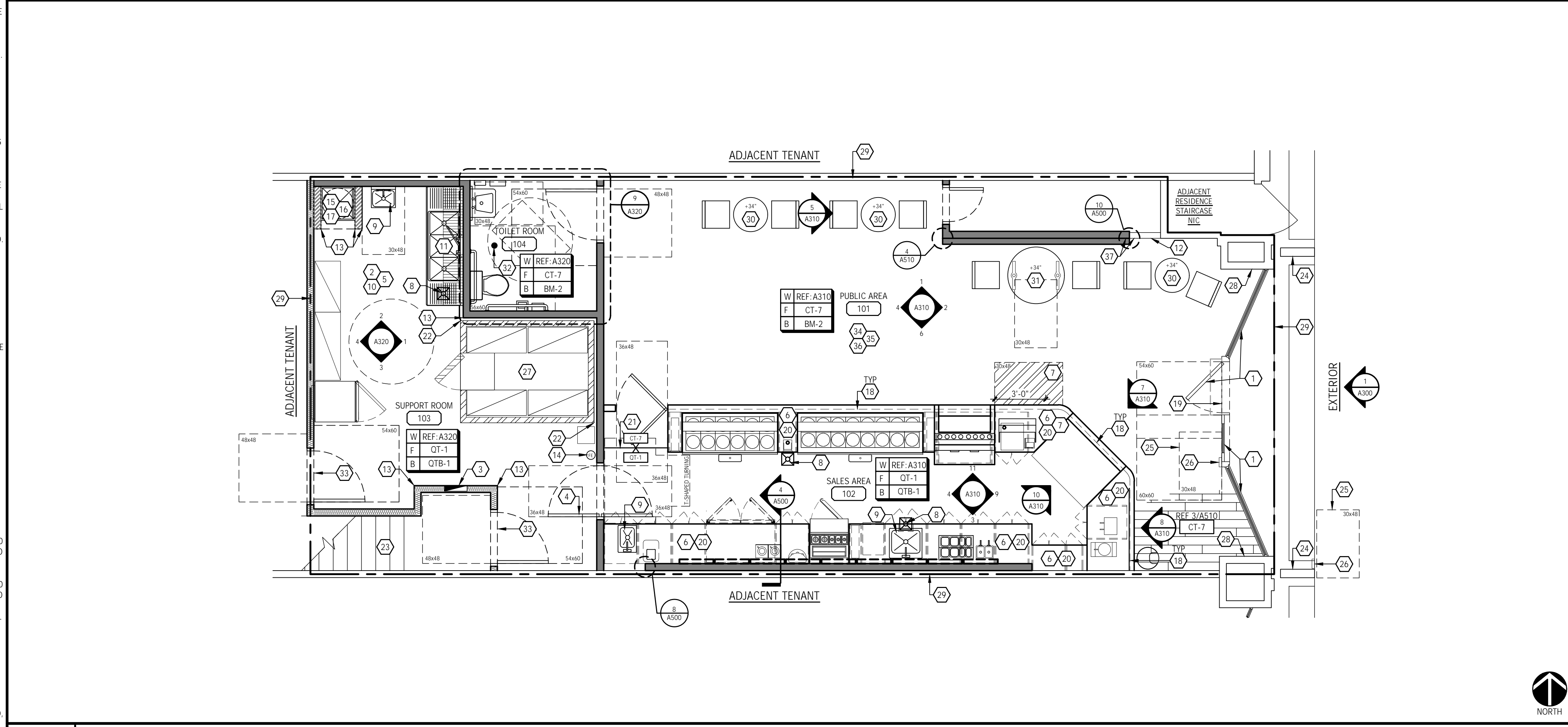
SHEET SYMBOLS
<p>NEW CONSTRUCTION</p> <p>EXISTING CONSTRUCTION</p> <p>LEASE LINE</p> <p>TURNING RADIUS OR "T" TURNING CLEARANCE</p> <p>CLEAR FLOOR AREA CLEARANCES AS REQUIRED BY CODE.</p> <p>NEW DOOR(S). SEE DOOR SCHEDULE</p> <p>EXISTING DOOR(S). SEE DOOR SCHEDULE</p> <p>FIRE EXTINGUISHER</p> <p>COLUMN REFERENCE GRID</p> <p>WALL FINISH</p> <p>FLOOR FINISH</p> <p>BASE FINISH</p> <p>FLOOR TRANSITION. SEE SCHEDULE. PROVIDE FLUSH TRANSITION AT SIMILAR FLOORING - FEATHER LATEX BED MIN. 36" AS REQUIRED.</p> <p>REVISIONS</p> <p>SECTION NUMBER</p> <p>SHEET NUMBER</p> <p>ELEVATION MARKER</p> <p>DETAIL NUMBER</p> <p>SHEET NUMBER</p> <p>DOOR NUMBER</p> <p>WALL TYPE</p> <p>EQUIPMENT TAG</p> <p>FINISH TAG</p> <p>ROOM NAME</p> <p>ROOM NUMBER</p>

FINISH NOTES
<p>WALL FINISHES OF PUBLIC AND FRONT EMPLOYEE DIPPING AREA: REFER TO INTERIOR ELEVATIONS, DRAWING A310</p> <p>CEILING FINISHES: RE. REFLECTED CLG PLAN, DRAWING A200</p> <p>LIGHTING LAYOUT: RE. REFLECTED CLG PLAN, DRAWING A200 AND ELECTRICAL PLAN</p> <p>EXTENT OF FLOORING & BASE MATERIAL: EXTEND FLOORING AND BASE MATERIAL COMPLETELY INTO FLOOR RECESSES UNDER ALL FOOD SERVICE EQUIPMENT ITEMS, INCLUDING UNDERCOUNTER REFRIGERATORS OR FREEZER BASES AND DIPPING CABINETS</p> <p>WATERPROOF MEMBRANE: INSTALL WATERPROOF MEMBRANE TO FORM SEAMLESS MEMBRANE OVER ENTIRE FLOOR AREA AND 6" UP WALL. GC TO VERIFY WITH CENTER AUTHORITY ACCEPTABILITY OF PROPOSED FLOOR MEMBRANE OR F REQUIRED BY CENTER</p> <p>BASE AT SALES COUNTER FRONT: BASE AS PER DETAILS AND ELEVATIONS</p> <p>TYPICAL SUPPORT ROOM FLOOR FINISH: QUARRY PAVEN TILE - THIN SET INSTALLATION OF QUARRY TILE - RE. COLOR AND MATERIAL SCHEDULE</p> <p>BASE @ QUARRY FLOOR TILE: STANDARD COVE BASE/RADIUS TOP UNITS TO MATCH FLOOR TILE</p> <p>TYPICAL SUPPORT ROOM WALL FINISH: PAINT AND WHITE FRP PANELS AT WET AREAS ONLY. FRP TO 8'-6" AFF. REF. TO SHEET A320</p> <p>DOOR FRAMES: SEMI-GLOSS WHITE PAINT ON ALL SUPPORT ROOM FRAMES</p> <p>DOUBLE SWING DOOR FRAME(S): BRUSHED 5/8" HM FRAME</p> <p>WALL FINISH @ TOILET ROOM(S): REFER TO RESTROOM ELEVATIONS</p> <p>BASE @ WALK IN FREEZER: STANDARD QUARRY COVE BASE AT WALK-IN FREEZER - INSTALL AFTER INSTALLATION OF FREEZER UNIT. SILICONE SEAL AT TOP AND EDGE JUNCTIONS OF TILE TO ALUMINUM FACE OF FREEZER.</p>

SHEET NOTES
<p>1. EXISTING STOREFRONT SYSTEM AND DOORS TO REMAIN. ONE DOOR TO REMAIN FIXED. G.C. TO VERIFY PROPER WORKING ORDER. G.C. TO CLEAN/REPAIR/REPLACE ALL DAMAGED TRIM AND GLAZING ON STOREFRONT TO LIKE NEW CONDITION. VERIFY AND NOTIFY CONSTRUCTION MANAGER, BRIAN DANIELSON, AND ARCHITECT IF CONFLICT ARISE. REFINISH WITH NEW FINISHES. SEE ELEVATIONS ON A300 AND A310. PROVIDE NEW DOOR HARDWARE PER DOOR SCHEDULE ON A400.</p> <p>2. GC TO PERMANENTLY INSTALL FLOOR SAFE AT LOCATION INDICATED - OWNER TO FURNISH SAFE (OFCI). COORDINATE LOCATION WITH OWNER.</p> <p>3. NEW ELECTRICAL PANEL. REFER TO ELECTRICAL DRAWINGS. COORDINATE EXACT PLACEMENT IN FIELD. GC SHALL INVESTIGATE EXISTING ELECTRICAL AT SITE AND PROVIDE NEW PANEL. COORDINATE WITH OWNER FOR SPACE SEPARATIONS.</p> <p>4. DOUBLE ACTING SWING DOOR & BRUSHED STAINLESS HM WELDED FRAME. ELIASON #3089 - 36" W X 84" H X 3/4" THK SOLID EDGE DOUBLE SWING DOOR. LAMINATE TO MATCH PL-1 ON BOTH SIDES (INSTALLED BY DOOR VENDOR). 9" X 30" VISION PANEL. 18" S/S KICKPLATES AND PUSH PLATES ON BOTH SIDES & HM DOOR FRAME W/O STOPS. REINFORCE FRAME AT HARDWARE LOCATIONS. (ELIASON: 1-800-828-3655)</p> <p>5. SECURITY SYSTEM CAMERAS AND MONITOR - CONSULT WITH OWNER FOR LOCATIONS - PROVIDE ELECTRICAL AND WIRING OF CAMERAS AND MONITORS (OFCI)</p> <p>6. NEW MILLWORK LOCATION. REFER 1/A420 FOR ADDITIONAL INFORMATION.</p> <p>7. POS COUNTER PROVIDED WITH AN ACCESSIBLE CHECK OUT COUNTER SURFACE AREA THAT IS A MINIMUM 36" L @ 34" A.F.F. MAX. AND PROVIDES A 30" X 48" CLEAR FLOOR SPACE FOR A PARALLEL APPROACH</p> <p>8. NEW FLOOR SINK. REFER TO PLUMBING DWGS.</p> <p>9. NEW SINK. GC TO SEAL AT ALL EDGES. REFER A110 AND PLUMBING DWGS. FOR ADDITIONAL INFORMATION.</p> <p>10. STEREO SYSTEM AND SPEAKERS - CONSULT WITH OWNER AS TO EXACT LOCATION OF AMPLIFIER/RECEIVER AND SPEAKERS. PROVIDE ELECTRICAL AND WIRING OF SPEAKERS - VERIFY USE OF SYSTEM ACCEPTABLE TO OPS MANAGER. REFER TO A200 FOR MORE INFORMATION.</p> <p>11. 3-COMPARTMENT SINK. GC TO ANCHOR TO BLOCKING IN WALL AND SEAL ALL AROUND.</p> <p>12. EXISTING WALLS TO REMAIN. G.C. TO PATCH/REPAIR ANY DAMAGE. G.C. TO APPLY NEW FINISHES. REFER TO A310 FOR EXTENT OF FINISHES ON INTERIOR ELEVATIONS. PATCH/REPAIR/REPLACE DAMAGED GYP. BD. AS REQUIRED.</p> <p>13. 2" X 2" CORNER GUARD FROM BASE TO 5'-0" A.F.F. - SILICONE SEAL ALL EDGES OF CORNER GUARD TO ADJACENT SURFACE. (FCFI)</p> <p>14. FIRE EXTINGUISHER (FCFI): 2A-10BC - DRY-CHEM TYPE W/WALL MOUNT BRACKET (60" MAX HT TO TOP) - PROVIDE WALL BLOCKING WATER HEATER (FCFI); W/PIPING TO FLOOR DRAIN/MOP SINK FROM PRESSURE RELIEF VALVE & DRIP PAN. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p>15. WATER HEATER PLATFORM (FCFI): TWO LAYERS OF MARINE GRADE FR PLYWOOD @ 6'-0" AFF ON 6" X 18 GA METAL JOIST @ 12" OC MAX BEARING ON STRUCTURAL STUDS BELOW. APPLY FRP-1 TO ALL SURFACES.</p> <p>16. MOP SINK W/FAUCET & HOSE/VACUUM BREAKER (FCFI) & MOP RACK (OFCI). SEAL JOINT @ WALL & FLOOR FINISHED ALL AROUND CT-7 TILE SHALL EXTEND TO TOE KICK OF MILLWORK.</p> <p>17. EXISTING ADA LOW RISE THRESHOLD TO REMAIN. VIF. COORDINATE AND MAINTAIN WITH NEW FLOORING.</p> <p>18. GROMMET HOLE WITH COVER TO MATCH SS-1. COORDINATE EXACT LOCATION WITH OWNER.</p> <p>19. ALUMINUM TRANSITION STRIP, STAINLESS STEEL JOLLY FOR CHANGE IN FLOOR TILE FINISH. TRANSITION SHALL MEET ACCESSIBILITY GUIDELINES ACCORDING TO LOCAL JURISDICTION'S APPLICABLE CODE. SEE 1/A500 FOR INSTALL.</p> <p>20. 16 GA STAINLESS STEEL VERTICAL CLOSURE ANGLES AT EACH SIDE OF WALK-IN FREEZER TO SEAL ADJACENT WALL TO FREEZER AND FLOOR COVE. G.C. TO PROVIDE 2" OF CLEARANCE AT ALL WALLS.</p> <p>21. EXISTING STAIRS TO SECOND LEVEL TO REMAIN. NO WORK.</p> <p>22. EXISTING METAL PIERS TO REMAIN. G.C. TO REFINISH AND PAINT WHITE WITH ELECTROSTATIC PAINT. ENSURE A SMOOTH CLEAN PAINT FINISH.</p> <p>23. G.C. SHALL VERIFY THERE IS A 30X48 LEVEL LANDING AT NEW BUTTON.</p> <p>24. NEW ACCESS AUTOMATIC DOOR OPENER TO BE PROVIDED AND INSTALLED AT LEVEL GROUND.</p> <p>25. INSTALL WALK-IN FREEZER DIRECTLY ON EXISTING CONCRETE SLAB. INSTALL QUARRY TILE COVE BASE TO FACE OF FREEZER UNIT. (FCFI).</p> <p>26. G.C. TO INFILL SIDE WALL TO BE FLUSH WITH EXISTING CONDITIONS.</p> <p>27. ASSUMED LEASE LINE. COORDINATE WITH OWNER.</p> <p>28. LOW-TOP TABLE TOP TO BE 24" DIAMETER. TABLE TO BE FREE-STANDING. 34" A.F.F. MAX. IN WHITE LAMINATE. REFER A110 EQUIPMENT SCHEDULE A24A. BASE SHALL BE POWDER COATED TO MATCH BM-2.</p> <p>29. LOW-TOP TABLE TOP TO BE 40" DIAMETER. TABLE TO BE FREE-STANDING. 34" A.F.F. MAX. IN WHITE LAMINATE. REFER A110 EQUIPMENT SCHEDULE A24B. BASE SHALL BE POWDER COATED TO MATCH BM-2.</p> <p>30. NEW FLOOR DRAIN. REFER PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.</p> <p>31. NEW ADA LOW RISE THRESHOLD. VIF. GC SHALL COORDINATE IF EXISTING SLAB IS LEVEL IN FIELD. ENSURE THE FLOOR HAS A RUNNING SLOPE NOT STEEPER THAN 1:20. GC SHALL ENSURE NEW FLOORING WILL FLUSH OUT WITH EXISTING DOOR THRESHOLD TO COMPLY WITH ACCESSIBILITY.</p> <p>32. GC TO COORDINATE ANY EXTERIOR WORK FOR WATER DAMAGE WITH OWNER.</p> <p>33. GC SHALL INVESTIGATE SITE HVAC SYSTEM AND SPLIT AS NEEDED. SEE MECHANICAL DRAWINGS.</p> <p>34. GC TO ENSURE NEW WALL ALIGNS WITH EXISTING WALL AND SLOPED CEILING CONDITION.</p>



2 FLOOR DIMENSION PLAN
1/4"=1'-0"



1 FLOOR & FINISH PLAN
1/4"=1'-0"

Häagen-Dazs

STORE #1436
40 S MAGNOLIA AVE.
OCALA, FL
34470

NO.	REVISIONS	DATE	DESIGNER

pams
design group
Architecture + Engineering

2225 East Randol Mill Road, Suite #300
Arlington, Texas 76011
817.633.4200

TIMOTHY M. LOTT
AIA, NCARB

2225 E Randol Mill Rd, Suite 300
Arlington, TX 76011
(817) 701-4807

SEAL

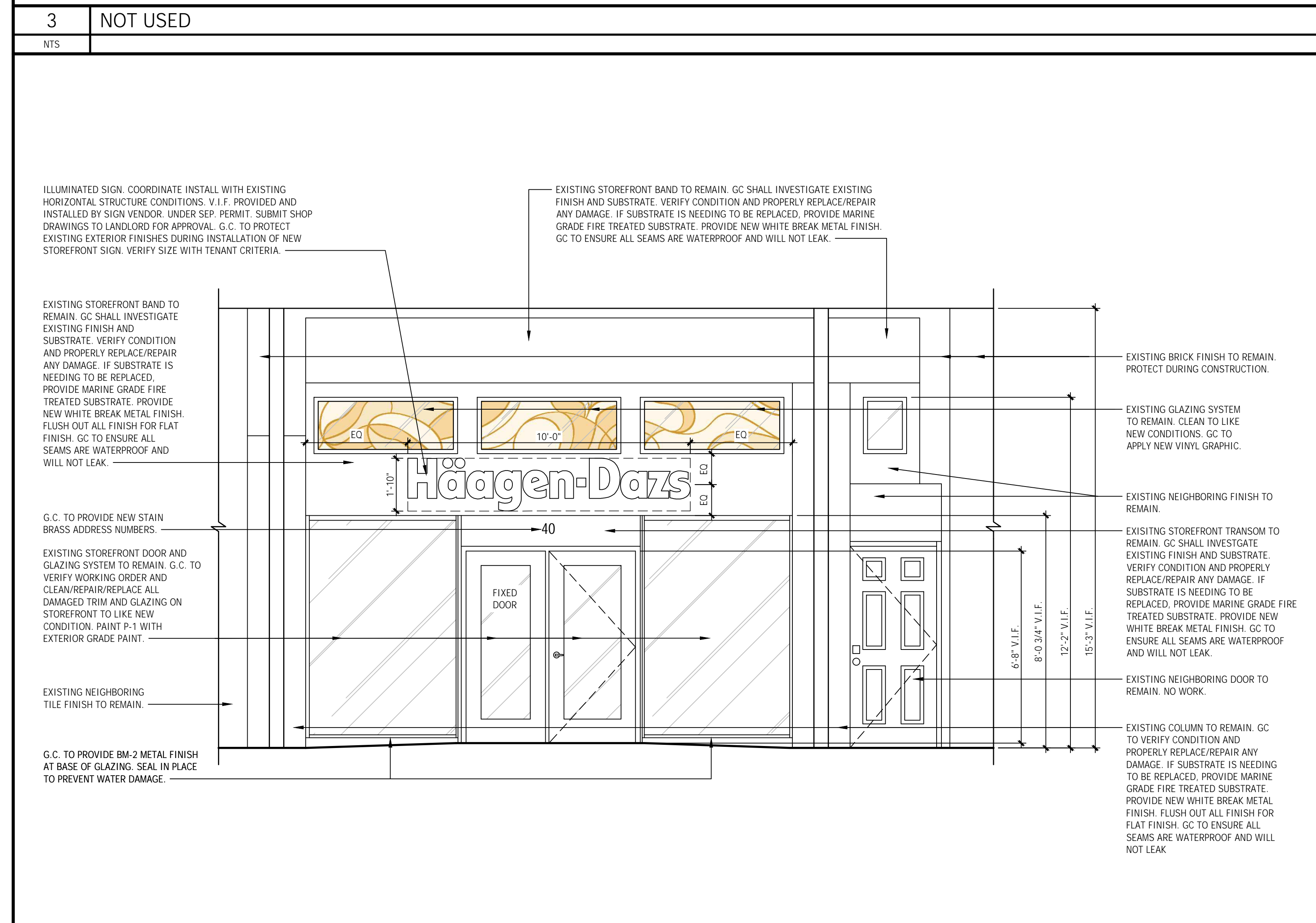
Project No.	250219
Scale	AS NOTED
Drawn	EL
Checked	CF
Date	10/09/25
Drawing Title	DIMENSION & FLOOR FINISH PLAN
Drawing No.	A100

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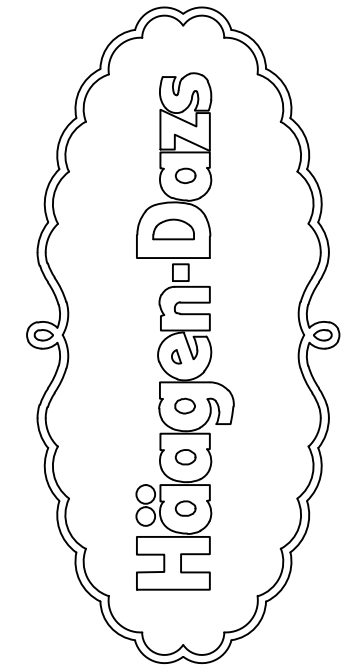
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3	NOT USED
NTS	

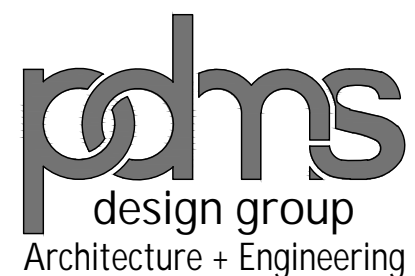


1	EXTERIOR STOREFRONT ELEVATION
3/8"=1'-0"	




STORE #1436
40 S MAGNOLIA AVE.
OCALA, FL
34470

NO.	REVISIONS	DATE	DESIGNER




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817.633.4200

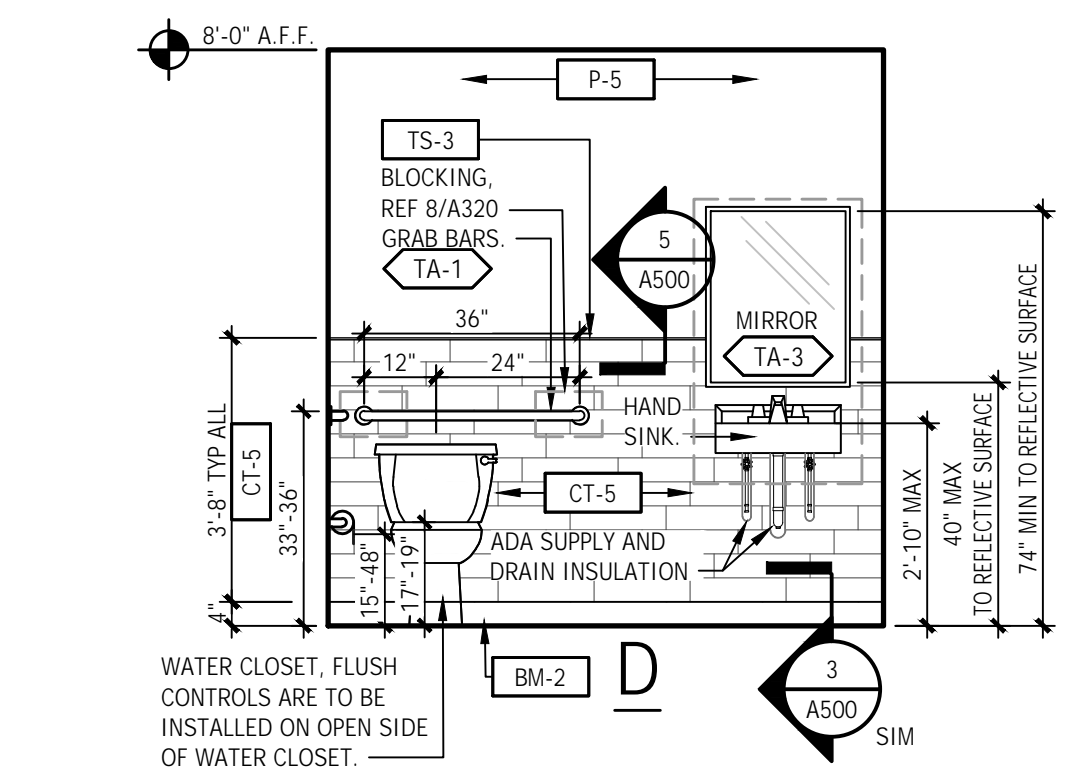
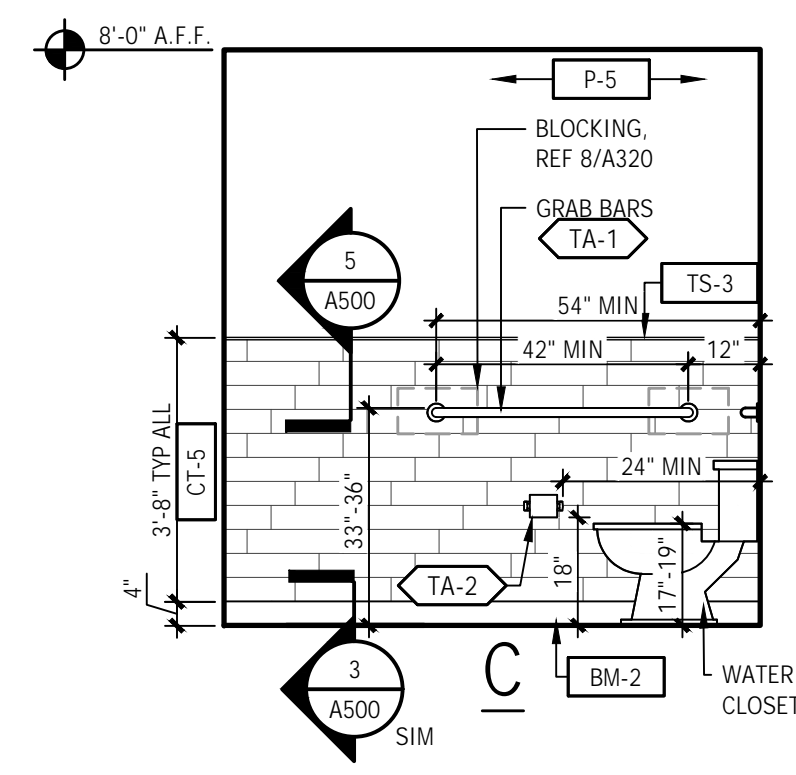
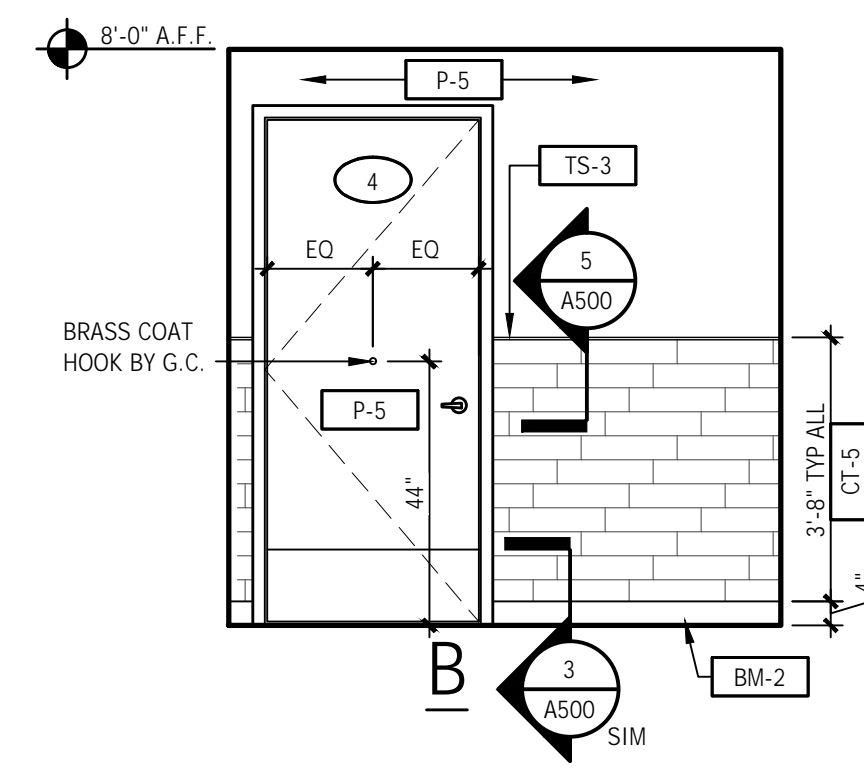
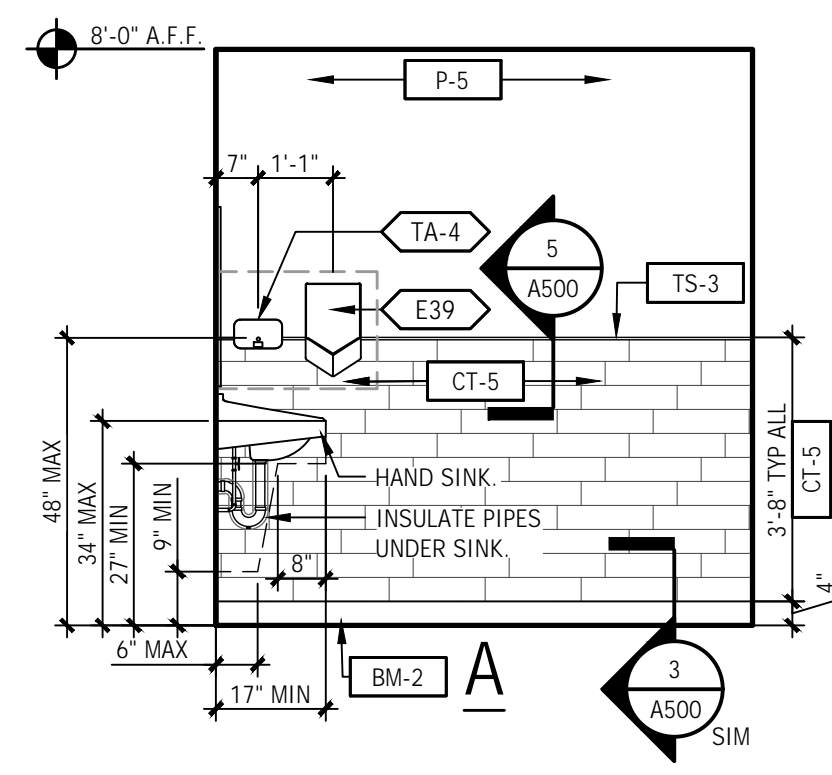
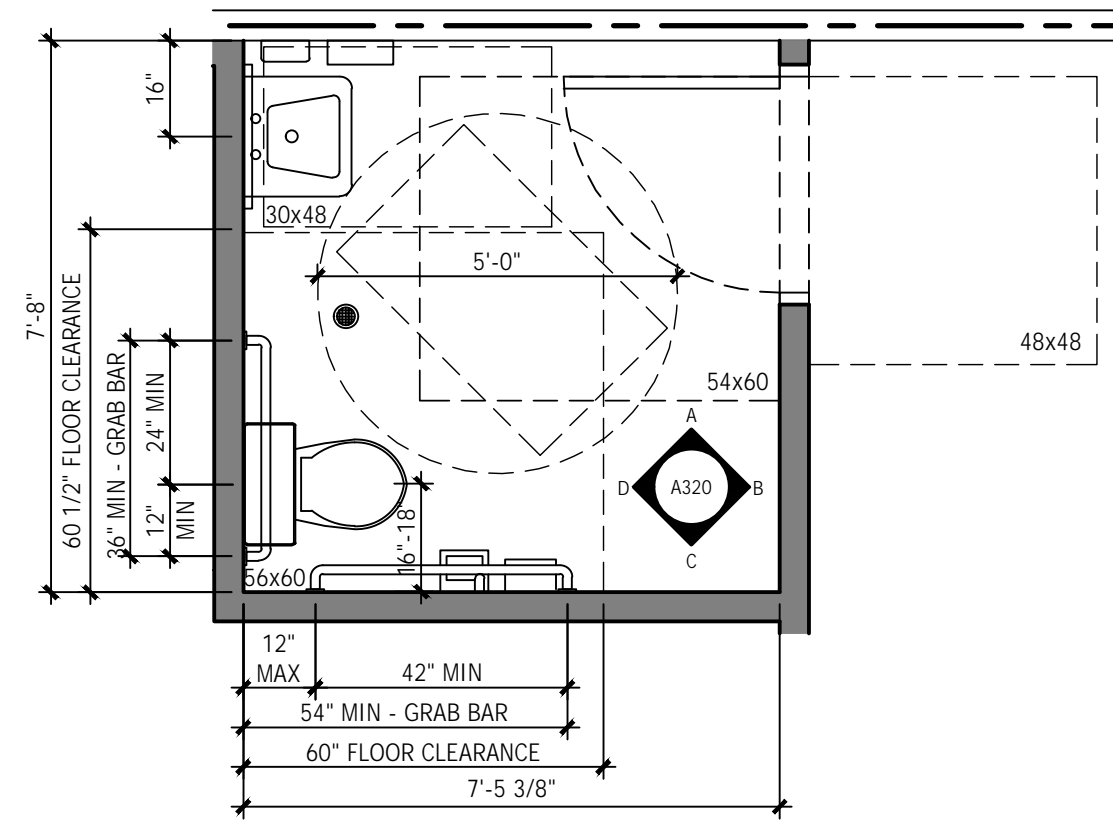
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Project No.	250219
Scale	AS NOTED
Drawn	EL
Checked	CF
Date	10/09/25
Drawing Title	STOREFRONT ELEVATION & DETAILS
Drawn No.	A300



MARK	DESCRIPTION	REMARKS
TA-1	BOBRICK #B-6806 x 36 #B-6806 x 48 - 1 1/2" DIA. STAINLESS STEEL GRAB BAR	STAINLESS STEEL, SATIN FINISH W/ SNAP FLANGE MOUNTING PROVIDE WALL BLOCKING
TA-2	BOBRICK #B-2840 (DOUBLE ROLL) TOILET PAPER DISPENSER W/ 16" X 5" ACCESSORY SHELF	STAINLESS STEEL, SATIN FINISH PROVIDE WALL BLOCKING
TA-3	BOBRICK #B-293 2436 ANSI TILT MIRROR - 24"x36"	STAINLESS STEEL, SATIN FINISH PROVIDE WALL BLOCKING
TA-4	TORX S4 SKINCARE SOAP DISPENSER	SURFACE MOUNTED PROVIDE WALL BLOCKING
E39	DYSON AIRBLADEV #HU02 HAND DYER	STAINLESS STEEL, STAIN FINISH, PROVIDE WALL BLOCKING

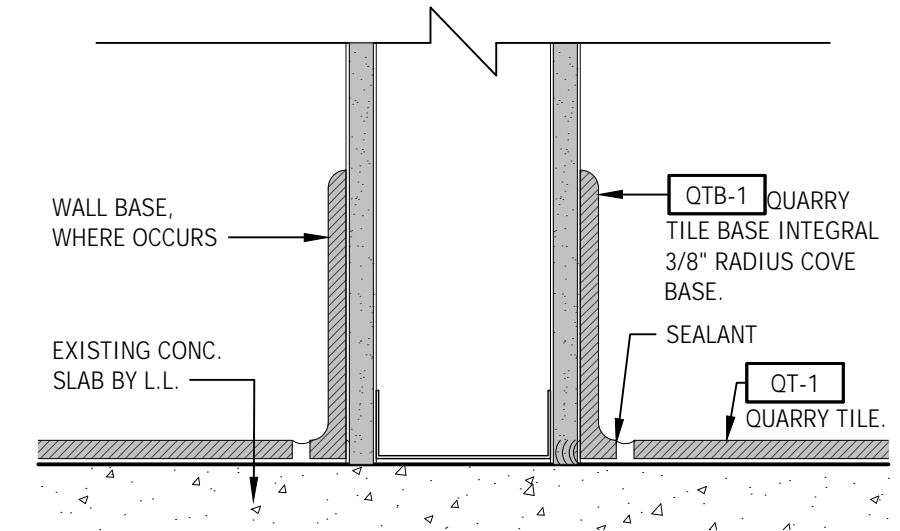
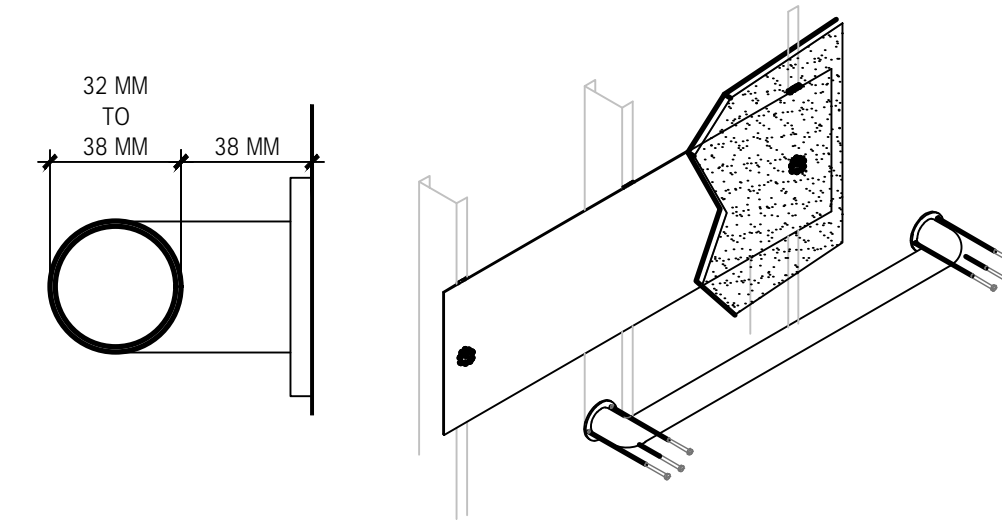
NOTE: ALL ACCESSORIES LISTED ABOVE TO BE SUPPLIED AND INSTALLED BY GENERAL CONTRACTOR AND MAY BE SUBSTITUTED WITH APPROVED EQUALS OR PER LOCAL CODES.

9 TOILET ROOM PLAN & ELEVATIONS

3/8"=1'-0" @SUPPORT ROOM

ANCHOR PLATES ARE 12 GAUGE STEEL AND 6" WIDE (LENGTH VARIES). FURNISHED WITH STAINLESS STEEL MACHINE SCREWS TO ACCOMMODATE WALL FINISHES TO 1 1/2" THICK. ANCHOR PLATES SECURED TO STUDS BY WELDING, WIRING OR SELF THREADING SCREWS.

GRAB BARS
 LOCATE GRAB BARS AS NOTED IN RESTROOM ELEVATIONS
 THE DIAMETER OR WIDTH OF THE GRIPPING SURFACE IS REQUIRED TO BE 1 1/4" TO 1 1/2" 32 MM - 38 MM, OR THE SHAPE IS TO PROVIDE AN EQUIVALENT GRIPPING SURFACE. IF GRAB BARS ARE MOUNTED ADJACENT TO A WALL, THE SPACE BETWEEN THE WALL AND THE GRAB BARS IS TO BE 1 1/2" 38 MM.
 GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.
 GRAB BARS AND ANY SURFACE ADJACENT TO THEM CAN NOT HAVE ANY SHARP OR ABRASIVE ELEMENTS. EDGES ARE TO HAVE A MINIMUM RADIUS OF 1/8 INCH.
 BENDING STRESS IN A GRAB BAR OR SEAT INDUCED BY THE MAX. BENDING MOMENT FROM THE APPLICATION OF A 250 LB. POINT LOAD SHALL BE LESS THAN THE ALLOWABLE STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT.
 SHEAR STRESS INDUCED IN A GRAB BAR BY THE APPLICATION OF 250 LBF POINT LOAD SHALL BE LESS THAN THE ALLOWABLE SHEAR STRESS FOR THE MOUNTING BRACKET OR OTHER SUPPORT IS CONSIDERED TO BE FULLY RESTRAINED, THEN DIRECT AND TORSIONAL SHEAR STRESSES SHALL NOT EXCEED THE ALLOWABLE SEAR STRESS.
 SHEAR FORCE INDUCED IN FASTENER OR MOUNTING DEVICES FROM THE APPLICATION OF A 250 LB. POINT LOAD SHALL BE LESS THAN THE ALLOWABLE LATERAL LOAD OF EITHER FASTENER OR MOUNTING DEVICE OR THE SUPPORTING STRUCTURE, WHICHEVER HAS THE SMALLER ALLOWABLE LOAD.
 TENSILE FORCE INDUCED IN A FASTENER BY A DIRECT TENSION FORCE OF A 250 LB. POINT LOAD, PLUS THE MAX. MOMENT FROM THE APPLICATION OF A 250 LB. POINT LOAD, SHALL BE LESS THAN THE ALLOWABLE WITHDRAWAL LOAD BETWEEN THE FASTENER AND SUPPORTING STRUCTURE.
 GRAB BAR AND ANY WALL OR OTHER SURFACE ADJACENT TO IT SHALL BE FREE OF ANY SHARP OR ABRASIVE ELEMENTS. EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8".



8 GRAB BAR DETAIL

N.T.S.

7 NOT USED

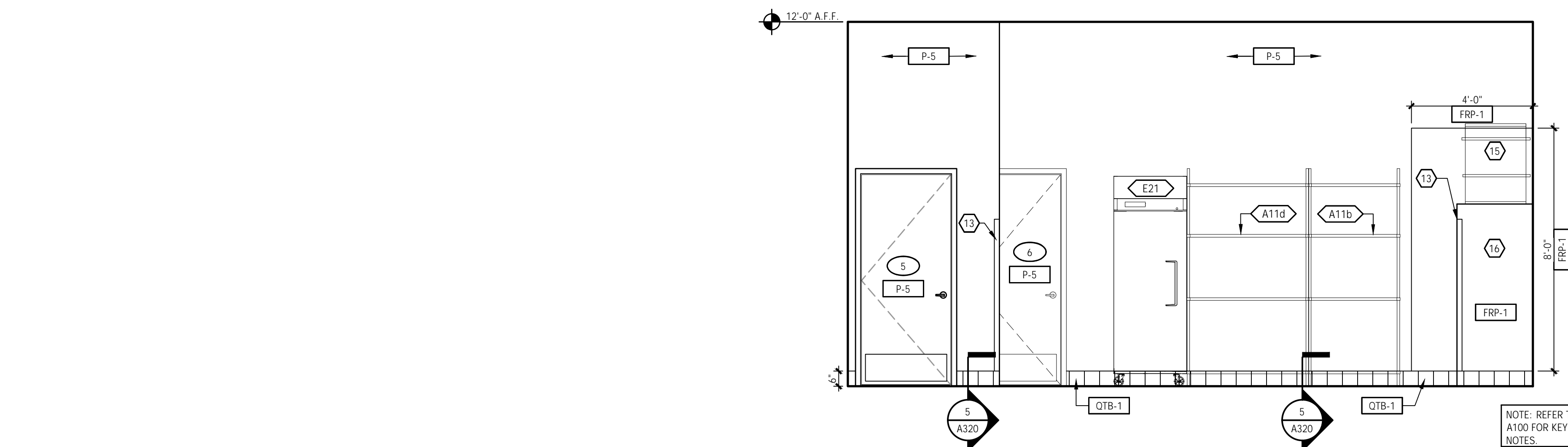
1-1/2"=1'-0"

6 NOT USED

1-1/2"=1'-0"

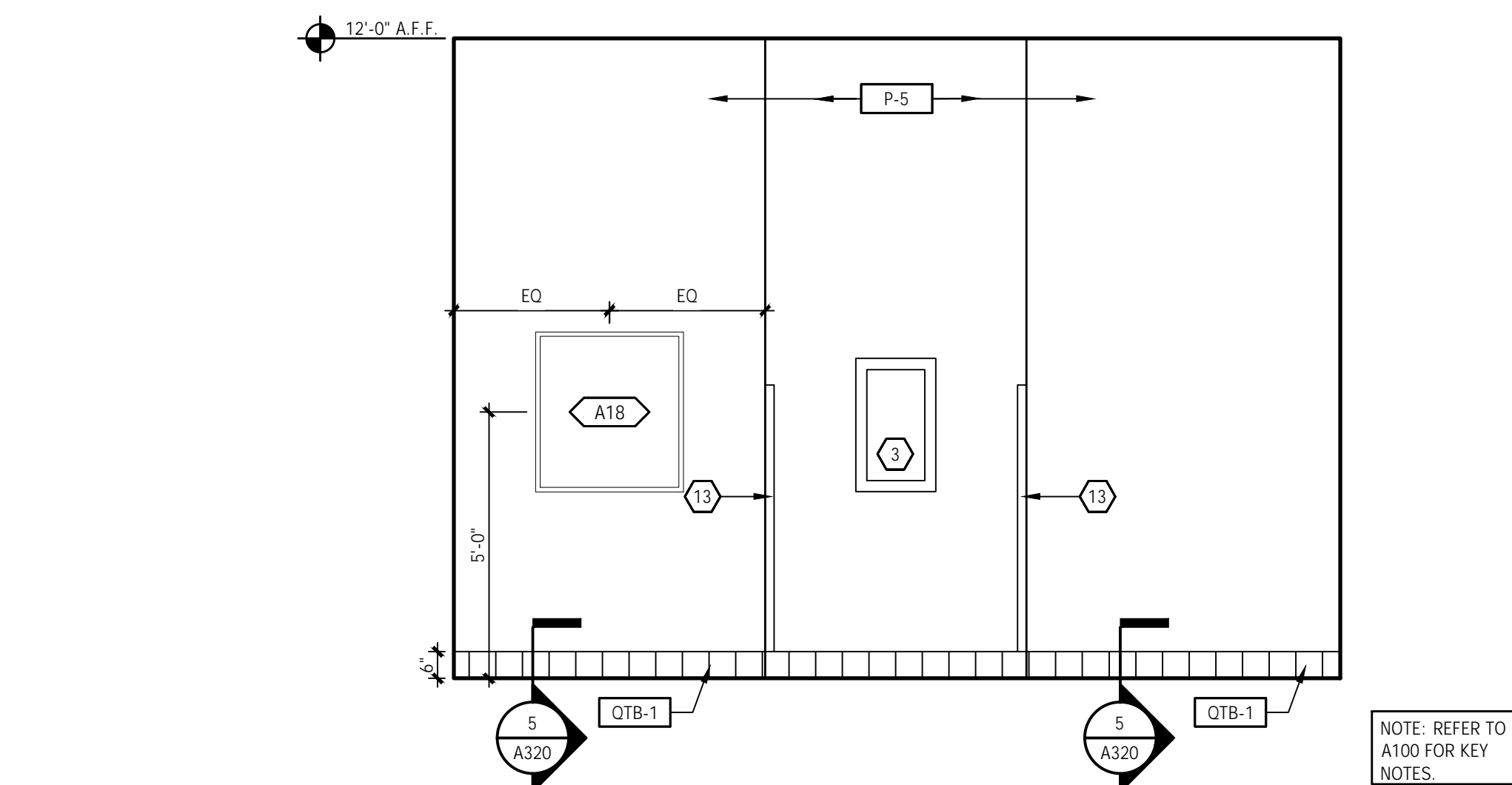
5 COVE BASE DETAIL

3"=1'-0" @ QUARRY TILE 3/8" RADIUS COVE



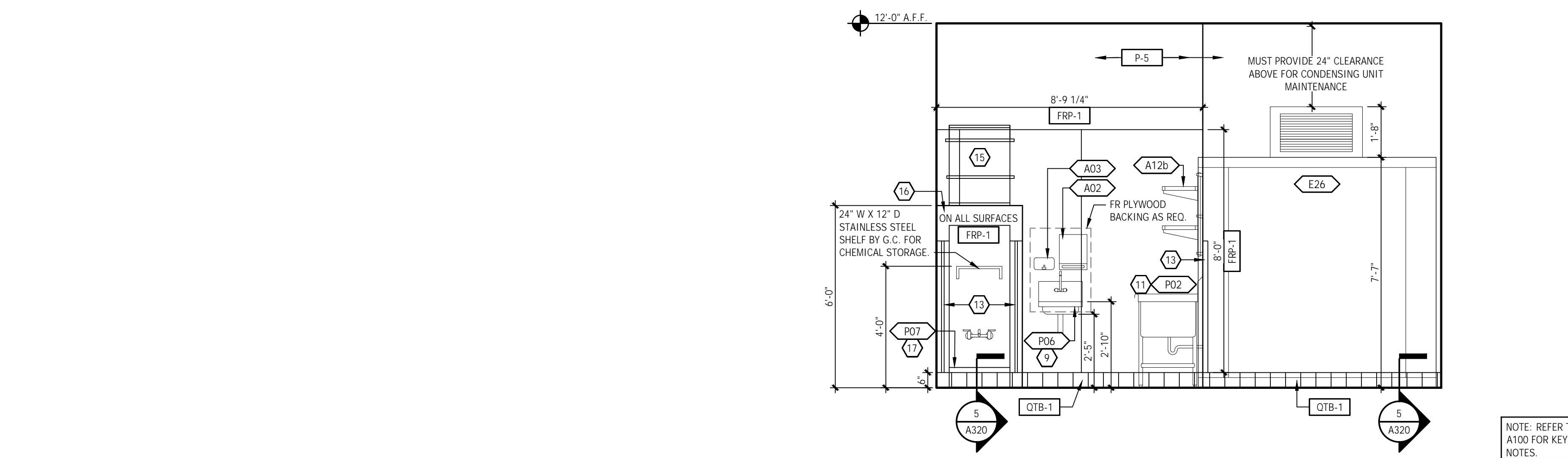
4 INTERIOR ELEVATION

3/8"=1'-0" @SUPPORT ROOM



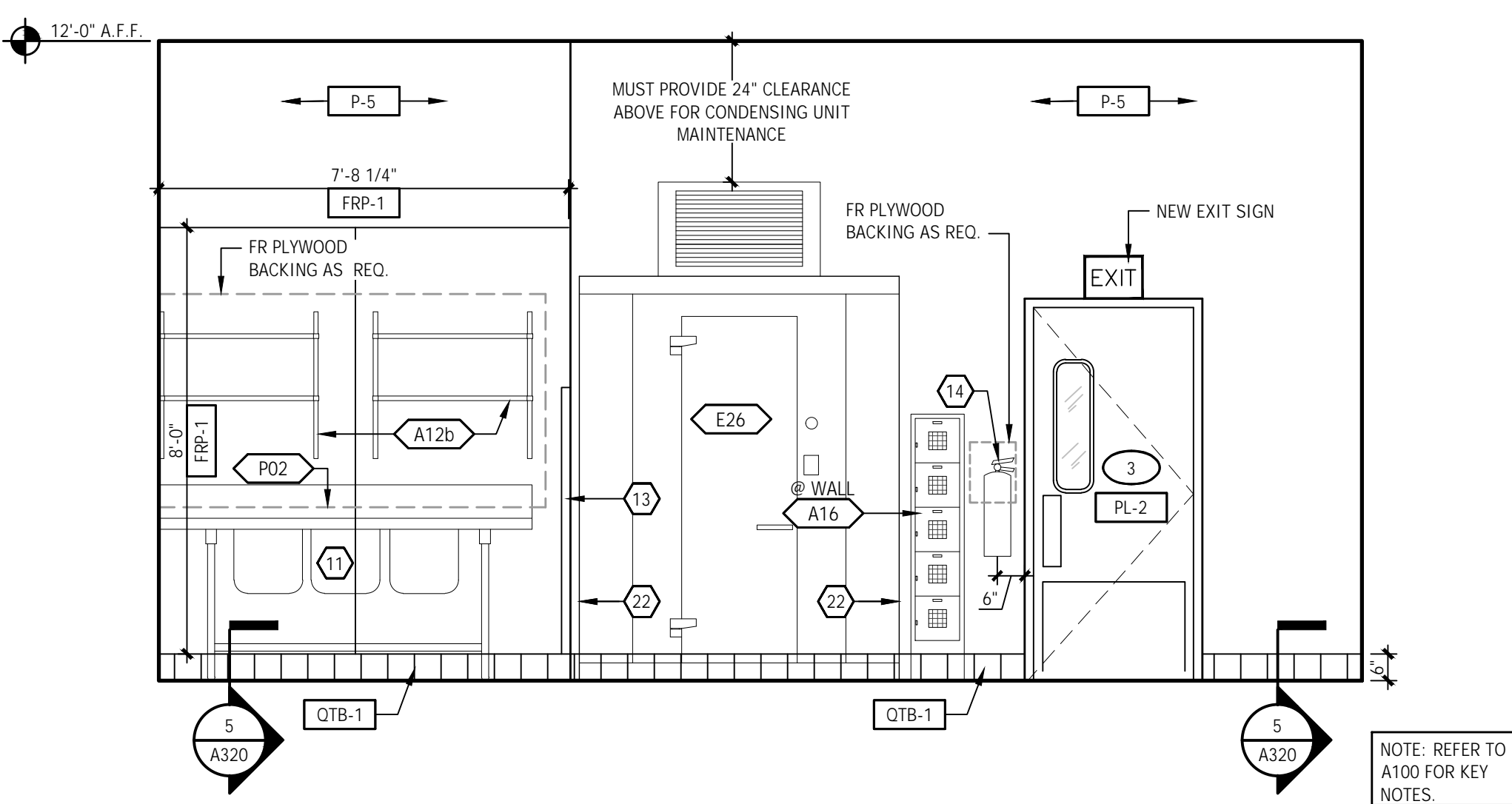
3 INTERIOR ELEVATION

3/8"=1'-0" @SUPPORT ROOM



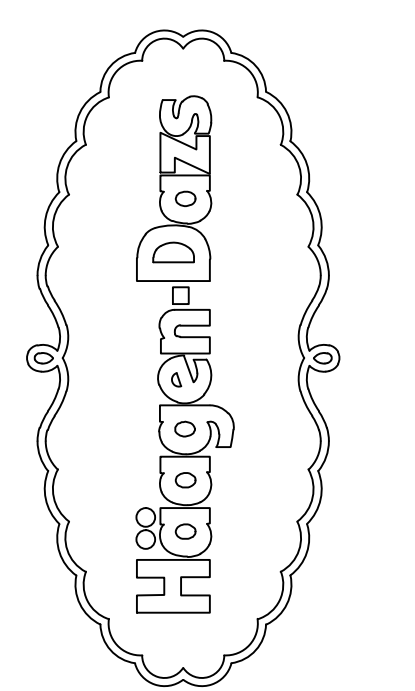
2 INTERIOR ELEVATION

3/8"=1'-0" @SUPPORT ROOM



1 INTERIOR ELEVATION

3/8"=1'-0" @SUPPORT ROOM



STORE #1436
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 34470

NO.	REVISIONS	DATE	DESIGNER

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Project No. 250219
 Scale AS NOTED
 Drawn EL
 Checked CF
 Date 10/09/25
 Drawing Title

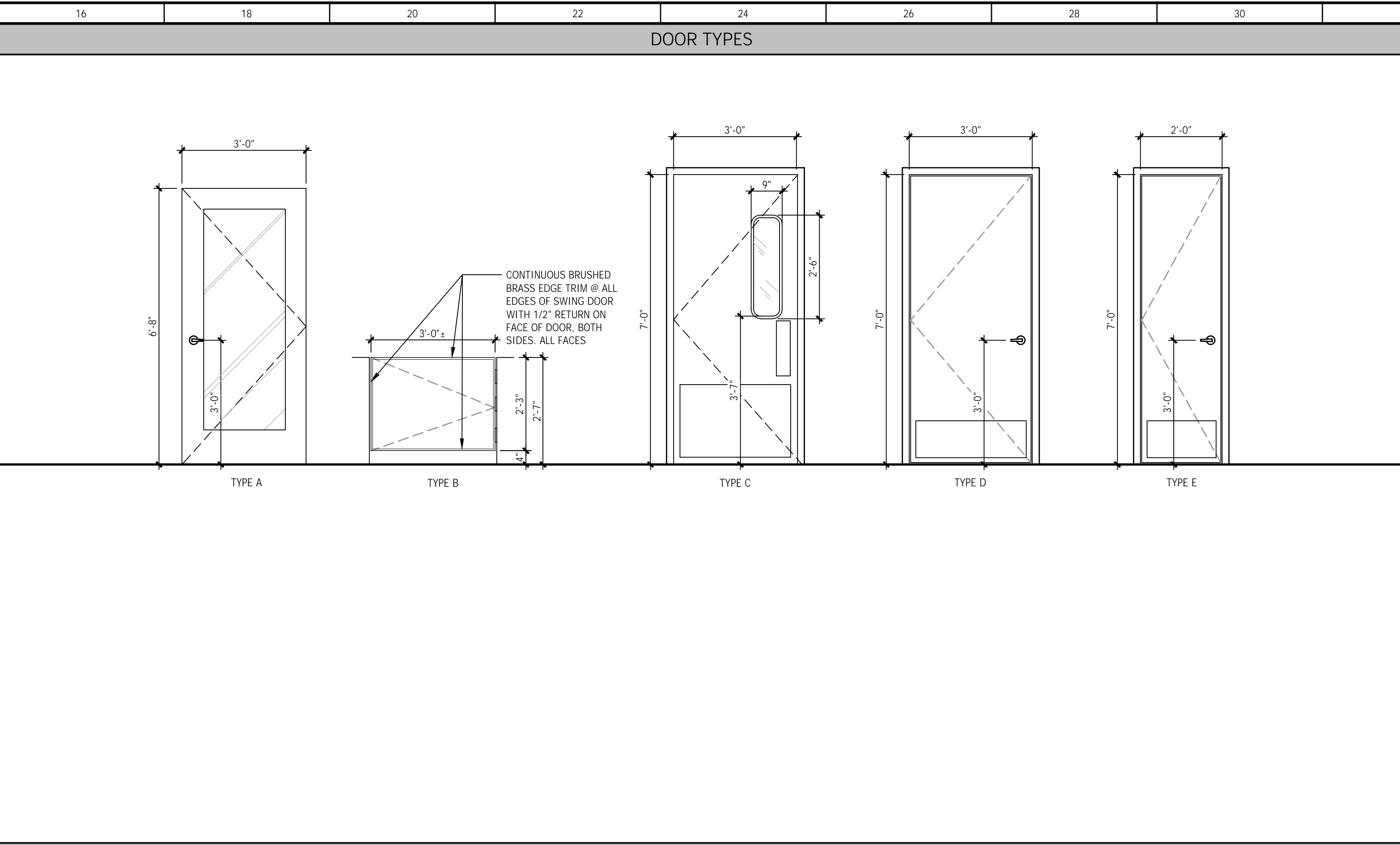
INTERIOR ELEVATIONS (BOH & TOILET)

Drawing No. A320

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DOOR SCHEDULE											
#	LOCATION	SIZE			DOOR			FRAME		THRESHOLD	HARDWARE
		WIDTH	HEIGHT	THICK	MATERIAL	FINISH	TYPE	MATERIAL	FINISH		
1	(E) STOREFRONT DOOR	(E) 3'-0" VIF	6'-8" VIF	EXISTING	EXISTING	EXISTING	A	EXISTING	EXISTING	EXISTING	A
2	SWING GATE	3'-0"	2'-3"	1 3/4"	SEE DOOR TYPES	-	B	N/A	N/A	-	B
3	LAMINATED DBL SWING DOOR	3'-0"	7'-0"	1"	FACTORY	PL-2	C	STEEL	STAINLESS STEEL	-	C
4	TOILET ROOM	3'-0"	7'-0"	1 3/4"	SOLID CORE WOOD	P-5	D	HM	P-5	-	D
5	STOREROOM DOOR	3'-0"	7'-0"	1 3/4"	HM	P-5	D	HM	P-5	ALUMINUM	E
6	REAR DOOR	3'-0"	7'-0"	1 3/4"	HM	P-5	D	HM	P-5	ALUMINUM	E
7	CLOSET DOOR	2'-0"	7'-0"	1 3/4"	HM	P-5	E	HM	P-5	-	F

HARDWARE SCHEDULE						
#	QTY	ITEM	MFG. #	MFG	FINISH	REMARKS
A	3	HINGES	EXISTING	EXISTING		
	1	PASSAGE LOCKSET	T581 AVALON	FALCON	606	POSTAL ADDRESS NUMBERS PER LANDLORD REQUIREMENTS. LOCKS SHALL BE KEY-OPERATED WITH INDICATOR TO BE READILY DISTINGUISHABLE AS LOCKED. CONTACT HAAGEN DAZS FOR DOOR GRAPHICS.
	1	DEADBOLT	D100	FALCON	606	VERIFY EXISTING HARDWARE MEETS REQUIREMENTS OF, OR IS EQUAL TO NEW HARDWARE. REPLACE AS REQUIRED. VERIFY EXISTING THRESHOLD COMPLIES WITH LOCAL JURISDICTION CODE AFTER INSTALL OF NEW FLOORING.
	1	THRESHOLD	EXISTING	EXISTING		
B	3	DOUBLE ACTING SPRING HINGES	4"	BOMMER	STAIN BRASS	DOOR TO BE 3/4" MDF. FINISH ALL SURFACES WITH NTM-2. BOTTOM OF DOOR SHALL BE 4" ABOVE FINISH FLOOR. QUANTITY AND SIZE OF HINGES AS REQUIRED FOR DOOR WEIGHT, V.I.F.
	2	KICKPLATE	18"	ELIASON	STAINLESS STEEL	
	2	PUSH PLATE	6"X12"	ELIASON	STAINLESS STEEL	DOOR TO BE ELIASON SCPB WITHOUT DOOR STOPS. KICK PLATE AND PUSH PLATES TO BE PROVIDED ON BOTH SIDES.
C	1	VISION PANEL	9"X30"	ELIASON	MFG	REINFORCE JAMBS AT HARDWARE LOCATIONS.
	1	TOP PIVOT		ELIASON	MFG	PL-2 TO BE INSTALLED BY DOOR VENDOR.
	1	BOTTOM PIVOT		ELIASON	MFG	
D	1	PRIVACY LOCKSET	T511 AVALON	FALCON	606	
	3	BUTT HINGES	TA2714 4.5X4.5	MCKINNEY	606	
	3	SILENCER	SR-64	IVES	GRAY	KICK PLATE TO BE PROVIDED ON PUSH SIDE. PROVIDE APPROPRIATE RESTROOM SIGNAGE. UNDER CUT DOOR 1" SEE MECHANICAL DWGS- 1" UNDERCUT
	1	CLOSER	4000 SERIES	LCN	ALU	
	1	DOORSTOP	WS406 CVX	IVES	US4	
	1	KICKPLATE	8400	IVES	606	
E	1	STOREROOM LOCKSET	T581 AVALON	FALCON	606	
	3	BUTT HINGES	TA2714 4.5X4.5	MCKINNEY	606	
	3	SILENCERS	SR-64	IVES	GRAY	KICK PLATE TO BE PROVIDED ON BOTH SIDES.
	2	CLOSER	4000 SERIES	LCN	ALU	
	1	DOORSTOP	WS406 CVX	IVES	US4	
	1	KICK PLATE	8400	IVES	606	
F	1	PASSAGE LOCKSET	T101 AVALON	FALCON	606	
	3	BUTT HINGES	TA2714 4.5X4.5	MCKINNEY	606	
	3	SILENCERS	SR-64	IVES	GRAY	KICK PLATE TO BE PROVIDED ON BOTH SIDES.
	1	DOORSTOP	WS406 CVX	IVES	US4	
	1	KICK PLATE	8400	IVES	606	



DOOR NOTES

A. HARDWARE FINISHES SHALL BE SATIN BRASS 606/US4 UNLESS NOTED OTHERWISE.
 B. ALL LOCKSETS & LATCH SETS SHALL BE LEVER HANDLES.
 C. VERIFY ALL EXISTING DOOR HARDWARE TO COMPLY WITH CURRENT CODE. SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. VERIFY EXISTING DOOR HANDLES, PULLS, LATCHES, LOCKS & OTHER OPERATING DEVICES ARE INSTALLED BETWEEN 34" - 48" AFF.
 D. GC TO INSTALL OWNER PROVIDED CORES PER HARDWARE SCHEDULE AT TIME OF STORE TURNOVER.
 E. AT EXISTING DOORS TO REMAIN, VERIFY THAT EXISTING DOOR HARDWARE MEETS OR EXCEEDS THE REQUIREMENTS OF THE SPECIFIED HARDWARE. REPLACE AS REQUIRED.
 F. DOORS WITH CLOSERS SHALL COMPLY WITH THE FOLLOWING:
 1. SLBF MAXIMUM FORCE FOR OPENING DOOR
 2. FROM AN OPEN POSITION OF 70°, DOOR SHALL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3 INCHES FROM THE LATCH, MEASURED TO THE LEADING EDGE OF THE DOOR.
 G. LEVER SETS TO BE FALCON GRADE 1 WITH INTERCHANGEABLE CORES. T-SERIES OR APPROVED EQUAL. LEVER TO BE AVALON STYLE.

2 DOOR SCHEDULE, HARDWARE, AND DOOR TYPES

NO SCALE	
1	NOT USED

STORE #1436
 40 S MAGNOLIA AVE.
 OCALA, FL
 34470

DESIGNER	
DATE	
REVISIONS	
NO.	

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Project No.	250219
Scale	AS NOTED
Drawn	EL
Checked	CF
Date	10/09/25
Drawing Title	DOOR SCHEDULE

Drawing No. **A410**

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Framework Commercial Building Improvement Grant

ELIGIBLE AREA

Properties within the Downtown Ocala CRA boundary.

ELIGIBLE APPLICANT

Property owner or business owner.

ELIGIBLE BUSINESS

New & existing businesses; Retail, office. Residential on upper floors. Places of worship and residential rental properties are not considered as commercial buildings or businesses for the purpose of this grant.

ELIGIBLE PROPERTIES AND BUILDINGS

Existing buildings only; not for new construction.

Taxable & non-taxable properties; taxable properties are priority.

ELIGIBLE WORK

FACADES - For facades, the intent of this grant is to target projects that undertake a comprehensive restoration of facades that were inappropriately altered and /or renovations that make the building more in compliance with form-based code design and development requirements.

Examples of work items that would be eligible as a comprehensive project:

Painting, Doors, Windows And Signage - only as a component of major restoration or renovation project.

Metal Awnings – Eligible in any type of project.

INTERIOR RENOVATIONS - For interior renovations, the intent of this grant is to target projects that involve comprehensive renovation, such as new tenant build-out of vacant space. These projects would typically involve changes to these building components:

- Structural
- Cosmetic, material change outs – flooring, ceiling
- Fixtures, furniture, equipment
- Improvements to meet Building & Fire Codes for Accessibility, Fire Protection and Life Safety
- HVAC, plumbing, electric
- Conversion of upper floor space to residential

INELIGIBLE WORK

- Routine maintenance procedures, such as painting or minor repairs to existing materials alone, are not eligible; for a grant but may be a component of a larger project.
- Work in progress or performed before approval will not be eligible.
- Reroofing;
- Parking lot improvements



INELIGIBLE BUSINESSES

The following business do not fit the vision for downtown and as such are not eligible for either grant.

- Adult Oriented Businesses
- Tattoo Parlors/Shops
- Beauty Salons/Nail Shops on first floor
- Bail / Bonds
- Drug or Alcohol Treatment Facility
- Check Cashing Service
- Pawn Shops
- Used Clothing Consignment or Other Used Merchandise
- Auto Oriented Businesses – Auto repair & services; gas stations
- Dollar or Discount Stores
- Electronic or Vapor Cigarette Store

DESIGN GUIDELINES

All improvements are subject to Downtown Form Based Code

MAXIMUM GRANT

\$50,000 (**Reimbursement**)

REQUIRED MATCH

The City covers 50%, the applicant covers 50%.