



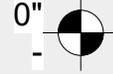
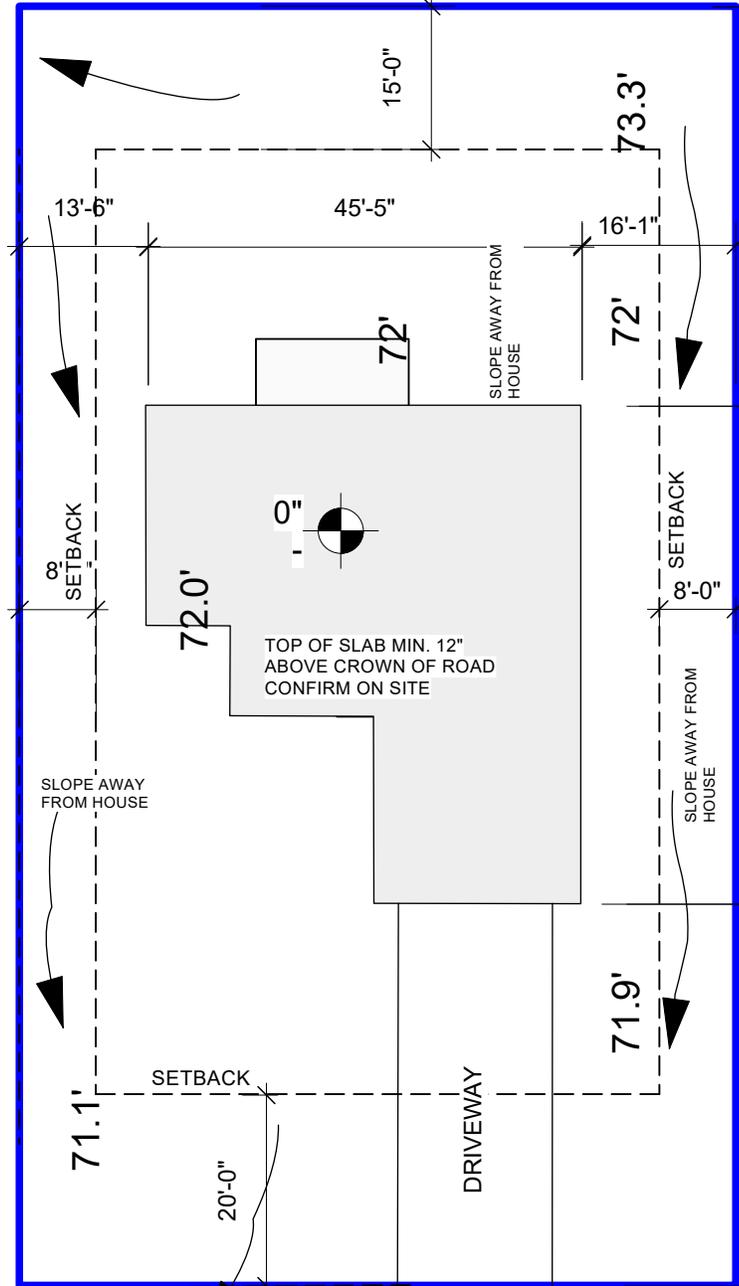
NW 9th St.

40' R/W (IMPROVED)

71' OR HIGHER THAN ROAD

75'-0"

72'



TOP OF SLAB MIN. 12" ABOVE CROWN OF ROAD CONFIRM ON SITE

SLOPE AWAY FROM HOUSE

SLOPE AWAY FROM HOUSE

SLOPE AWAY FROM HOUSE

SETBACK

DRIVEWAY

71' OR HIGHER THAN ROAD
50' R/W (IMPROVED)

41'-10"

52'-2"

134'-0"

40'-0"

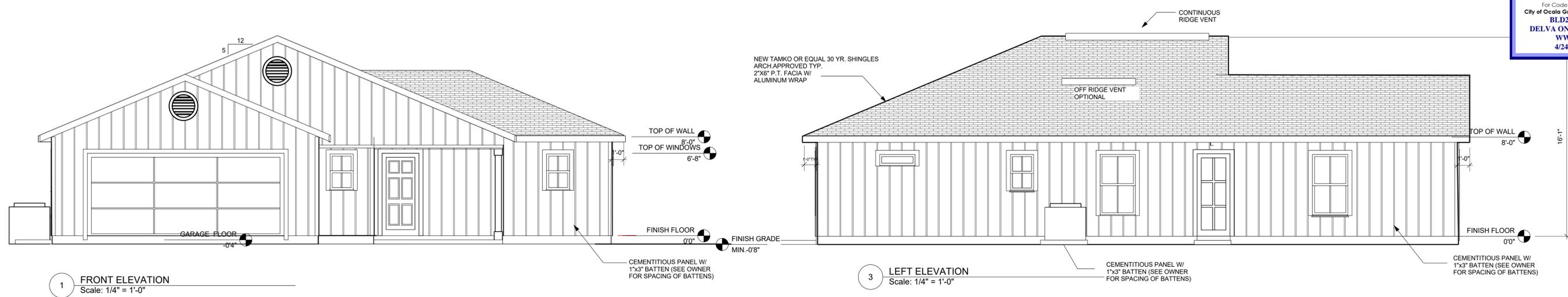
65'-0"

NW 13th Ave.

1

SITE PLAN

Scale: 1" = 20'-0"



1 FRONT ELEVATION
 Scale: 1/4" = 1'-0"

3 LEFT ELEVATION
 Scale: 1/4" = 1'-0"

THESE PLANS ARE NOT TO BE REPRODUCED OR REPLICATED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF KERMIT HUGHES ARCHITECT. ANY REVISIONS OF THESE PLANS WITHOUT WRITTEN CONSENT OF KERMIT HUGHES ARCHITECT SHALL UNDERMINE ANY RESPONSIBILITY RELATED TO THE PROJECT.

DATE ISSUED	03/12/2025
REVISION	
DRAWN BY	CAROLINE
APPROVED BY	KERMIT

ELEVATIONS
 FRONT, RIGHT, REAR & LEFT ELEVATIONS,
 ROOF PLAN

Ventilation Calculation

Area of conditioned space **1295 SQ. FT.**
 Convert to square inches **186480 SQ. IN.**

Required vented area is 1/300 of total conditioned space.
 If 40-50% of ventilation is within 3' of ridge
 Total vented area is $1/300 \times 186480 = 621.6$ SQ. IN

50% of the total vented area is **310.8 SQ. IN.**

RIDGE VENT PORTION OF VENTILATION

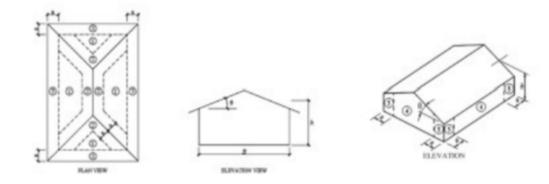
TOTAL FEET OF RIDGE VENT **12 FT**
 RIDGE VENT TYPICAL 20 SQ. IN. CLEAR SPACE PER FOOT
 $20 \text{ SQ. IN.} \times 12 = 240 \text{ SQ. IN.}$

REMAINDER REQUIRED IN OFF RIDGE VENTS $310.8 - 240 = 70.8$

OFF RIDGE VENT PORTION OF VENTILATION
 122SQ. IN. PER 6' OF OFF RIDGE VENT
 REMAINDER REQUIRED **70.8**
 OFF RIDGE VENT PORTION OF VENTILATION = $70.8 / 0.580328 = 122.15$
 NUMBER OF OFF RIDGE VENTS REQUIRED **1**
 1 NO OFF RIDGE VENT REQUIRED

SOFFIT VENT
 TOTAL FEET OF SOFFIT **156**
 4 SQ. IN. OPEN PER FOOT OF SOFFIT VENT FOR 12" OVERHANG
 $4 \text{ SQ. IN.} \times 156 = 624$

PROVIDE 12 FT. RIDGE VENT TOTAL 3 LOCATIONS
 1 OFF RIDGE VENT AT 6' EACH NO OFF RIDGE VENT REQUIRED
 CONTINUOUS SOFFIT VENT



- ZONE 2, 2 & 3 USE FASTENERS @ 4" O.C. ON SHEET EDGES AND 4" O.C. IN SHEET FIELD
 - SPACE FASTENERS 4" O.C. MIN. @ GABLE ENDWALL OR GABLE TRUSS.
- FASTENERS SHALL BE 8D RING SHANKED

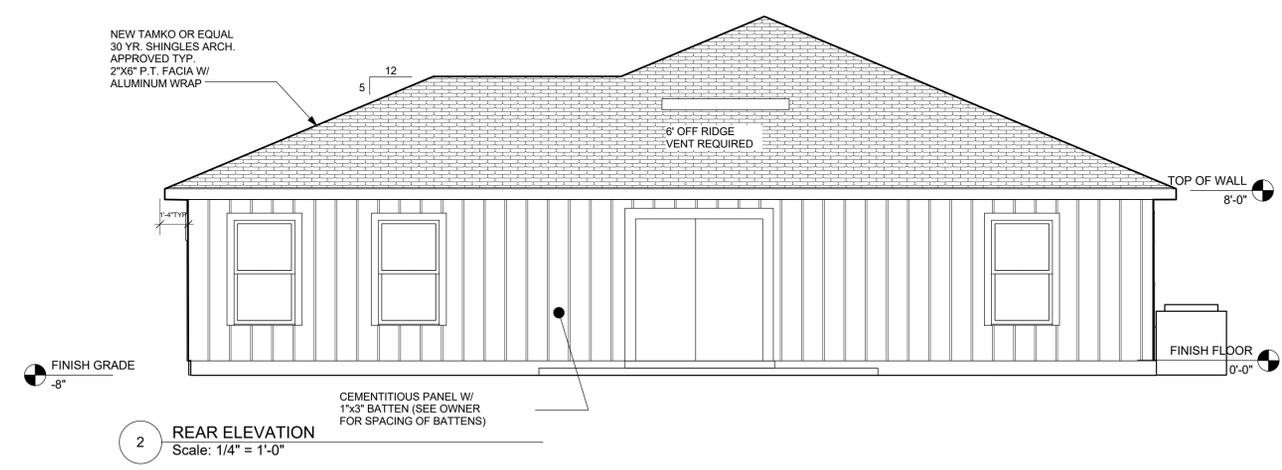
COMPONENT & CLADDING DESIGN PRESSURES:

COMPONENT & CLADDING DESIGN PRESSURE LOADS: SUPPLIERS / MANUFACTURERS OF ALL CLADDING AND COMPONENTS (INCLUDING, BUT NOT LIMITED TO: SIDING, ROOFING, DOORS, WINDOWS, AWNINGS, ETC.) WILL SUBMIT REPORTS & DATA SIGNED AND SEALED BY A LICENSED STRUCTURAL ENGINEER IN THE STATE OF FLORIDA DOCUMENTING COMPLIANCE WITH THIS PROVISION OF THE FLORIDA BUILDING CODE; 2023 8th EDITION WITH SUPPLEMENTS

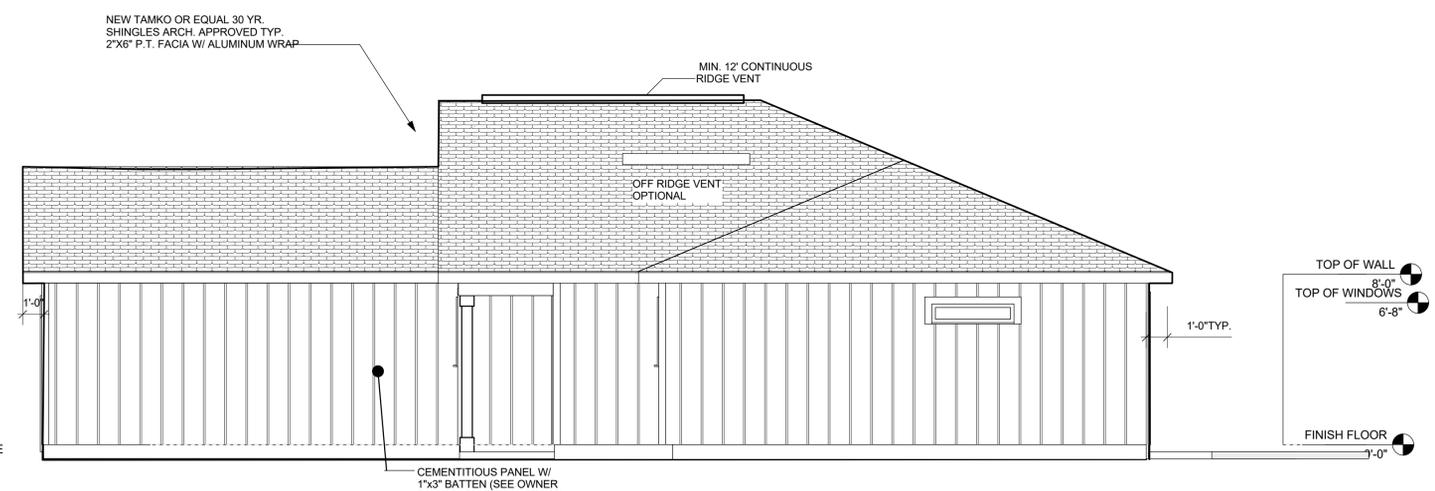
BASIC WIND SPEED 140 MPH ROOF SLOPE 20'-27' INTERNAL PRESSURE COEFFICIENT .18
 'A' DIMENSION = 4'

COMPONENT & CLADDING
 COMPONENT AND CLADDING WIND LOADS FOR A BUILDING WITH A MEAN ROOF HEIGHT OF 30 FEET LOCATED IN EXPOSURE B (psf RISK CATEGORY II)

ZONE	EFFECTIVE WIND AREA	POS NEG	
		POS	NEG
HIP ROOF >20 TO 27 DEGREES	1	10	-28.3
	1	20	-25.1
	1	50	-20.8
	1	100	-17.6
	2e, 2r, 3	10	-39.1
	2e, 2r, 3	20	-34.9
WALLS	2e, 2r, 3	50	-29.4
	2e, 2r, 3	100	-25.3
	4	10	21.2
	4	20	20.2
	4	50	19.0
	4	100	18.0
	4	500	15.8
	5	10	21.2
	5	20	20.2
	5	50	19.0
5	100	18.0	
5	500	15.8	



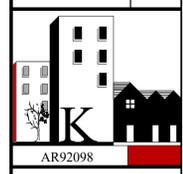
2 REAR ELEVATION
 Scale: 1/4" = 1'-0"



4 RIGHT ELEVATION
 Scale: 1/4" = 1'-0"

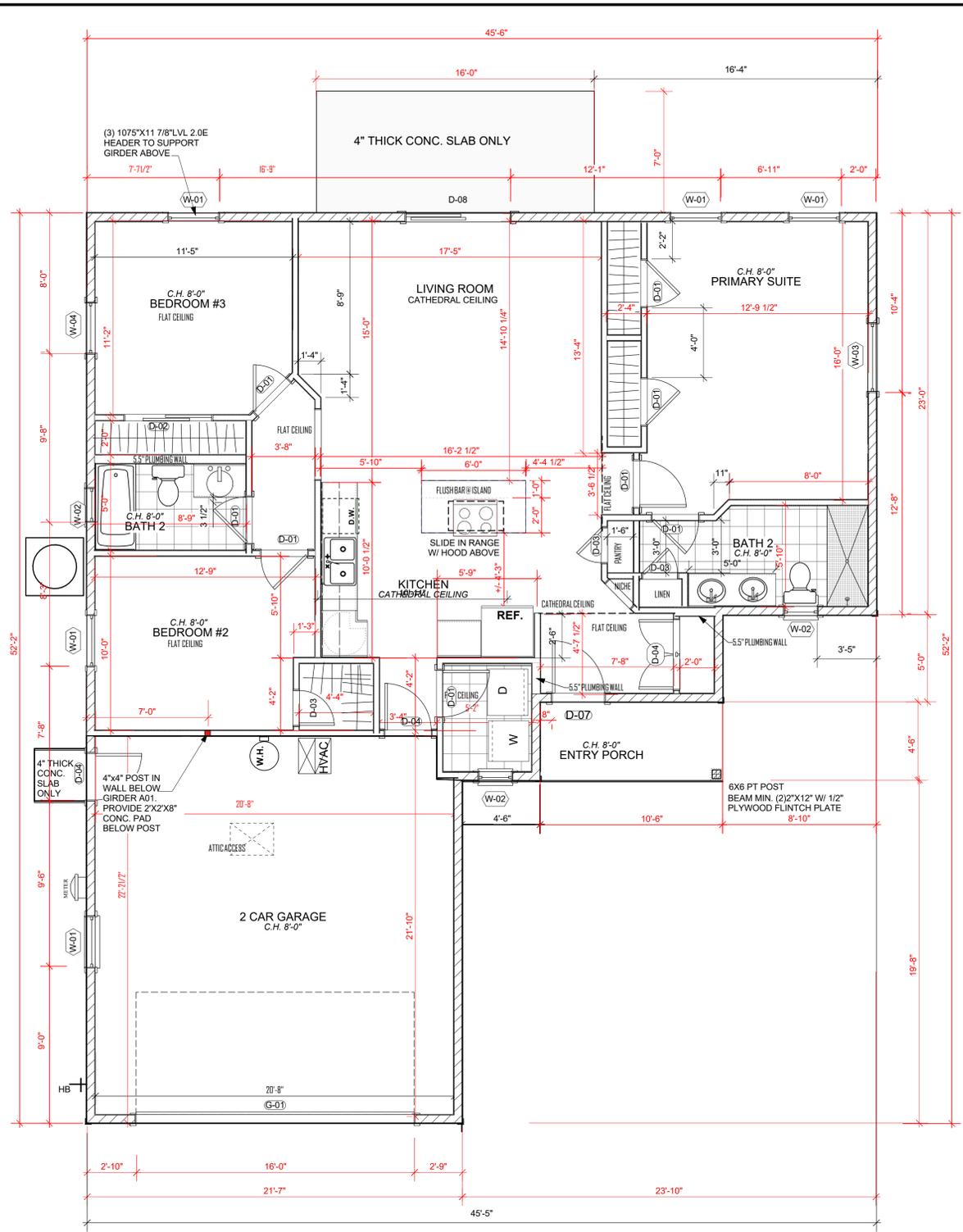
MODEL PLAN
Winker II Model
 NW 8TH ST.
 OCALA, FL

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REVIEWED
 For Code Compliance
 City of Ocala Growth Management
 BLD25-0677
 DELVA ONE NEW SFR
 WWP1 4
 4/24/2025

BUILDING AREA	
NEW	1,295
LIVING CONDITIONED	47
ENTRY PORCH	476
CAR GARAGE	1,818
GRAND TOTAL	



1 FLOORPLAN
 Scale: 1/4" = 1'-0"

WALL SCHEDULE	
	6" EXTERIOR LOAD BEARING WALL W/ DBL. TOP PLATE (SHOWN ACTUAL 5 1/2")
	6" PLUMBING WALL, (SHOWN ACTUAL 5 1/2")
	4" PARTITION WALL (SHOWN ACTUAL 3 1/2")
	7/8" HIGH PARTITION WALL W/ PLANT SHELF ABOVE

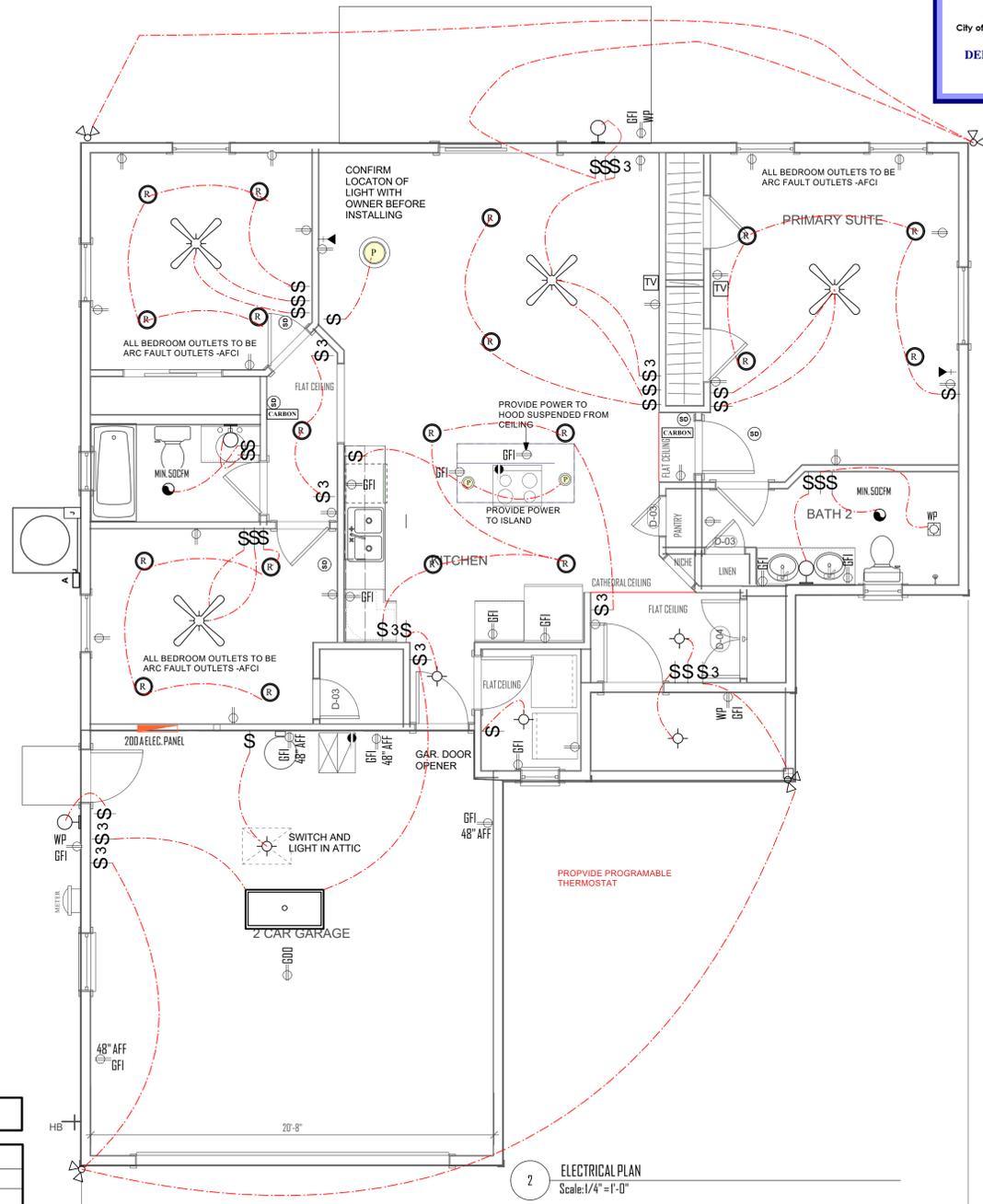
FLORIDA RESIDENTIAL CODE 2023 8th EDITION WITH UPDATES.
 OCCUPANCY CLASS RESIDENTIAL R3
 TYPE OF CONSTRUCTION V-B
 UNPROTECTED
 UNSPRINKLED

- GENERAL CONSTRUCTION NOTES**
- ALL DIMENSIONS ARE TO THE FACE OF STUD UNLESS NOTED OTHERWISE.
 - FIELD VERIFY ALL DIMENSIONS.
 - PROVIDE 2X4 BLOCKING BEHIND ALL WALL MOUNTED CABINETS.
 - PROVIDE MOISTURE RESISTANT GYPSUM BOARD OR CEMENT BOARD, BEHIND ALL SINKS AND IN WET AREAS.
 - COORDINATE INTERIOR FINISHES WITH OWNER
 - ALL GROUND FLOOR PLANS SHALL BE 8' CEILING UNLESS OTHERWISE NOTED.
 - PROVIDE R-38 (MIN.) INSULATION ABOVE CEILING. IN ATTIC. PROVIDE R-13 INSULATION @ ALL WOOD FRAME WALLS
 - FIELD VERIFY ALL CABINETS DIMENSIONS BEFORE MANUFACTURING

WINDOW SCHEDULE				
ID	MANUFACTURER ID	WIDTH	HEIGHT	REMARK
W 01	SH3050	36"	60"	
W 02	SH2030	24"	36"	ORSURE/ FROSTED- BATHROOMS ONLY
W 03	48"X12" TRANSOM	48"	12"	N/A
W 04	36"X12" TRANSOM	36"	12"	N/A

DOOR SCHEDULE				
ID	MANUFACTURER ID	WIDTH	HEIGHT	REMARK
INTERIOR DOORS				
D01	2868	32"	80"	(2) 2868 BI-PASS DOOR
D02	5068	60"	80"	
D03	2068	24"	80"	
D04	5068	60"	80"	(2) 2868 SWING DOOR
D05	2468	28"	80"	
EXTERIOR DOORS				
D08	6068	72"	80"	(2) 36" GLASS SLIDING DOORS
D07	3068	36"	80"	EXTERIOR METAL FRONT DOOR
G01	160" X 70"	192"	84"	GARAGE DOOR
D04	2868	32"	80"	SOLID CORE, METAL

DIMENSIONS SHOWN ARE FINISH DIMENSIONS. SEE MANUFACTURERS ROUGH OPENING REQUIREMENTS BEFORE BEGINNING CONSTRUCTION
 SUPPLIER SHALL PROVIDE ROUGH OPENING DIMENSIONS FOR ALL WINDOWS AND DOORS BEFORE CONSTRUCTION BEGINS. SUPPLIER SHALL ALSO PROVIDE INSTALLATION DETAILS THAT SUPPORT THE MANUFACTURERS WARRANTY AND FLORIDA PRODUCT APPROVAL NUMBERS FOR ALL OPENINGS



2 ELECTRICAL PLAN
 Scale: 1/4" = 1'-0"

ELECTRICAL LEGEND			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	WALL MOUNTED LIGHT, STYLE BY OWNER		DUPLEX FLOOR RECEPTACLE COORDINATE LOCATION IN FIELD
	MOISTURE RESISTANT EXTERIOR GRADE WALL MOUNTED LIGHT, STYLE BY OWNER		110 DUPLEX RECEPTACLE MOUNTED 18" A.F.F.
	DECORATIVE WALL SCONCE, STYLE BY OWNER		220 DUPLEX RECEPTACLE
	WALL MOUNTED LIGHT		110 RECEPTACLE GROUND FAULT
	EXTERIOR FLOOD LIGHT		110 RECEPTACLE GROUND FAULT AND WATER PROOF
	DIRECTIONAL RECESSED CAN LIGHT		110 RECEPTACLE W/GROUND FAULT MOUNTED 48" AFF
	RECESSED CAN		110 RECEPTACLE CEILING MOUNTED FOR GARAGE DOOR OPENER
	SMALL PENDANT LIGHT		SWITCHED RECEPT MOUNTED IN EXTERIOR SOFFIT
	CHANDLIER PENDANT LIGHT		TELEPHONE/DATA OUTLET
	WATER PROOF CAN LIGHT		SWITCH
	CEILING FAN WITH LIGHT KIT, STYLE BY OWNER		3 WAY SWITCH
	12"x48" FLUORESCENT LIGHT		EXHAUST FAN 50 CFM UNLESS NOTED OTHERWISE
	24"x48" FLUORESCENT LIGHT		CABLE OUTLET, COORDINATE LOCATION AND AMOUNT W/ OWNER.
	12"x24" FLUORESCENT LIGHT		SMOKE DETECTOR
	SMALL FLUORESCENT UNDER CABINET LIGHT		A/C DISCONNECT
	CARBON MONOXIDE DETECTOR		JUNCTION BOX
			METER
			PANEL BOX

NOTE: ALL ELECTRICAL RECEPTACLES IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOMS OR AREA SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.

DATE ISSUED	03/12/2025
REVISION	
DRAWN BY	CAROLINE
APPROVED BY	KERMIT

FLOOR PLAN/ELECTRICAL
 FLOOR PLAN/NOTES/ELECTRICAL PLAN

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AR92098
 SHEET NO.
 A100
 1 OF 4