

RECORDING FEES 61.00



This instrument prepared by
City of Ocala Utility Services
2100 NE 30th Ave., Bldg B.
Ocala, FL 34470-4875

- 1) Parcel I.D. # 13693-000-00
- 2) Job Site Address: NW 39th Street Road and NW 35th Place Road

**EASEMENT
(Corporation)**

THIS EASEMENT, Made this day between 3) Ocala 623 Land Development, LLC
(GRANTOR) their heirs, successors and assigns, and the City of Ocala, a municipal
corporation, under the laws of the State of Florida, its successors, lessees and assigns
(GRANTEE):

WITNESSETH, That, for and in consideration of the mutual benefits, covenants and
conditions herein contained, GRANTOR grants and conveys to GRANTEE an easement
to install, operate, and maintain in perpetuity or until the use thereof is abandoned, such
facilities as may be necessary or desirable for providing electric energy and services and
communication services. Said facilities being located in the following described
Easement Area within GRANTOR'S premises in Marion County, Florida, to wit:
4) SEC: 33 & 34, 5) TWP: 14S, 6) RNG: 21E.

LEGAL DESCRIPTION:

- 7) See attached legal description for Ashley Farms Golf and Country Club Phase 1D.
(EXHIBIT "A")

Easement to be 20 feet in width and the length and direction to be defined by City of
Ocala work order # EP09-156 (EXHIBIT "B")

The rights herein granted to GRANTEE by GRANTOR specifically include: (a) the right
for the GRANTEE to patrol, inspect, alter, improve, repair, rebuild, relocate, and remove
said facilities; (b) the right for GRANTEE to increase or decrease the voltage and to
change the quantity and type of facilities; (c) the right for GRANTEE to clear the
Easement Area of trees, limbs, undergrowth, and other physical objects which, in the
opinion of GRANTEE, endanger or interfere with the safe and efficient installation,
operation, or maintenance of said facilities; (d) the right for GRANTEE to trim or remove
any timber adjacent to but outside the Easement Area which, in the opinion of
GRANTEE, endangers or interferes with the safe and efficient installation, operation, or
maintenance of said facilities; (e) the reasonable right for GRANTEE to enter upon lands
of the GRANTOR adjacent to said Easement Area for the purpose of exercising the rights
herein granted; (f) all other rights and privileges reasonably necessary or convenient for

EXHIBIT "A"

LEGAL DESCRIPTION:

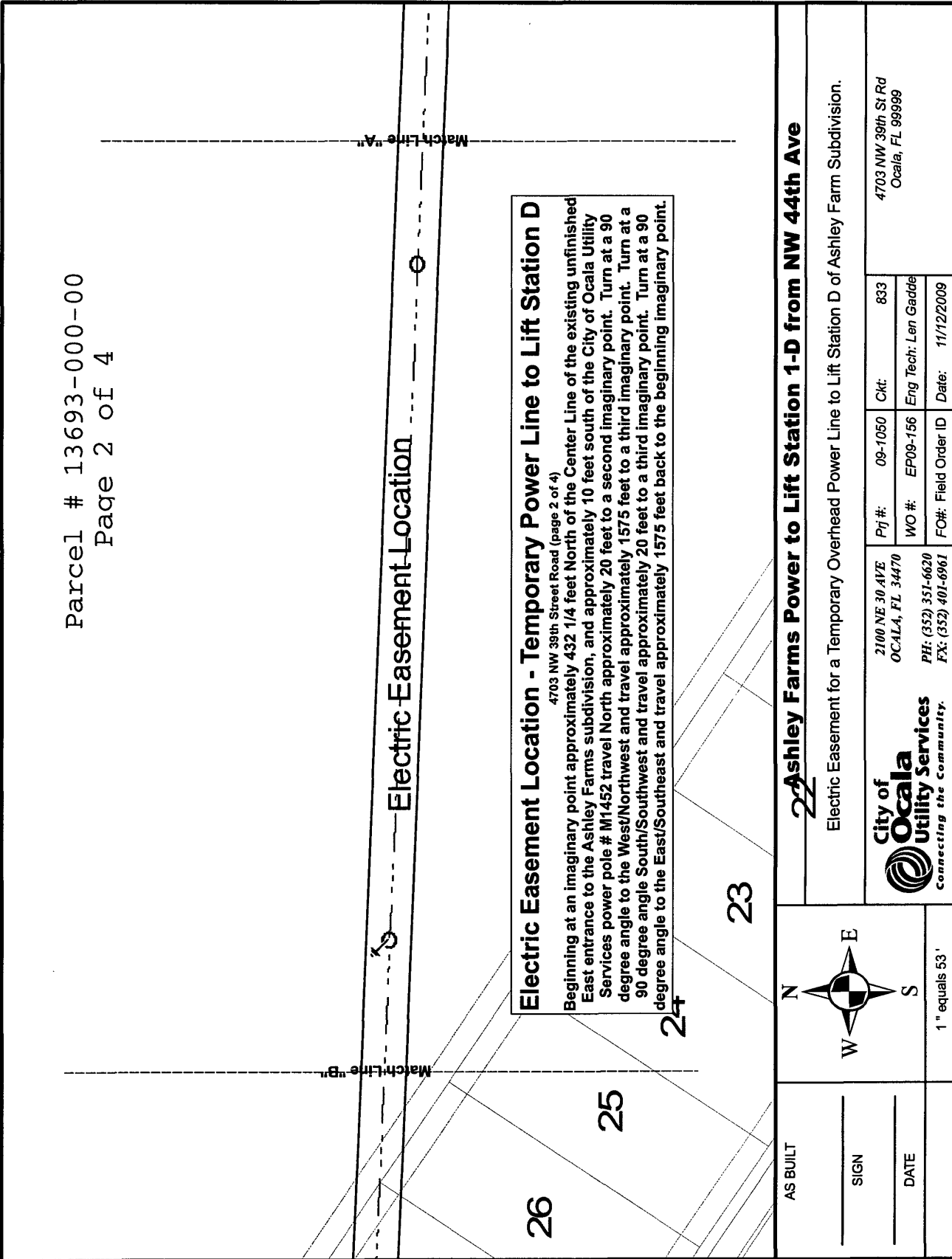
A PORTION OF SECTIONS 33 AND 34, TOWNSHIP 14 SOUTH, RANGE 21 EAST, MARION COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE NORTHEAST CORNER OF ASHLEY FARMS GOLF AND COUNTRY CLUB PHASES 1A AND 1C, AS RECORDED IN PLATBOOK 10, PAGE 100 OF THE PUBLIC RECORDS OF MARION COUNTY, FLORIDA AND BEING THE NORTHEAST CORNER OF THE SOUTH ONE-HALF OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 33; THENCE ALONG THE BOUNDARY OF SAID ASHLEY FARMS GOLF AND COUNTRY CLUB PHASES 1A AND 1C THE FOLLOWING 15 COURSES: NORTH 85°17'35" WEST A DISTANCE OF 82.85 FEET; THENCE NORTH 33°10'25" WEST A DISTANCE OF 185.00 FEET TO A POINT ON A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 460.00 FEET, A CENTRAL ANGLE OF 3°24'53", A CHORD BEARING OF NORTH 58°32'01" EAST AND A CHORD DISTANCE OF 27.41 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 27.41 FEET; THENCE NORTH 50°06'49" WEST A DISTANCE OF 117.71 FEET TO THE POINT OF CURVATURE OF A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 200.00 FEET, A CENTRAL ANGLE OF 24°18'05", A CHORD BEARING OF NORTH 37°57'46" WEST AND A CHORD DISTANCE OF 84.19 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 84.83 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 195.00 FEET, A CENTRAL ANGLE OF 89°43'48", A CHORD BEARING OF NORTH 70°40'37" WEST AND A CHORD DISTANCE OF 275.12 FEET; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 305.39 FEET TO THE POINT OF TANGENCY; THENCE NORTH 25°32'32" WEST A DISTANCE OF 97.09 FEET; THENCE NORTH 66°05'41" WEST A DISTANCE OF 179.38 FEET; THENCE NORTH 87°32'07" WEST A DISTANCE OF 88.13 FEET; THENCE SOUTH 63°55'58" WEST A DISTANCE OF 57.91 FEET; THENCE SOUTH 20°13'04" WEST A DISTANCE OF 443.24 FEET; THENCE SOUTH 27°26'58" WEST A DISTANCE OF 54.24 FEET; THENCE SOUTH 02°27'22" EAST A DISTANCE OF 88.47 FEET; THENCE SOUTH 09°24'13" EAST A DISTANCE OF 121.74 FEET; THENCE SOUTH 86°52'03" WEST A DISTANCE OF 279.21 FEET; THENCE LEAVING SAID BOUNDARY OF ASHLEY FARMS GOLF AND COUNTRY CLUB PHASES 1A AND 1C NORTH 15°18'34" WEST A DISTANCE OF 660.80 FEET; THENCE NORTH 37°38'14" EAST A DISTANCE OF 797.24 FEET; THENCE NORTH 26°44'47" WEST A DISTANCE OF 70.92 FEET; THENCE NORTH 87°38'01" EAST A DISTANCE OF 375.10 FEET; THENCE NORTH 69°28'16" EAST A DISTANCE OF 135.01 FEET TO A POINT ON A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 830.00 FEET, A CENTRAL ANGLE OF 05°11'19", A CHORD BEARING OF SOUTH 23°48'48" EAST AND A CHORD DISTANCE OF 75.14 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 75.16 FEET; THENCE NORTH 63°12'46" EAST A DISTANCE OF 195.01 FEET; THENCE NORTH 67°36'31" EAST A DISTANCE OF 125.51 FEET; THENCE SOUTH 89°34'14" EAST A DISTANCE OF 230.10 FEET TO THE NORTHWEST CORNER OF THE SOUTHWEST ONE-QUARTER OF SAID SECTION 34; THENCE CONTINUE SOUTH 89°34'14" EAST ALONG THE NORTH LINE OF THE SOUTHWEST ONE-QUARTER OF SAID SECTION 34 A DISTANCE OF 2,626.92 FEET TO THE WESTERLY RIGHT-OF-WAY OF N.W. 44TH AVENUE (50' RIGHT-OF-WAY); THENCE SOUTH 00°34'55" WEST ALONG SAID WESTERLY LINE A DISTANCE OF 1,316.74 FEET TO THE SOUTH LINE OF NORTH ONE-HALF OF THE SOUTHWEST ONE-QUARTER OF SAID SECTION 34; THENCE NORTH 89°36'44" WEST ALONG THE SOUTH LINE OF THE NORTH ONE-HALF OF THE SOUTHWEST ONE-QUARTER OF SAID SECTION 34 A DISTANCE OF 2,623.95 FEET TO THE POINT OF BEGINNING.

SAID LANDS LYING AND SITUATE IN MARION COUNTY, FLORIDA AND CONTAINS 108.88 ACRES, MORE OR LESS.

SUBJECT TO EXISTING EASEMENTS, RIGHTS-OF-WAY, COVENANTS, RESERVATIONS AND RESTRICTIONS OF RECORD.

Parcel # 13693-000-00
Page 2 of 4



Electric Easement Location - Temporary Power Line to Lift Station D
 4703 NW 39th Street Road (page 2 of 4)
 Beginning at an imaginary point approximately 432 1/4 feet North of the Center Line of the existing unfinished East entrance to the Ashley Farms subdivision, and approximately 10 feet south of the City of Ocala Utility Services power pole # M1452 travel North approximately 20 feet to a second imaginary point. Turn at a 90 degree angle to the West/Northwest and travel approximately 1575 feet to a third imaginary point. Turn at a 90 degree angle South/Southeast and travel approximately 20 feet to a third imaginary point. Turn at a 90 degree angle to the East/Southeast and travel approximately 1575 feet back to the beginning imaginary point.

Ashley Farms Power to Lift Station 1-D from NW 44th Ave

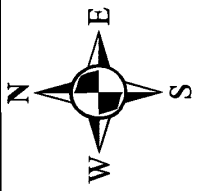
Electric Easement for a Temporary Overhead Power Line to Lift Station D of Ashley Farm Subdivision.



2100 NE 30 AVE
OCALA, FL 34470
PH: (352) 351-6620
FX: (352) 401-6961

Pj #: 09-1050 Ckt: 833
WO #: EP09-156 Eng Tech: Len Gadder
FO#: Field Order ID Date: 11/12/2009

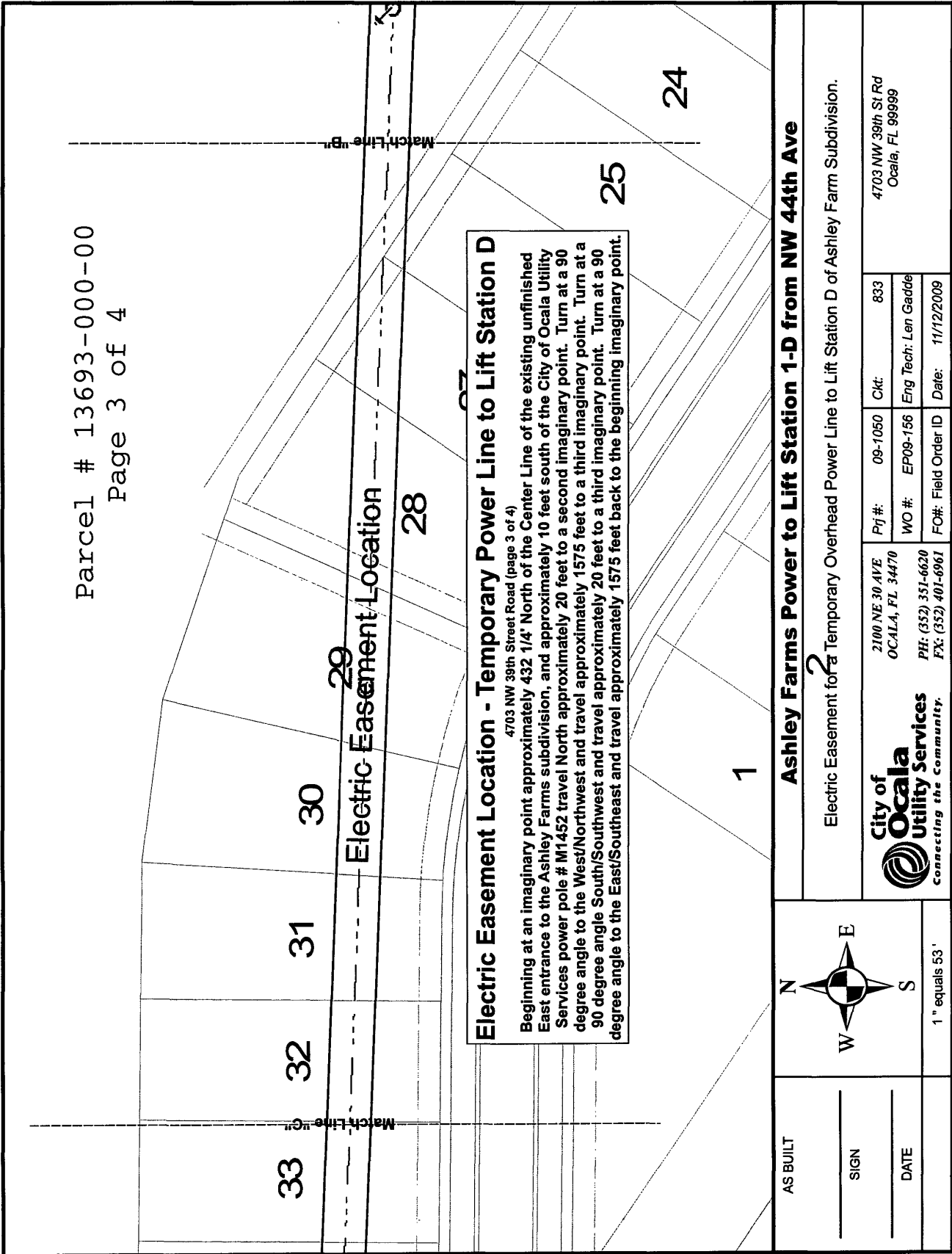
4703 NW 39th St Rd
Ocala, FL 99999



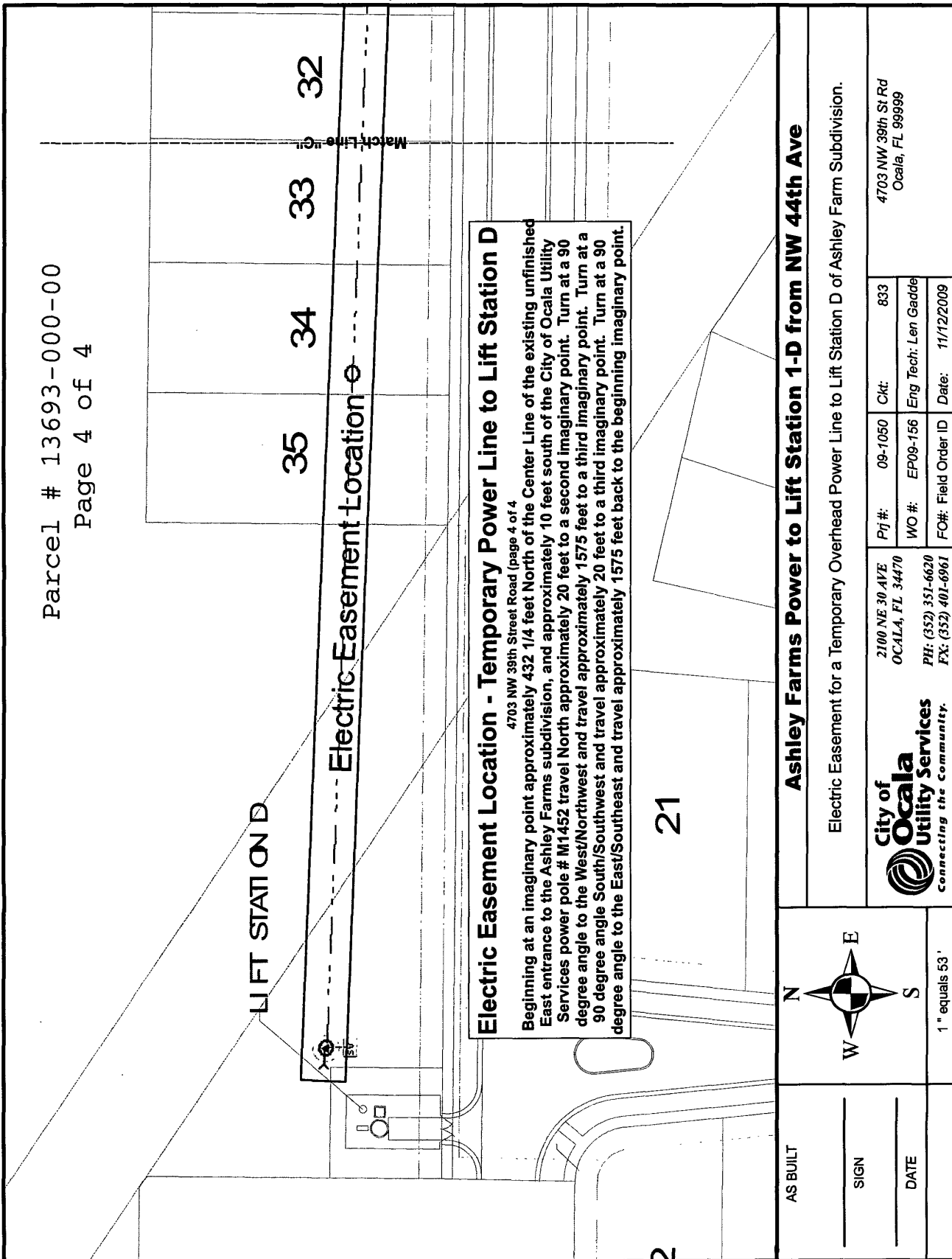
1" equals 53'

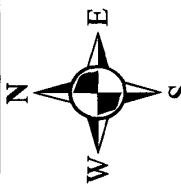
AS BUILT
SIGN
DATE

Parcel # 13693-000-00
Page 3 of 4



Parcel # 13693-000-00
Page 4 of 4



AS BUILT			1" equals 53'	
SIGN	Ashley Farms Power to Lift Station 1-D from NW 44th Ave			
DATE	Electric Easement for a Temporary Overhead Power Line to Lift Station D of Ashley Farm Subdivision.			
	City of Ocala Utility Services Connecting the Community.	Pj #: 09-1050 WO #: EP09-156 FO#: Field Order ID	Ckt: 833 Eng Tech: Len Gadde Date: 11/12/2009	2100 NE 30 AVE OCALA, FL 34470 PH: (352) 351-6620 FX: (352) 401-6961
				4703 NW 39th St Rd Ocala, FL 99999