



Ocala Historic Preservation Advisory Board Agenda

- Final

Thursday, January 2, 2025

Meeting Information

Location

Ocala City Hall
Council Chambers - Second Floor
110 SE Watula Avenue
Ocala, FL 34471

<https://ocalafl.gov/meetings>

Time

4:00 PM

Board Members

Carol Barber
Jane Cosand
Holland Drake
Rick Hugli, Chair
Tom McCullough, Vice Chair
Noelle Smith
Melissa Townsend

Staff

Breah Miller, Staff Liaison
Planner II
Growth Management Department

Jeff Shrum, AICP
Director
Growth Management Department

Gabriela Solano
Committee Secretary

In memory of
Ira Holmes
Chairman Emeritus

WELCOME!

Citizens are encouraged to participate in City of Ocala meetings. The City of Ocala encourages civility in public discourse and requests that speakers limit their comments to specific motions and direct their comments to the Council. Cell phones should be turned off or set to vibrate.

APPEALS

Any person who desires to appeal any decision at this meeting will need a record of the proceedings and for this purpose may need to ensure that a verbatim record of the proceedings is made that includes the testimony and evidence upon which the appeal is made.

ADA COMPLIANCE

If reasonable accommodations are needed for you to participate in this meeting, please call 352-629-8404 at least 48 hours in advance so arrangements can be made.

As a courtesy to all, PLEASE be on time.

The meeting should start promptly at 4:00 pm

1. Call To Order

- a. Roll Call

2. Public Meeting Notice Acknowledgement

3. Review of September 12, 2024 Meeting Minutes.

- a. [September 12, 2024 Meeting Minutes.](#)

Attachments: [9-12-24 Meeting Minutes.pdf](#)

4. Certificates of Appropriateness

- a. [Case File # 358; COA24- 45856; 2820-028-009](#)
[A request to substitute approved JELD-WEN and Solarium branded windows and doors with custom-wooded Andersen, Kolbe, and ThermaTru branded windows and doors.](#)

Petitioner: Joseph Carvalho

Agent: N/A

Planner: Breah Miller, Planner II

bmiller@ocalafl.gov

Recommended Action: Appropriate

Attachments: [COA24-45856 Staff Report](#)
[COA24-45856 Application](#)

- b. [Case File # 171; COA24- 0003; 705 SE 4th Street](#)
[After-the-fact addition of a driveway, consisting of grey granite rock and concrete with a 6x6 PT landscaping beam border.](#)

Petitioner: Matthew Grow

Agent: N/A

Planner: Breah Miller, Planner II

bmiller@ocalafl.gov

Recommended Action: Appropriate

Attachments: [COA24-0003 Staff Report](#)
[COA24- 0003 Application](#)
[COA24- 0003 Master Site File](#)

- c. [Case File # 167; COA24- 0004; 316 SE Alvarez Avenue](#)
[To replace thirteen \(13\) windows with 3540 Single-Hung MI windows](#)
[and remove one \(1\) window from an accessory structure.](#)

Petitioner: Rolando Sosa

Agent: N/A

Planner: Breah Miller, Planner II
bmiller@ocalafl.gov

Recommended Action: Not Appropriate

Attachments: [COA24-0004 Staff Report](#)
[COA24- 0004 Application](#)
[COA24- 0004 Master Site File](#)

- 5. **Affirmative Maintenance**
- 6. **Public Comments**
- 7. **Staff Comments**
- 8. **Board Comments**
- 8. **Adjournment**



Ocala

Legislation Text

110 SE Watula Avenue
Ocala, FL 34471

www.ocalafl.gov

File #: 2025-0487

Agenda Item #: a.

September 12, 2024 Meeting Minutes.



Ocala

Historic Preservation Advisory Board

Minutes

Thursday, September 12, 2024

4:00 PM

1. Call To Order

Present Vice Chair Tom McCullough
Carol Barber
Jane Cosand
Holland Drake
Noelle Smith
Melissa Townsend
Chairman Rick Hugli

a. Roll Call

Present Vice Chair Tom McCullough
Carol Barber
Jane Cosand
Noelle Smith
Melissa Townsend
Chairman Rick Hugli

Absent Holland Drake

2. The public meeting notice for the Ocala Historic Preservation Advisory Board was posted on September 5, 2024.

3. Review of June 6, 2024 Meeting Minutes

a.

Attachments: [6-6-24 OHPAB Meeting Minutes.pdf](#)

RESULT: APPROVED

MOVER: Jane Cosand

SECONDER: Tom McCullough

AYE: Vice Chair McCullough, Barber, Cosand, Smith, Townsend, and
Chairman Hugli

ABSENT: Drake

4. Certificates of Appropriateness

a.

Attachments: [COA24-45773 - Staff Report](#)
[COA24-45773 - Application](#)
[COA24-45773; Site Visit Photos](#)
[COA24-45773; Mast Site File](#)

Planner II Brea Miller provided a brief overview of COA24-45773 a request to replace all windows with white Simonton 5050 collection, double hung and no grille pattern.

Laura Perea, 709 E. Fort King, Ocala, FL, said the siding and the windows are in really bad shape.

Ms. Barber asked if they are the original windows. Ms. Perea replied yes and the house has a lot of original pieces.

Motion to approve COA24-45773, Section 94-82(g), The Secretary of the Interior Standards; Window (page 102) (page 106), to replace all windows with Simonton 5050 collection, double hung, no grille pattern, white windows for 709 E. Fort King.

RESULT: APPROVED

MOVER: Jane Cosand

SECONDER: Melissa Townsend

AYE: Vice Chair McCullough, Cosand, Smith, Townsend, and Chairman Hugli

NAY: Barber

ABSENT: Drake

b.

Attachments: [COA24-45780 - Staff Report](#)
[COA24-45780 - Application](#)
[COA24-45780; Site Visit Photos](#)
[COA24-45780 - Master Site File](#)

Ms. Miller provided a brief overview of COA24-45780, a request for an additional copper gutter.

Motion to postpone COA24-45780 to allow the owner to be present at the hearing as required.

RESULT: POSTPONED

MOVER: Jane Cosand

SECONDER: Tom McCullough

AYE: Vice Chair McCullough, Barber, Cosand, Smith, Townsend, and Chairman Hugli

ABSENT: Drake

c.

Attachments: [COA24-45781 - Staff Report](#)
[COA24-45781 - Application](#)
[COA24-45781 - Site Visit Photos](#)
[COA24-45781 - Master Site File](#)

Ms. Miller provided a brief overview of COA24-45781, a request to replace two wooden gates with aluminum gates.

Mariana Alioto, 1248 SE 3rd Street, Ocala, FL, said the gate is falling apart.

Mr. McCullough asked if the two gates are going to be arched. Ms. Alioto replied the one on the picture is arched and double gated. The other gate is single and flat on the top.

Motion to approve COA24-45781, Certificate of Appropriateness Criteria for Decisions (Section 94-82(g) and Secretary of the Interior Standards; Building Site (page 137) for 1248 SE 3rd Street.

- RESULT:** APPROVED
- MOVER:** Tom McCullough
- SECONDER:** Melissa Townsend
- AYE:** Vice Chair McCullough, Barber, Cosand, Smith, Townsend, and Chairman Hugli
- ABSENT:** Drake

d.

- Attachments:** [COA24-45787 - Staff Report](#)
[COA24-45787 - Application](#)
[COA24-45787 - Site Visit Photos](#)
[COA24-45787 - Master Site File](#)

Ms. Miller provided a brief overview of COA24-45787, a request to replace wood columns with FRP composite.

Jane Cosand, 520 SE Wenona Avenue said it is important to replace the columns because they are always rotting and that is why she is using composite. Mr. McCullough said it is a great addition and adds character to the house.

Motion to approve COA24-45787 Certificate of Appropriateness Criteria for Decisions (Section 94-82(g), Secretary of the Interior Standards; Building Site (page 137) and Secretary of the Interior Standards; Entrances and Porches (page 50) for 520 SE Wenona Avenue.

- RESULT:** APPROVED
- MOVER:** Tom McCullough
- SECONDER:** Carol Barber
- AYE:** Vice Chair McCullough, Barber, Smith, Townsend, and Chairman Hugli
- ABSENT:** Drake
- RECUSED:** Cosand

5. Affirmative Maintenance

None.

6. Public Comments

None.

7. Staff Comments

Ms. Miller said at the next meeting in October there will be a presentation about historic windows and she will try to get the City Attorney to talk about the Sunshine State Laws.

Ms. Miller introduced new member Noelle Smith to the Board.

Mr. Hugli asked if there were any applications for the next meeting. Ms. Miller replied there are no applications.

8. Board Comments

Ms. Smith said she was born in Ocala, moved away for awhile and is now back. She has started a new interior design business. She is excited to be on the Board.

9. Next Meeting Date: October 3**10. Adjournment**

The meeting adjourned at 4:27 pm.



Ocala

Legislation Text

110 SE Watula Avenue
Ocala, FL 34471

www.ocalafl.gov

File #: 2025-0405

Agenda Item #: a.

Case File # 358; COA24- 45856; 2820-028-009

A request to substitute approved JELD-WEN and Solarium branded windows and doors with custom-wooded Andersen, Kolbe, and ThermaTru branded windows and doors.

Petitioner: Joseph Carvalho

Agent: N./A

Planner: Breah Miller, Planner II

bmiller@ocalafl.gov

Recommended Action: Appropriate



Staff Report

Case #358

COA24-45856

Ocala Historic Preservation Advisory Board: January 2, 2024

Petitioner: Joseph & Kelly Carvalho
Property Owner: Joseph & Kelly Carvalho
Project Planner: Breah Miller, Planner II
Applicant Request: To substitute approved JELD-WEN and Solarium branded windows and doors with custom-wooded Andersen, Kolbe, and ThermaTru branded windows and doors.

Parcel Information

Acres: ±0.11 acres
Parcel(s) #: 2820-028-009
Location: 718 SE 2nd Street
Future Land Use: Neighborhood
Existing Use: Vacant/Undeveloped

Background:

The subject property is a vacant lot which has never been developed. The subject parcel previously served as driveway access and rear yard for the adjacent property located to the west, 205 SE Sanchez Avenue; however, the two lots are now under separate ownership. The subject property is a Lot of Record pursuant to City of Ocala Code of Ordinances Section 122-249, and is located in the Ocala Historic District.

- In August 2023, the applicant received approval for the New Construction of a single-family residence with the condition that the applicant returns, at later date, with specifics on the roofing, siding, windows, and doors.
- In December 2023, the applicant received approval from the Board of Adjustment for a front setback reduction of 20-feet to 13-feet and a rear yard setback reduction from 25-feet to 15-feet.
- In May 2024, the applicant came back before OHPAB and received approval for JELD-WEN custom wood double-hung windows with Seedy Remy glass for 13 windows, 4 black aluminum colonial grill doors, 1 solid wood door with a JELD-WEN 6203 glass panel, natural slate roofing material, and off-white natural marbled limestone plaster cladding.

Applicant Request:

The applicant is requesting approval to substitute the previously approved JELD-WEN and Solarium branded windows and doors with custom-wooded Andersen, Kolbe, and ThermaTru branded windows and doors.

Staff Analysis

Certificate of Appropriateness Criteria for Decisions (Section 94-82(g)):

The Code states that the Board may issue a certificate of appropriateness for the reconstruction, alteration, new construction, non-permanent structures, demolition, partial demolition, or removal of any building or structure within a locally designated historic district or any designated local landmark, or any other activity for which a CA is required, if such action is not deemed contrary to the purposes of historic preservation and to the special character of districts, sites and resources as designated specifically. The board's decisions will be based on the Secretary of the Interior's Standards, the city's Historic Preservation Design Guidelines, this chapter, and the following criteria:

1. Exterior alterations shall not diminish the architectural quality or historical character of the building or the building site.

The exterior details for the windows and doors are similar in visual character to the windows and doors that were approved during the May 2024 meeting. The selected windows and doors do not diminish the architectural quality or historical character of the building or the building site.

There will be one Kolbe branded window and the remaining 11 windows will be Andersen brand. The Kolbe window is similar in character and will be located on the rear façade of the home.

2. Sandblasting of any materials except for iron is prohibited.

Not Applicable; the request does not identify sandblasting of any materials.

3. Only through very controlled conditions can most historic building material be abrasively cleaned of soil or paint without measurable damage to the surface or profile of the substrate. Decisions regarding the proper cleaning process for historic structures can be made only after careful analysis of the building fabric, and testing. Generally, wet abrasive cleaning of a historic structure should be conducted within the range of 20 to 100 psi at a range of three to 12 inches.

Not Applicable; the request does not identify any abrasive cleaning.

4. Landscaping, signs, parking and site development should be sensitive to the individual building and should be visually compatible with the buildings and environment with which they are visually related.

Not Applicable; the request does not include any alteration or additional landscaping, signs, parking and site development.

5. New construction shall be visually compatible with the buildings and environment with which the new construction is visually related. When an application involves new construction, the applicant may present conceptual plans to the board for review and comment before the application for a certificate of appropriateness is submitted and before construction drawings of the project are prepared. Aspects to be considered include:

- a. The height, volume, proportion between width and height of the facades, the proportions and relationship between doors and windows, the rhythm of solids and voids created by openings in the facades, the materials used in the facades, the texture inherent in the facades, the colors, pattern and trim used in the facades, and the design of the roof.

The placement, width, height, and proportions of the proposed windows, doors, and facades were approved at the August 3, 2023, OHPAB meeting through COA23-45129. Substitution of the window brands will not alter the previously approved placement, width, height, and proportions.

- b. The existing rhythm created by existing building masses and spaces between them should be preserved.

The existing rhythm created by existing building masses and spaces between were approved at the August 3, 2023, OHPAB meeting through COA23-45129. Substitution of the window brands will not alter the previously approved rhythm, massing, or spacing.

- c. Landscape plans should be visually compatible with the buildings and environment with which the landscaping is visually related.

Not Applicable; the request does not include any proposed landscaping.

- d. Proportions of existing facades which are visually related shall be maintained when neighboring buildings have a dominant horizontal or vertical expression, that expression should be carried over in the new facade.

Not Applicable; the proposed alterations will not impact the existing façade expression.

- e. Architectural details should be incorporated as necessary to relate the new with the old and to preserve and enhance the inherent architectural characteristics of the area.

The exterior specifics for the windows and doors incorporate architectural details necessary to relate the new with the old, which helps to preserve and enhance the inherent architectural characteristics of the area.

- f. Accessory structures shall be compatible with the scale, shape, roof form, materials, and detailing of the main structure to protect the historic integrity of the neighborhood. The accessory structure shall not exceed the maximum height allowed by the applicable zoning or the height of the existing primary structure.

Not Applicable; the request does not include any proposed accessory structures.

The Secretary of the Interior Standards; Windows (page 102)

Recommended: Identifying, retaining, and preserving windows and their functional and decorative features that are important to the overall character of the building. The window material and how the window operates (e.g., double hung, casement, awning, or hopper) are significant, as are its components (including sash, muntins, ogee lugs, glazing, pane configuration, sills, mullions, casing, or brick molds) and related features, such as shutters.

The proposed windows do demonstrate that the decorative features were identified, retained and preserved. Windows will be wood and will have muntins to provide a historically appropriate appearance.

The Secretary of the Interior Standards; Windows (page 106)

Recommended: Using low-e glass with the least visible tint in new or replacement windows.

The proposed windows are low-e glass windows.

Recommended: Ensuring that spacer bars in between double panes of glass are the same color as the window sash.

All components of the proposed windows match in color.

Staff Recommendation: Appropriate



City of Ocala Growth Management Department
 201 S.E. 3rd Street, 2nd Floor
 352-629-8421 | www.ocalafl.org

Case File # 358

COA 24 - 45856

Meeting Date: 11-7-24

Product Approval # _____

Application for a Certificate of Appropriateness (COA)

As required by [Section 94-82\(g\)](#) of the City of Ocala Code of Ordinances, Ocala Historic Preservation Advisory Board (OHPAB) decisions on the COAs will be based on the [Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings](#) the [Ocala Historic Preservation Design Guidelines](#), and the [Ocala Historic Preservation Code](#).

COA Application Procedure:

1. Arrange an informal pre-application conference with Planning staff.
2. Fill out and submit COA application and required material to Planning staff 30 days prior to OHPAB meeting. Please email application packets: historic@ocalafl.org.
3. Attend OHPAB meeting or send a representative with a letter of authorization.
4. Meetings are held the 1st Thursday of each month at 4:00 p.m.
5. Meeting Location: City Council Chambers, 2nd floor of City Hall (110 SE Watula Ave.)

If applicant fails to notify staff and does not attend the meeting, the application may be tabled for one month. If applicant fails to notify staff and does not attend the next monthly meeting, the application may be denied without prejudice.

There is no application fee; however, if work is performed without an approved COA, a fee of \$100 will be assessed.

| | | | |
|--|------------------------|-------------------|-------------------------------|
| Parcel #: | 2820-028-009 | Property Address: | 718 SE 2nd St |
| Owner: | Joe and Kelli Carvalho | Owner Address: | 727 SE 3rd St, Ocala FL 34471 |
| Owner Phone #: | 352 304 1593 | Owner Email: | mrjoecarvalho@gmail.com |
| Will there be an additional meeting representative? Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> maybe (If yes, representative will need a letter of authorization*) | | | |
| If yes, name of representative: | | | |
| Rep. Phone #: | | Rep. Email: | |

| | | | |
|----------------------|-------------------------------------|--|--------------------------------------|
| Project Type: | <input type="checkbox"/> Addition | <input checked="" type="checkbox"/> New Construction | <input type="checkbox"/> Site Work |
| | <input type="checkbox"/> Alteration | <input type="checkbox"/> Reroof | <input type="checkbox"/> Fence |
| | <input type="checkbox"/> Repair | <input type="checkbox"/> Relocation | <input type="checkbox"/> Other _____ |

City of Ocala Application for Certificate of Appropriateness
Form revised: January 2023



City of Ocala Growth Management Department
 201 S.E. 3rd Street, 2nd Floor
 352-629-8421 | www.ocalafl.org

COA 24 - 45856
 Meeting Date: 11-7-24
 Case File # 358

Product Approval # _____

Describe, by list, specific changes you are requesting to do to your property. Include the types of materials to be used, as well as dimensions. A site plan must be provided for additions to buildings, new construction (including garages, sheds, other accessory buildings), fences and site work (including driveways, parking areas and other improvements). The site plan must show setbacks of the proposed new work items from property lines. Attach additional pages as necessary.

New windows for home.
Front Main Floor Windows
 36x71" Jeld-Wen 2/2 double hung to be replaced by:
 36x96" Anderson 400 Series 2/4 casement.

Second Story Windows
 30x60" Jeld-Wen 2/2 double hung to be replaced by:
 24x60" Anderson 400 Series 2/4 casement.

Solarium Windows replaced by
 48x82" Anderson 400 Series 4/6 fixed

Solarium Door replaced by:
 60x96" Two ThermaTru 60x96" Double Doors with 2/4 Glass Insert

Rear Patio Door replaced by:
 72x96" ThermaTru Double Doors with Glass Insert

Jimmy H. Cowan, Jr., CFA
Marion County Property Appraiser



501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

2024 Property Record Card
Real Estate

2820-028-009

[GOOGLE Street View](#)

Prime Key: 3533534

[MAP IT+](#)

Property Information

CARVALHO JOSEPH P
 CARVALHO KELLY A
 205 SE SANCHEZ AVE
 OCALA FL 34471-2231

Taxes / Assessments:

Map ID: 179

Millage: 1001 - OCALA

M.S.T.U.

PC: 00

Acres: .11

Situs: Situs: 718 SE 2ND ST OCALA

Current Value

| | | | |
|----------------------|-----------|------------------|------------|
| Land Just Value | \$101,556 | | |
| Buildings | \$0 | | |
| Miscellaneous | \$202 | | |
| Total Just Value | \$101,758 | Impact | |
| Total Assessed Value | \$54,845 | <u>Ex Codes:</u> | (\$46,913) |
| Exemptions | \$0 | | |
| Total Taxable | \$54,845 | | |
| School Taxable | \$101,758 | | |

History of Assessed Values

| Year | Land Just | Building | Misc Value | Mkt/Just | Assessed Val | Exemptions | Taxable Val |
|------|-----------|----------|------------|-----------|--------------|------------|-------------|
| 2024 | \$101,556 | \$0 | \$202 | \$101,758 | \$54,845 | \$0 | \$54,845 |
| 2023 | \$67,704 | \$0 | \$202 | \$67,906 | \$49,859 | \$0 | \$49,859 |
| 2022 | \$56,420 | \$0 | \$202 | \$56,622 | \$45,326 | \$0 | \$45,326 |

Property Transfer History

| Book/Page | Date | Instrument | Code | Q/U | V/I | Price |
|---------------------------|---------|---------------------|------------------------|-----|-----|----------|
| UNRE/INST | 05/2008 | 76 MAR CER | 0 | U | V | \$100 |
| 4923/1912 | 10/2007 | 06 SPECIAL WARRANTY | 8 ALLOCATED | U | V | \$87,500 |
| 4923/1909 | 10/2007 | 08 CORRECTIVE | 0 | U | I | \$100 |
| 4875/0541 | 08/2007 | 05 QUIT CLAIM | 0 | U | I | \$100 |
| 4837/0379 | 06/2007 | 31 CERT TL | 0 | U | V | \$2,000 |
| 4480/0473 | 06/2006 | 07 WARRANTY | 0 | U | V | \$100 |
| 2671/1593 | 07/1999 | 07 WARRANTY | 2 V-SALES VERIFICATION | Q | I | \$85,000 |

Property Description

SEC 17 TWP 15 RGE 22

PLAT BOOK E PAGE 004
 CALDWELLS ADD OCALA
 THE E 91.26 FT OF THE FOLLOWING DESC PROPERTY:
 BEG AT THE NW COR OF LOT 28 TH E ALONG THE N BOUNDARY OF
 SAID LOT 28 A DISTANCE OF 209.3 FT TO A LINE RUNNING S
 WHICH EQUALLY DIVIDED SAID LOT 28 TH S ALONG SAID LINE 54
 FT TH W PARALLEL WITH THE N BOUNDARY OF SAID LOT 28 A
 DISTANCE OF 209.45 FT TO THE W BOUNDARY OF SAID LOT 28 TH N
 ALONG SAID W BOUNDARY 54 FT TO THE POB
Parent Parcel: 2820-028-001

Land Data - Warning: Verify Zoning

| Use | CUse | Front | Depth | Zoning | Units | Type | Rate | Loc | Shp | Phy | Class Value | Just Value |
|---|------|-------|-------|--------|-------|------|------------|------|------|------|------------------------------|------------|
| 0001 | | 91.0 | 54.0 | R3 | 91.00 | FF | 1,800.0000 | 1.00 | 0.62 | 1.00 | 101,556 | 101,556 |
| Neighborhood 5310 - OCALA HISTORIC DISTRICT | | | | | | | | | | | Total Land - Class \$101,556 | |
| Mkt: 8 70 | | | | | | | | | | | Total Land - Just \$101,556 | |

Miscellaneous Improvements

| Type | Nbr | Units | Type | Life | Year In | Grade | Length | Width |
|----------------|--------|-------|------|------|---------|-------|---------------------|-------|
| 111 FENCE WOOD | 144.00 | | LF | 10 | 2005 | 1 | 0.0 | 0.0 |
| | | | | | | | Total Value - \$202 | |

Appraiser Notes

Planning and Building

**** Permit Search ****

| Permit Number | Date Issued | Date Completed | Description |
|---------------------|-------------|----------------|-------------|
| <u>Cost Summary</u> | | | |
| Buildings R.C.N. | \$0 | 1/1/2000 | |
| Total Depreciation | \$0 | | |
| Bldg - Just Value | \$0 | | |
| Misc - Just Value | \$202 | 3/26/2010 | |
| Land - Just Value | \$101,556 | 2/27/2024 | |
| Total Just Value | \$101,758 | | |

**Kitchen Window Replaced by:
72"72" Kolbe Preserve Double 2/3 Casement window**

**Front door to be replaced by:
72x96" Custom Wooden Arched-top door**

Porch Rail and Fence 42" Antique Salvaged Iron

Required additional materials for submission:

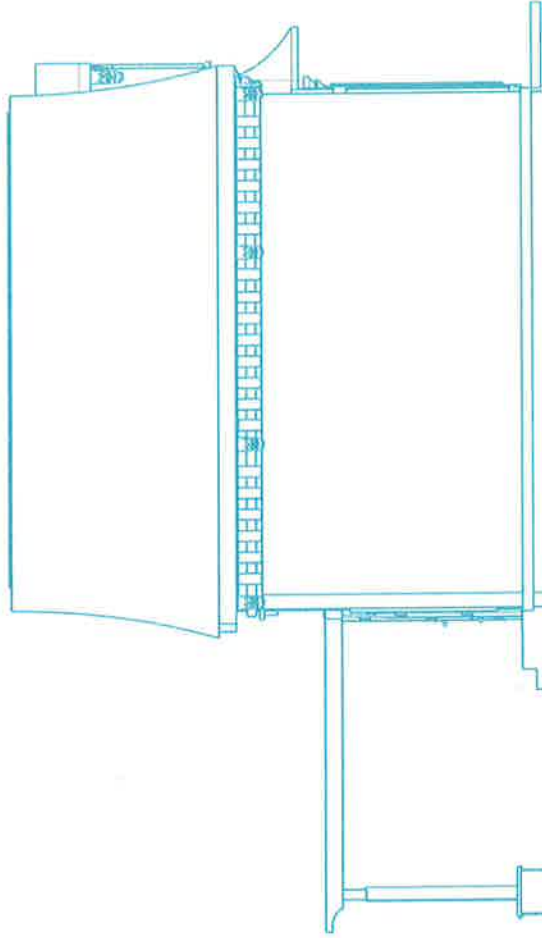
- Completed and signed COA application
- Detailed drawings and specifications for all new materials – windows, doors, siding, roofing materials, fencing etc.
- Site plan
- Copy of property deed or proof of ownership
- Authorization letter for non-property owner representative*
- For New Construction: a set of building plans, no larger than 11 x 17, for structural changes or new construction. This includes all four elevations with drawn to scale dimensions. * Please list any additional attachments:

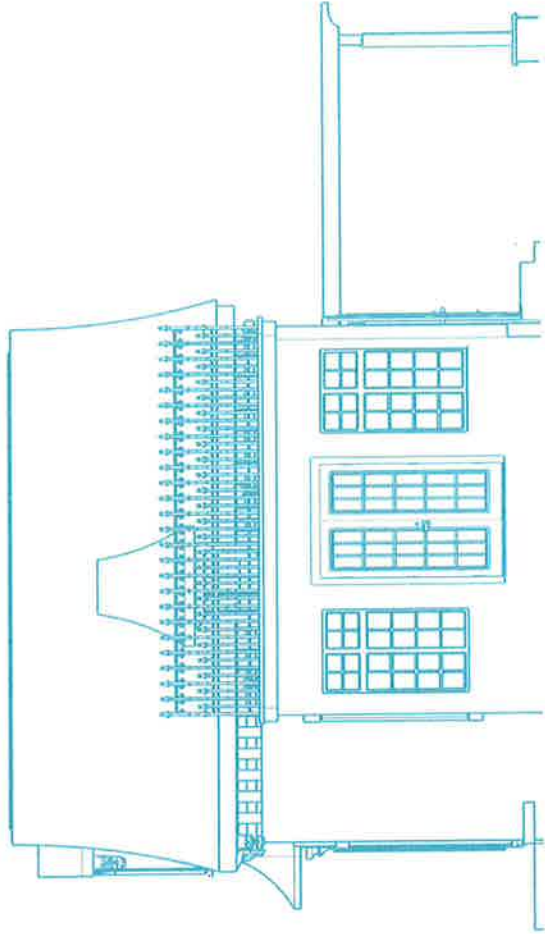


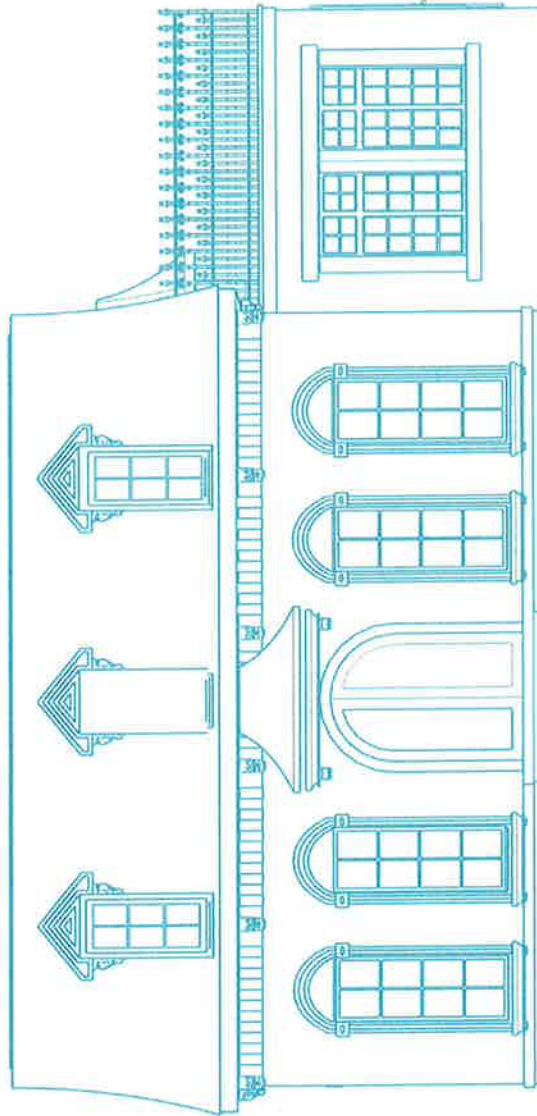
10/7/2024

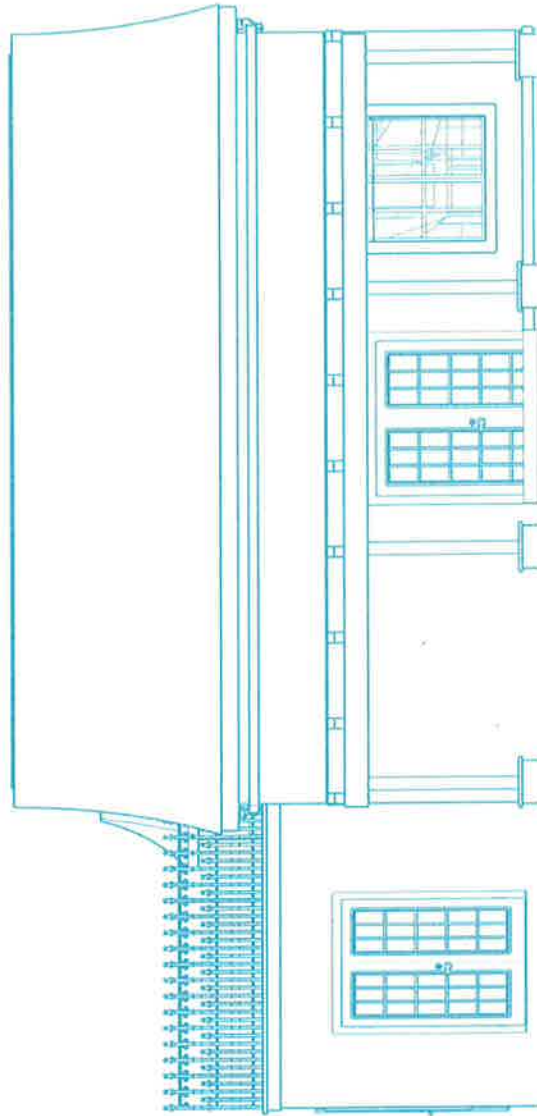
Applicant Signature Date

**City of Ocala Application for Certificate of
Appropriateness Form revised: January 2023**



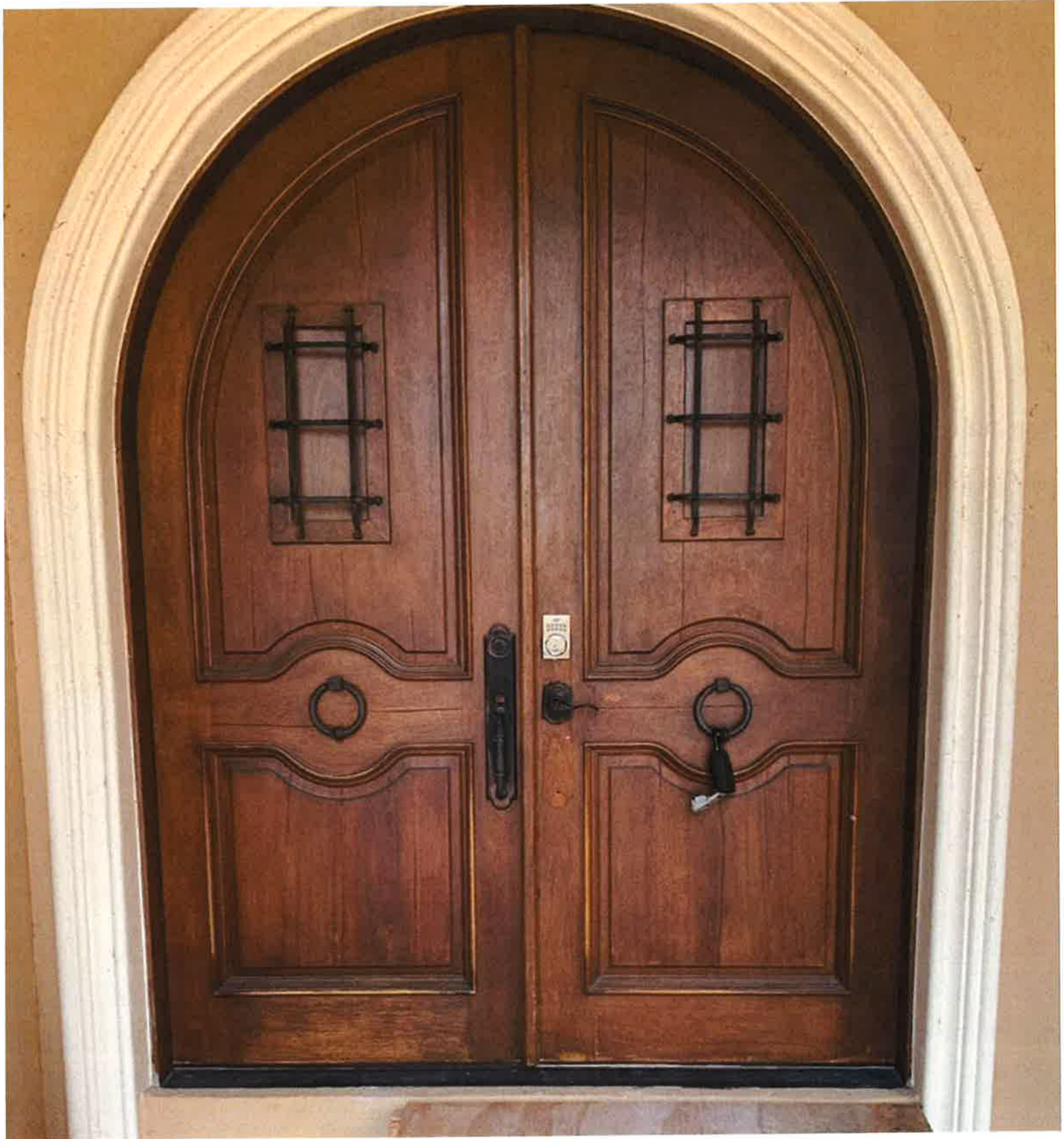






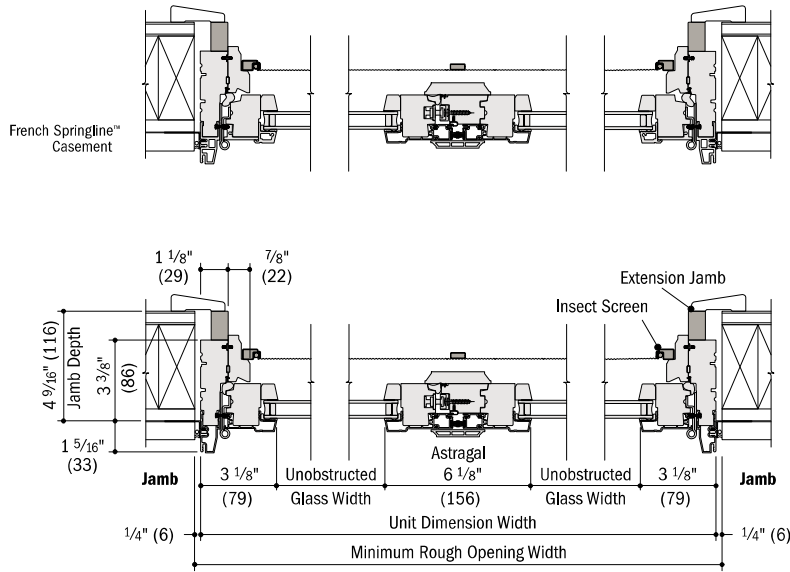




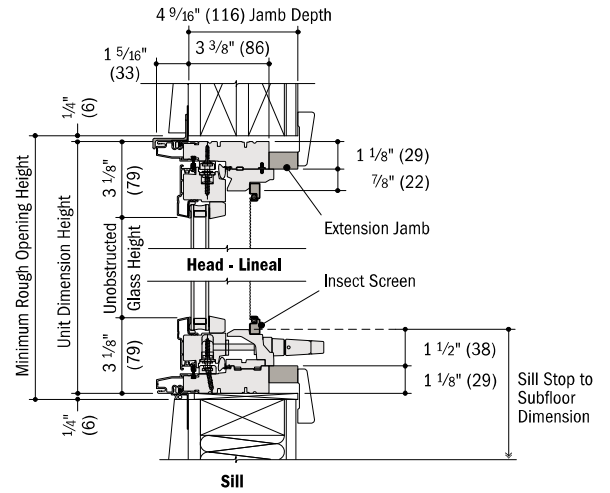
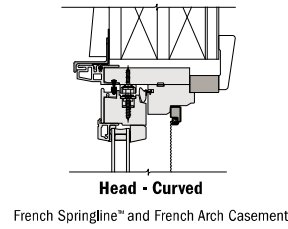


Clad Complementary Venting French Casement Window Details

Scale 1 1/2" (38) = 1'-0" (305) – 1:8



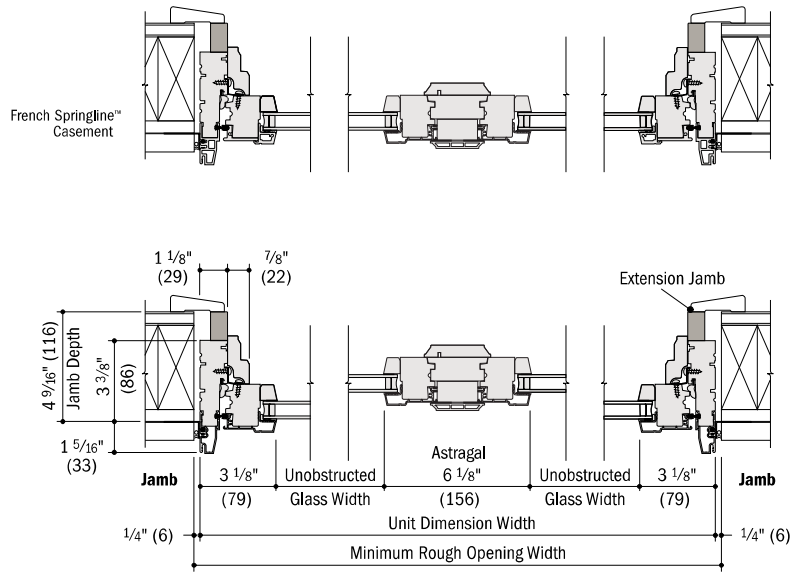
Horizontal Section
French Casement and French Arch Casement



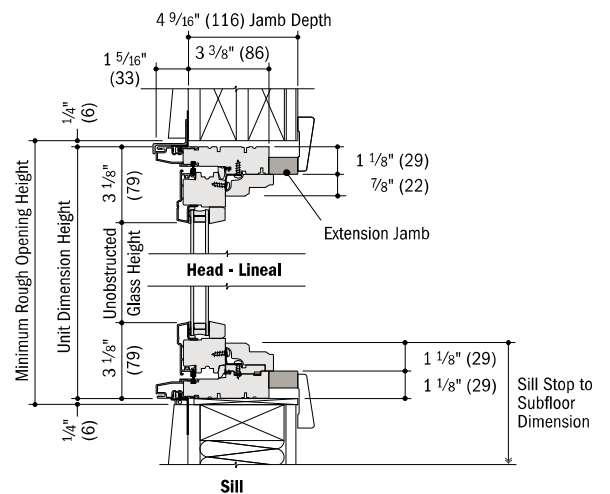
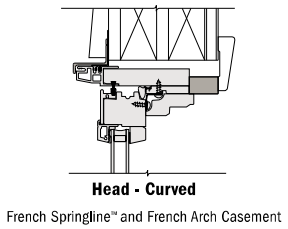
Vertical Section
French Casement and French Arch Casement

Clad Complementary Stationary French Casement Window Details

Scale 1 1/2" (38) = 1'-0" (305) – 1:8





























Horizontal Section
French Casement and French Arch Casement



Vertical Section
French Casement and French Arch Casement

- 4 9/16" (116) overall jamb depth and 3 3/8" (86) base jamb depth measurement is from back side of installation flange.
- Light-colored areas are parts included with window. Dark-colored areas are additional Andersen™ parts required to complete window assembly as shown.
- Dimensions in parentheses are in millimeters.
- **Minimum rough openings may need to be increased to allow for use of building wraps, flashing, sill panning, brackets, fasteners or other items. See installation information on pages 210-211.**
- Details are for illustration only and are not intended to represent product installation methods or materials. Refer to unit installation guides at andersenwindows.com.

400 Series
Complementary
Casement Windows

| | | | | | | | | | | | | | | | | | | | |
|---|--|---|--|---|--|---|--|--|--|---|--|---|--|--|--|--|--|---|--|
|  <p>Oak FC1204SL 12" x 6'8" 14" x 6'8"</p> | |  <p>Oak 2050SL 12" x 6'8" 14" x 6'8"</p> | |  <p>Oak 2009 2'0" x 6'8" 2'6" x 6'8" 2'8" x 6'8" 3'0" x 6'8"</p> | |  <p>Oak 8000-9 2'0" x 8'0" 2'6" x 8'0" 2'8" x 8'0" 2'10" x 8'0" 3'0" x 8'0"</p> | |  <p>Oak 2009SL 12" x 6'8" 14" x 6'8"</p> | |  <p>Oak FC5700 2'6" x 6'8" 2'8" x 6'8" 3'0" x 6'8"</p> | |  <p>Oak FC85700 2'6" x 8'0" 2'8" x 8'0" 2'10" x 8'0" 3'0" x 8'0"</p> | |  <p>Oak FC5710 2'6" x 6'8" 2'8" x 6'8" 3'0" x 6'8"</p> | |  <p>Oak FC85710 2'6" x 8'0" 2'8" x 8'0" 2'10" x 8'0" 3'0" x 8'0"</p> | | | |
|  <p>Oak FC5720 2'6" x 6'8" 2'8" x 6'8" 3'0" x 6'8"</p> | |  <p>Oak FC85720 2'6" x 8'0" 2'8" x 8'0" 2'10" x 8'0" 3'0" x 8'0"</p> | |  <p>Oak FC691 2'6" x 6'8" 2'8" x 6'8" 3'0" x 6'8"</p> | |  <p>Oak FC8691 2'6" x 8'0" 2'8" x 8'0" 2'10" x 8'0" 3'0" x 8'0"</p> | |  <p>Oak FC685L 2'6" x 6'8" 2'8" x 6'8" 3'0" x 6'8"</p> | |  <p>Oak FC8685L 2'6" x 8'0" 2'8" x 8'0" 2'10" x 8'0" 3'0" x 8'0"</p> | |  <p>Oak FC685R 2'6" x 6'8" 2'8" x 6'8" 3'0" x 6'8"</p> | |  <p>Oak FC8685R 2'6" x 8'0" 2'8" x 8'0" 2'10" x 8'0" 3'0" x 8'0"</p> | |  <p>Oak FC5700SL 12" x 6'8" 14" x 6'8"</p> | |  <p>Oak FC5710SL 12" x 6'8" 14" x 6'8"</p> | |
|  <p>Oak FC5720SL 12" x 6'8" 14" x 6'8"</p> | |  <p>Smooth S1205 2'6" x 6'8" Δ 2'8" x 6'8" Δ 2'10" x 6'8" Δ 3'0" x 6'8" Δ</p> | |  <p>Smooth S1206 2'6" x 6'8" Δ 2'8" x 6'8" Δ 2'10" x 6'8" Δ 3'0" x 6'8" Δ</p> | |  <p>Smooth S1207 2'6" x 6'8" Δ 2'8" x 6'8" Δ 2'10" x 6'8" Δ 3'0" x 6'8" Δ</p> | |  <p>Smooth S2010 2'6" x 6'8" Δ 2'8" x 6'8" Δ 2'10" x 6'8" Δ 3'0" x 6'8" Δ</p> | |  <p>Smooth S1204 2'6" x 6'8" Δ 2'8" x 6'8" Δ 2'10" x 6'8" Δ 3'0" x 6'8" Δ</p> | |  <p>Smooth S2050 2'6" x 6'8" Δ 2'8" x 6'8" Δ 2'10" x 6'8" Δ 3'0" x 6'8" Δ</p> | | | | | | | |

CLEAR GLASS

Fiber-Classic® & Smooth-Star®



Mahogany

FCM62
★☆☆☆
2'8" x 6'8"
2'10" x 6'8"
3'0" x 6'8"

FCM862
★☆☆☆
2'8" x 8'0"
2'10" x 8'0"
3'0" x 8'0"



Mahogany

FCM6021
★☆☆☆
2'8" x 6'8"
2'10" x 6'8"
3'0" x 6'8"



Mahogany

FCM6041
★☆☆☆
2'8" x 6'8"
2'10" x 6'8"
3'0" x 6'8"



Mahogany

FCM670
★☆☆☆E
2'6" x 6'8" (7'0")
2'8" x 6'8" (7'0")
2'10" x 6'8" (7'0")
3'0" x 6'8" (7'0")



Mahogany

FCM62SL
★☆☆☆
12" x 6'8"
14" x 6'8"

FCM862SL
★☆☆☆
12" x 8'0"
14" x 8'0"



Oak

FC62
★☆☆☆E
2'6" x 6'8"
2'8" x 6'8" (7'0")
2'10" x 6'8" (7'0")
3'0" x 6'8" (7'0")

81929P
★☆☆☆
2'8" x 8'0"
2'10" x 8'0"
3'0" x 8'0"



Oak

FC670
★☆☆☆E
2'6" x 6'8" (7'0")
2'8" x 6'8" (7'0")
2'10" x 6'8" (7'0")
3'0" x 6'8" (7'0")



Oak

81971P
★☆☆☆
2'8" x 8'0"
2'10" x 8'0"
3'0" x 8'0"



Oak

FC48SL
★☆☆☆
12" x 6'8"
14" x 6'8"

81929PSL
★☆☆☆
12" x 8'0"
14" x 8'0"



Smooth

S206
★☆☆☆E
2'6" x 6'8"
2'8" x 6'8" (7'0")
2'10" x 6'8" (7'0")
3'0" x 6'8" (7'0")

S81929P
★☆☆☆
2'8" x 8'0"
2'10" x 8'0"
3'0" x 8'0"



Smooth

S6021
★☆☆☆E
2'8" x 6'8" (7'0")
2'10" x 6'8" (7'0")
3'0" x 6'8" (7'0")

S86021
★☆☆☆E
2'8" x 8'0"
2'10" x 8'0"
3'0" x 8'0"



NEW

NEW

Smooth

S4315
★☆☆☆E
2'8" x 6'8"
2'10" x 6'8"
3'0" x 6'8"

S84315
★☆☆☆
2'8" x 8'0"
2'10" x 8'0"
3'0" x 8'0"



Smooth

S6041
★☆☆☆
2'8" x 6'8"
2'10" x 6'8"
3'0" x 6'8"



Smooth

S104
★☆☆☆E
2'6" x 6'8"
2'8" x 6'8" (7'0")
2'10" x 6'8" (7'0")
3'0" x 6'8" (7'0")



Smooth

S105
★☆☆☆E
2'6" x 6'8"
2'8" x 6'8" (7'0")
2'10" x 6'8" (7'0")
3'0" x 6'8" (7'0")



Smooth

S30
★☆☆☆
2'8" x 6'8"
2'10" x 6'8"
3'0" x 6'8"

S830
★☆☆☆
2'8" x 8'0"
2'10" x 8'0"
3'0" x 8'0"



Smooth

S210SL
★☆☆☆
12" x 6'8"
14" x 6'8"

S85910SL
★☆☆☆
12" x 8'0"
14" x 8'0"

Note: See page 285 for important product details that may help with your purchase decision.
Right Page: Smooth-Star, Clear Glass, Door – S289, Finish – Onyx



Ocala

Legislation Text

110 SE Watula Avenue
Ocala, FL 34471

www.ocalafl.gov

File #: 2025-0406

Agenda Item #: b.

Case File # 171; COA24- 0003; 705 SE 4th Street

After-the-fact addition of a driveway, consisting of grey granite rock and concrete with a 6x6 PT landscaping beam border.

Petitioner: Matthew Grow

Agent: N/A

Planner: Breah Miller, Planner II

bmiller@ocalafl.gov

Recommended Action: Appropriate



Staff Report

Case #171

COA24-0003

Ocala Historic Preservation Advisory Board: January 2, 2025

Petitioner: Matthew Grow
Property Owner: Matthew Grow
Project Planner: Breah Miller, Planner II
Applicant Request: After-the-fact addition of a driveway, consisting of grey granite rock and concrete with a 6x6 PT landscaping beam border.

Parcel Information

Acres: ±0.27 acres
Parcel(s) #: 2820-029-007
Location: 705 SE 4th Street
Future Land Use: Neighborhood
Zoning District: R-3, Multi-Family District
Existing Use: Single-Family Residence

Background:

The existing home was constructed in 1925 using a bungalow/classical building style. The home is a contributing structure to the Ocala Historic District. The subject parcel is currently developed with a single-family residence within the Caldwell Addition Ocala subdivision, and originally had a dirt and grass driveway.

On October 16, 2024, the Ocala Engineering department approved a Right-of-Way Utilization Permit for a new driveway apron. At that time, a driveway that is approximately 22-feet in width along the right-of-way and 16-feet in width along the garage was installed by the applicant. The southern half of the driveway, adjacent to the right-of-way, consists of #7 grey granite rock; the northern half of the driveway, adjacent to the existing garage, is concrete. The driveway was installed prior to receiving approval from the Ocala Historic Preservation Advisory Board. However, it is noted that a Certificate of Appropriateness is not required for the right-of-way apron.

Staff Analysis

Certificate of Appropriateness Criteria for Decisions (Section 94-82(g)):

The Code states that the Board may issue a certificate of appropriateness for the reconstruction, alteration, new construction, non-permanent structures, demolition, partial demolition, or removal of any building or structure within a locally designated historic district or any designated local landmark, or any other activity for which a CA is required, if such action is not deemed contrary to the purposes of historic preservation and to the special character of districts, sites and resources as designated specifically. The board's decisions will be based on the Secretary of the Interior's Standards, the city's Historic Preservation Design Guidelines, this chapter, and the following criteria:

1. Exterior alterations shall not diminish the architectural quality or historical character of the building or the building site.

The proposed exterior alteration does not diminish the architectural quality or historic character of the building and building site. The site is a corner lot, and the placement and width of the driveway will leave adequate visibility to the front and side yard. This will keep the historic single-family residential nature of the home intact. The driveway will be bordered with 6x6 landscaping beams to further maintain and preserve the appearance and its functionality.

2. Sandblasting of any materials except for iron is prohibited.

Proposed alteration does not require sandblasting of any materials.

3. Only through very controlled conditions can most historic building material be abrasively cleaned of soil or paint without measurable damage to the surface or profile of the substrate. Decisions regarding the proper cleaning process for historic structures can be made only after careful analysis of the building fabric, and testing. Generally, wet abrasive cleaning of a historic structure should be conducted within the range of 20 to 100 psi at a range of three to 12 inches.

Not applicable; the request does not identify any abrasive cleaning.

4. Landscaping, signs, parking and site development should be sensitive to the individual building and should be visually compatible with the buildings and environment with which they are visually related.

The lot is located at the intersection of SE 4th Street and SE Sanchez Avenue. The gravel and concrete driveway aligns with the architectural style of the neighborhood and surrounding areas, and is visually compatible with the buildings and environment.

5. New construction shall be visually compatible with the buildings and environment with which the new construction is visually related. When an application involves new construction, the applicant may present conceptual plans to the board for review and comment before the application for a certificate of appropriateness is submitted and before construction drawings of the project are prepared. Aspects to be considered include:

- a. The height, volume, proportion between width and height of the facades, the proportions and relationship between doors and windows, the rhythm of solids and voids created by openings in the facades, the materials used in the facades, the texture inherent in the facades, the colors, pattern and trim used in the facades, and the design of the roof.

Not applicable; the proposed alterations will not affect the existing facades of the home.

- b. The existing rhythm created by existing building masses and spaces between them should be preserved.

Not applicable; the proposed alteration will not impact the existing neighborhood massing, and spaces between buildings will be preserved.

- c. Landscape plans should be visually compatible with the buildings and environment with which the landscaping is visually related.

Landscaping timber will be placed at the border of the gravel to maintain its position on the property. The applicant's supporting documents indicate that the gravel was chosen to protect the roots of the existing oak tree located southeast of the proposed driveway. Therefore, the alteration does not have a negative impact on the landscaping and is sensitive to the existing landscaping on the property.

- d. Proportions of existing facades which are visually related shall be maintained when neighboring buildings have a dominant horizontal or vertical expression, that expression should be carried over in the new facade.

Not applicable; the proposed alteration will not have any impact on the horizontal or vertical expression of the neighborhood.

- e. Architectural details should be incorporated as necessary to relate the new with the old and to preserve and enhance the inherent architectural characteristics of the area.

Not applicable; the proposed alteration does not affect the inherent architectural characteristics of the area.

- f. Accessory structures shall be compatible with the scale, shape, roof form, materials, and detailing of the main structure to protect the historic integrity of the neighborhood. The accessory structure shall not exceed the maximum height allowed by the applicable zoning or the height of the existing primary structure.

Not applicable; the request does not include any proposed accessory structures.

Secretary of Interior Design Standards; Building Site (Page 63):

Recommended: Identifying, retaining, and preserving features of the building site that are important in defining its overall historic character. Site features may include walls, fences, or steps; circulation systems, such as walks, paths, or roads; vegetation, such as trees, shrubs, grass, orchards, hedges, windbreaks, or gardens; landforms, such as hills, terracing, or berms; furnishings and fixtures, such as light posts or benches; decorative elements, such as sculpture, statuary, or monument; water features, including fountains, streams, pools, lakes, or irrigation ditches; and subsurface archeological resources, other cultural or religious features, or burial grounds which are also important to the site.

Not Recommended: Altering buildings and their features or site features which are important in defining the overall historic character of the property so that, as a result, the character is diminished.

Staff Recommendation: Appropriate



City of Ocala
 Growth Management Department
 201 S.E. 3rd Street, 2nd Floor
 352-629-8421 | www.ocalafl.org

Case File # 171
 COA 24-0003
 Meeting Date: _____
 Product Approval # _____

Application for a Certificate of Appropriateness (COA)

As required by [Section 94-82\(g\)](#) of the City of Ocala Code of Ordinances, Ocala Historic Preservation Advisory Board (OHPAB) decisions on the COAs will be based on the [Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings](#), the [Ocala Historic Preservation Design Guidelines](#), and the [Ocala Historic Preservation Code](#).

COA Application Procedure:

1. Arrange an informal pre-application conference with Planning staff.
2. Fill out and submit COA application and required material to Planning staff 30 days prior to OHPAB meeting. Please email application packets: historic@ocalafl.org.
3. Attend OHPAB meeting or send a representative with a letter of authorization.
4. Meetings are held the 1st Thursday of each month at 4:00 p.m.
5. Meeting Location: City Council Chambers, 2nd floor of City Hall (110 SE Watula Ave.)

If applicant fails to notify staff and does not attend the meeting, the application may be tabled for one month. If applicant fails to notify staff and does not attend the next monthly meeting, the application may be denied without prejudice.

There is no application fee; however, if work is performed without an approved COA, a fee of \$100 will be assessed.

| | | | |
|--|--------------|-------------------|------------------------|
| Parcel #: | 2820-029-007 | Property Address: | 705 SE 4th St, 34471 |
| Owner: | Matthew Grow | Owner Address: | 705 SE 4th St, 34471 |
| Owner Phone #: | 352-598-6494 | Owner Email: | matthew.grow@gmail.com |
| Will there be an additional meeting representative? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (if yes, representative will need a letter of authorization*) | | | |
| If yes, name of representative: | | Rep. Email: | |
| Rep. Phone #: | | | |

| | | | |
|---------------|--|---|---|
| Project Type: | <input type="checkbox"/> Addition <input type="checkbox"/> Alteration <input checked="" type="checkbox"/> Repair | <input type="checkbox"/> New Construction <input type="checkbox"/> Reroof <input type="checkbox"/> Relocation | <input type="checkbox"/> Site Work <input type="checkbox"/> Fence <input checked="" type="checkbox"/> Other concrete and gravel pad and road apron transition. |
|---------------|--|---|---|



City of Ocala
 Growth Management Department
 201 S.E. 3rd Street, 2nd Floor
 352-629-8421 | www.ocalafl.org

Case File # 171
 COA 24-0003
 Meeting Date: _____
 Product Approval # _____

Describe, by list, specific changes you are requesting to do to your property. Include the types of materials to be used, as well as dimensions. A site plan must be provided for additions to buildings, new construction (including garages, sheds, other accessory buildings), fences and site work (including driveways, parking areas and other improvements). The site plan must show setbacks of the proposed new work items from property lines. Attach additional pages as necessary.

Issue Summary:

The original driveway, a mix of gravel, dirt, and grass with a cracked 2' concrete transition to SE 4th Street, worsened after property renovations. Rain caused the driveway to turn muddy, with poor drainage pooling in the transition area. Challenges included the minimal setback (less than 10') from SE 4th Street and a large water oak tree on the southeast corner of the parcel.

Solution:

The owner obtained a ROW permit from City Engineering to replace the existing 2' apron with a 2' transition (approved due to tree roots in the ROW). For parking, 4" of #7 grey granite rock was installed over a weed barrier, bordered with 6x6 PT landscaping beams, as seen in other historic properties nearby. Concrete was added adjacent to the garage and for a walkway connecting the north porch stairs to the garage. The driveway width tapers from 22' at the road to 16' near the garage.

Required additional materials for submission:

- Completed and signed COA application
- Detailed drawings and specifications for all new materials – windows, doors, siding, roofing materials, fencing etc.
- Site plan
- Copy of property deed or proof of ownership
- Authorization letter for non-property owner representative*
- For New Construction: a set of building plans, no larger than 11 x 17, for structural changes or new construction. This includes all four elevations with drawn to scale dimensions. *
- Please list any additional attachments: Correspondence With City Engineering. Historical photos.

Applicant Signature

Date

12/2/2024

City of Ocala Application for Certificate of Appropriateness
 Form revised: January 2023

From: matthew.grow
To: Matt.Grow
Subject: Fwd: RIGHT OF WAY UTILIZATION ROW24-0322
Date: Friday, November 1, 2024 2:20:12 PM
Attachments: [image001.png](#)
[image001.png](#)
[ROW24-0322_1.pdf](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

----- Forwarded message -----
From: [matthew.grow <matthew.grow@gmail.com>](mailto:matthew.grow@gmail.com)
Date: Fri, Nov 1, 2024, 8:25 AM
Subject: Fwd: RIGHT OF WAY UTILIZATION ROW24-0322
To: James Womer <jwomer45@gmail.com>

here is the entire document

----- Forwarded message -----
From: [Herbert Wade <hwade@ocalafl.gov>](mailto:Herbert.Wade@ocalafl.gov)
Date: Wed, Oct 23, 2024, 3:57 PM
Subject: RE: RIGHT OF WAY UTILIZATION ROW24-0322
To: [matthew.grow <matthew.grow@gmail.com>](mailto:matthew.grow@gmail.com)
Cc: Gary Anson <GAnson@ocalafl.gov>

Hello,

Please see attached conditional approved right of way utilization permits ROW24-0322. The condition is that:

- Note: The 2' of driveway apron construction may not go all the way to the right of way line.

Please remember to refer to the “GENERAL REQUIREMENTS CONCERNING PERMITS FOR UTILIZATION OF PUBLIC RIGHT-OF-WAY” located on page 3 of the R.O.W. Utilization Permit Application to ensure compliance to the conditions that you have agreed to.

If you require any further information, feel free to contact me.

Thank You,

Herbert Wade

Engineering Technician I

Transportation Engineering Division

The CITY of OCALA - Public Works

1805 NE 30th Ave, Bldg 300, Ocala, FL 34470

Direct Telephone No: (352) 401-6930

hwade@ocalafl.gov



The City of Ocala provides fiscally responsible services consistent with the community's current and future expectations

From: matthew grow <matthew.grow@gmail.com>
Sent: Wednesday, October 23, 2024 1:45 PM
To: Herbert Wade <hwade@ocalafl.gov>
Cc: Gary Anson <GAnson@ocalafl.gov>
Subject: Re: RIGHT OF WAY UTILIZATION ROW24-0322

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

thank you.

On Wed, Oct 16, 2024, 5:02 PM Herbert Wade <hwade@ocalafl.gov> wrote:

Good afternoon,

I am sending this email to notify you that I have processed your permit request. The permit number for your reference is #ROW24-0322 and is currently awaiting review. After the review process is complete, I will send you an email with the approved permit attached. If you require any further information, feel free to contact me.

Thank You,

Herbert Wade

Engineering Technician I

Transportation Engineering Division

The CITY of OCALA - Public Works

1805 NE 30th Ave, Bldg 300, Ocala, FL 34470

Direct Telephone No: (352) 401-6930

hwade@ocalafl.gov



The City of Ocala provides fiscally responsible services
consistent with the community's current and future expectations





CITY ENGINEER'S OFFICE
 Transportation Engineering Division
 1805 NE 10th Avenue, Building 300
 Ocala, FL 34470
 CONTACT: Transportation Engineering
 Division Telephone (352) 351-6725

**R.O.W. UTILIZATION PERMIT
 APPLICATION**

(Authority: City of Ocala Code of Ordinances Section 59-5 and Section 59-5)

PERMIT NUMBER: ROW24-0322 TYPE: WORK / EVENT NEWSPAPER DISPENSER

DATE OF APPLICATION: 10/15/2024 APPLICATION FEE: \$50.00

NAME OF APPLICANT: Matthew Grow COMPANY NAME: N/A
 MAILING ADDRESS: 705 SE 4th St, Ocala FL 34471
 TELE NO.: 352-598-6494 EMAIL: matthew.grow@gmail.com
 LOCATION OF WORK / EVENT / NEWSPAPER DISPENSER: Driveway to road apron, at mailing address 705 se 4th st
 PARCEL NUMBER: 2820-029-007 ZONING: Historic District

WORK / EVENT

BRIEF DESCRIPTION OF THE WORK / EVENT: Install 2'x22' 4000psi concrete apron btwn SE 4th St and driveway.
 FIELD PERSON IN CHARGE: Matt Grow CELL NO.: 352-598-6494

PROPOSED START DATE & TIME OF WORK / EVENT: _____ PROPOSED END DATE & TIME OF WORK / EVENT: _____
 FROM: 11/1/2024 7am AM TO: 11/2/2024 5 PM

WILL WORK / EVENT REQUIRE THE STREET TO BE CLOSED? NO YES PARTIALLY TOTALLY
 IF YES, IS A 'MAINTENANCE OF TRAFFIC' PLAN PER DOT INDEX 102-600 ATTACHED? NO YES

IF YES, PROVIDE PLANNED START DATE & TIME: _____ PLANNED END DATE & TIME OF STREET CLOSURE: _____
 FROM: _____ AM TO: _____ AM

IF WORK INVOLVES UNDERGROUND UTILITY INSTALLATION, DESCRIBE METHOD: OPEN EXCAVATION
 BORE JACK PUSH DIRECTIONAL BORE
 WILL THE WORK RESULT IN CITY STREET PAVEMENT DISTURBANCE? NO YES
 WILL THE WORK RESULT IN SIDEWALK AND/OR DRIVEWAY DISTURBANCE? NO YES

DESCRIBE IN MORE DETAIL THE WORK / EVENT AND OTHER FACTORS OR CONDITIONS THAT ARE AN IMPORTANT PART OF THIS R.O.W. UTILIZATION PERMIT APPLICATION:

Removal of 100 year old broken apron sections and replacing with entire new system. Unable to install complete 4' wide apron due to proximity to oak tree and root system.

I HEREBY CERTIFY THAT I HAVE MADE APPLICATION FOR THE PERMIT DESCRIBED ABOVE AND THAT I HAVE PROPER AUTHORITY AND AUTHORIZATION TO APPLY FOR SUCH PERMIT.

I FURTHER AGREE TO COMPLY WITH ALL APPLICATION PROCESSING PROCEDURES AND WITH ALL CONDITIONS OF THIS PERMIT CONTAINED ON THE FIVE PAGES ATTACHED TO THIS APPLICATION, MOST PARTICULARLY THE RESTORATION REQUIREMENTS WITHIN THE PUBLIC RIGHT-OF-WAY.

I ACKNOWLEDGE THAT ANY APPROVAL, DIRECTION OR DETERMINATION OF THE CITY ENGINEER REFERENCED IN THIS PERMIT MAY ALSO BE MADE BY A DESIGNATED THE CITY ENGINEER.

Matt Grow 
 SIGNATURE OF PERMIT APPLICANT 10/15/2024 DATE

Digitally signed by Matt Grow
 Date: 2024.10.15 15:58:25 -0400

RIGHT-OF-WAY UTILIZATION PERMIT PROCESSING PROCEDURES

IMPORTANT: THIS APPLICATION IS TO BE SUBMITTED A MINIMUM OF FIVE (5) FULL BUSINESS DAYS PRIOR THE EXPECTED STARTING DATE - REFER TO INFORMATION ON THE FOLLOWING PAGES FOR PROCEDURES - AND SHALL BECOME A PERMIT WITH THE CITY SIGNATURES OF AUTHORIZATION.

Revision Date: **October 2022**



CITY ENGINEER'S OFFICE
Transportation Engineering Division
 1805 NE 30th Avenue, Building 300
 Ocala, FL 34470
CONTACT: Transportation Engineering
 Division Telephone (352) 351-6725

R.O.W. UTILIZATION PERMIT APPLICATION

(Authority: City of Ocala Code of Ordinances Section 58-5 and Section 59-5)

RIGHT-OF-WAY UTILIZATION PERMIT PROCESSING PROCEDURES

IMPORTANT: THIS APPLICATION IS TO BE SUBMITTED A MINIMUM OF FIVE (5) FULL BUSINESS DAYS PRIOR TO THE EXPECTED STARTING DATE. REFER TO INFORMATION ON THE FOLLOWING PAGES FOR PROCEDURES - AND SHALL BECOME A PERMIT WITH THE CITY SIGNATURES OF AUTHORIZATION.

1. APPLICATION TO BE FILLED OUT BY APPLICANT AND SUBMITTED TO ENGINEERING DEPARTMENT FIVE (5) WORKING DAYS PRIOR TO EXPECTED STARTING DATE.
2. FEES TO BE PAID BY CHECK MADE PAYABLE TO THE CITY OF OCALA AND SUBMITTED ALONG WITH APPLICATION.
3. REVIEW AND APPROVAL OF APPLICATION TO BE MADE BY INSPECTION DIVISION AND TRAFFIC DIVISION
4. APPROVAL TO BE SIGNED BY THE CHIEF ENGINEERING INSPECTOR AND TRAFFIC ENGINEER OR THEIR DESIGNEE.
5. FINAL PERMIT WILL BE ISSUED BY THE ENGINEERING DEPARTMENT WITHIN FIVE (5) WORKING DAYS

TO BE COMPLETED BY CITY OFFICIALS ONLY

RECEIVED BY: HERBERT WADE DATE: 10/16/2024 CHECK NO. 3390

COMMENTS: _____

PERMISSION FOR THE ABOVE DESCRIBED WORK / EVENT / NEWSPAPER DISPENSER IS HEREBY GRANTED SUBJECT TO THE ATTACHED GENERAL REQUIREMENTS AND THE FOLLOWING SPECIFIC ADDITIONAL REQUIREMENTS:

APPROVED BY Samuel Grant APPROVED BY _____
 (CHIEF ENGINEERING INSPECTOR) (TRAFFIC ENGINEER)

WORK COMPLETED ON _____ PAVING REPAIRS BY _____

INSPECTOR'S SIGNATURE _____ DATE _____

Revision Date: October 2022



CITY ENGINEER'S OFFICE
Transportation Engineering Division
 1805 NE 10th Avenue, Building 300
 Ocala, FL 34470

CONTACT: Transportation Engineering
 Division Telephone (352) 351-6725

R.O.W. UTILIZATION PERMIT APPLICATION

(Authority: City of Ocala Code of Ordinances Section 58-5 and Section 59-5)

GENERAL REQUIREMENTS CONCERNING PERMITS FOR UTILIZATION OF PUBLIC RIGHT-OF-WAY

(PART OF "APPLICATION FOR PERMIT")

CONDITIONS: PERMITTEE AGREES THAT:

1. ALL WORK AUTHORIZED UNDER THIS PERMIT SHALL BE DONE IN ACCORDANCE WITH THIS APPROVED APPLICATION, THE PROVISIONS OF THE CITY ORDINANCES, AND OTHER APPLICABLE REGULATIONS.
2. PUBLIC SAFETY SHALL BE MAINTAINED DURING CONSTRUCTION IN ACCORDANCE WITH THE PROVISIONS OF THE 'MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)'
3. WHEN EXCAVATION FOR UNDERGROUND UTILITY WORK IS INCLUDED THE SCOPE OF THIS PERMIT, UTILITY COMPANIES MUST BE NOTIFIED FOR FIELD MARKING OF THEIR UTILITIES AND CONSULTED FOR INFORMATION AS TO THEIR EXISTING FACILITIES AND APPURTENANCES PURSUANT TO THE PROVISION OF FLORIDA STATUTES, CHAPTER 563.851. TELEPHONE NUMBERS TO REPORT ANY DAMAGE AND FOR COORDINATION PURPOSES ARE:

Utility Company Contacts

- FLORIDA SUNSHINE 'CALL-BEFORE-YOU-DIG': 811
- CITY OF OCALA WATER & SEWER DEPARTMENT: 352.351.6775
- CITY OF OCALA UTILITY SERVICES – ELECTRIC: 352.351.6620
- CITY OF OCALA PUBLIC WORKS DEPARTMENT – TRAFFIC (SEE 4): 352.351.6733
- EMBARC: 352.857.2766
- TECO / PEOPLES GAS: 352.622.0112
- COX COMMUNICATIONS: 352.873.5629
- AT&T: 352.237.2383
- MCIWORLD.COM: 352.258.8711

4. FOR ANY WORK TO BE DONE IN THE RIGHT OF WAY WHICH REQUIRES UNDERGROUND LOCATES AND IS WITHIN 500 FEET OF A SIGNALIZED INTERSECTION, THE APPLICANT MUST CALL THE CITY OF OCALA TRAFFIC OPERATIONS DIVISION FOR TRAFFIC SIGNAL LOCATES (352-351-6733).
5. **NEWSPAPER DISPENSER:** REFER TO CHAPTER 59 OF CITY CODE OF ORDINANCES FOR COMPLETE DETAILS. TYPICAL LOCATION CRITERIA FOR PUBLIC RIGHT-OF-WAY IS PROVIDED IN SHEET 1 ATTACHED. A PLAN SHOWING THE LOCATION OF DISPENSER IS REQUIRED. INCLUDE PARCEL NUMBER ON PLAN.
6. **TEMPORARY FIRE HYDRANT WATER METER:** TO REQUEST AND OTHERWISE COORDINATE THE INSTALLATION OF A TEMPORARY FIRE HYDRANT WATER METER CONTACT OCALA UTILITY SERVICES AT 629-8411, AT LEAST 24 HOURS PRIOR TO THE DATE THE WATER SERVICE IS NEEDED.
7. **CITY INSPECTIONS:**
 - A. ALL MATERIALS, EQUIPMENT AND WORK SHALL BE SUBJECT TO INSPECTION BY THE CITY OF OCALA AT ANY TIME.
 - B. THE PERMITTEE MUST CALL THE CITY INSPECTOR (@ 629.8419) AT LEAST ONE WORKING DAY BEFORE ANY PORTION OF CONSTRUCTION COVERED BY THIS PERMIT BEGINS. IF THIS PROCEDURE IS NOT FOLLOWED, THIS PERMIT WILL BECOME INVALID.
 - C. THE PERMITTEE MUST INFORM THE CITY INSPECTOR (@ 629.8419) AT LEAST ONE WORKING DAY IN ADVANCE OF ANY ACTIVITY ON A DIRECTIONAL BORE WITHIN CITY RIGHT-OF-WAY. DIRECTIONAL BORE TO BE PERFORMED PER SECTION 475.4.12 OF CITY OF OCALA STANDARD SPECIFICATIONS FOR CONSTRUCTION OF STREETS, STORMWATER, TRAFFIC, WATER AND SEWER INFRASTRUCTURE, OCTOBER 2018.
8. PRIVATE DRIVEWAYS, PUBLIC UTILITIES, AND OTHER SUCH IMPROVEMENTS PERMITTED HEREWITH WHICH ARE NOT AVAILABLE FOR IMMEDIATE USE BY THE GENERAL PUBLIC ARE CONSIDERED AS REMAINING IN PRIVATE OWNERSHIP AND ACCOMMODATED WITHIN THE PUBLIC RIGHT-OF-WAY OR OTHER PUBLIC AREAS. THE OWNERS OF SUCH FACILITIES, OR THEIR SUCCESSORS OR ASSIGNS, SHALL BE RESPONSIBLE FOR MAINTAINING SUCH FACILITIES IN GOOD AND SAFE REPAIR.
9. OPEN CUTS ACROSS PAVEMENT WITHIN CITY RIGHT-OF-WAY ARE DISCOURAGED. BEFORE A PAVEMENT CAN BE APPROVED FOR AN OPEN CUT THE PAVEMENT MUST BE 5 YEARS OR OLDER, THIS APPROVAL CAN ONLY BE GIVEN BY THE CITY ENGINEER. THE APPROVED METHODS FOR CONSTRUCTING UTILITIES ACROSS PAVEMENTS THAT CANNOT BE OPEN CUT ARE 'BORING AND JACKING', 'DIRECTIONAL BORING' OR 'PUSHING' BENEATH THE PAVEMENT.
10. AFTER A PERMIT HAS BEEN OBTAINED TO WORK WITHIN THE CITY RIGHT-OF-WAY, ALL CONSTRUCTION PERTAINING TO THE PERMIT SHALL BE DONE BY A FLORIDA CERTIFIED CONTRACTOR WHO SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE UTILITY AND MAINTENANCE AND REPAIR THEREOF FOR A WARRANTY PERIOD OF 1 YEAR.
11. WHERE BRICK OR OTHER USABLE MATERIAL ARE REMOVED WITHIN THE STREET PAVEMENT STRUCTURE FOR THE INSTALLATION OF A UTILITY, SAID MATERIAL WILL BE DELIVERED TO THE CITY PUBLIC WORKS STORAGE YARD AND THE TRENCH CUT RESTORED WITH BELOW INDICATED BASE COURSE MATERIAL AND ASPHALT CONCRETE SURFACE COURSE, AS DESCRIBED HEREIN.

Revision Date: October 2022



CITY ENGINEER'S OFFICE
Transportation Engineering Division

1805 NE 10th Avenue, Building 300
 Ocala, FL 34470

CONTACT: Transportation Engineering
 Division Telephone (352) 351-6725

**R.O.W. UTILIZATION PERMIT
 APPLICATION**

(Authority: City of Ocala Code of Ordinances Section 58-5 and Section 59-5)

12. **TRENCH BACKFILL AND COMPACTION:** TRENCH BACKFILL SHALL BE CONSTRUCTED WITH SUITABLE MATERIAL PLACED IN 12 INCH LIFTS WETTING OR DRYING WILL BE REQUIRED TO OBTAIN PROPER MOISTURE CONTENT AND TAMPED WITH MECHANICAL TAMPER TO OBTAIN REQUIRED COMPACTION. ALL BACKFILL SHALL BE COMPACTED TO A DENSITY OF AT LEAST ONE HUNDRED (100%) OF THE MAXIMUM DENSITY AS DETERMINED BY AASHTO T99 (STANDARD PROCTOR). DENSITY TESTS SHALL BE REQUIRED AT LEAST EACH 12 INCHES OF COMPACTED FILL. DENSITY TESTS SHALL BE REQUIRED NOT MORE THAN 500' APART. (SECTION 120 AND 125-8 OF FOOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2018 EDITION AND CITY OF OCALA CODE OF ORDINANCES, SECTION 83-378).
13. **BASE COURSE MATERIAL** TO BE USED IN ALL OPEN CUTS SHALL BE EQUAL TO OR BETTER THAN THE EXISTING BASE BOTH IN QUALITY AND THICKNESS. THE DECISION AS TO THE TYPE AND AMOUNT OF BASE MATERIAL IN EACH INDIVIDUAL CUT WILL BE DETERMINED BY THE CITY ENGINEER. WHERE LIMEROCK IS USED AS A BASE MATERIAL, IT SHALL BE THOROUGHLY COMPACTED IN 6 INCH LAYERS WITH A MINIMUM TOTAL THICKNESS OF 12 INCHES, TO RECEIVE THE SURFACE COURSE. THE LIMEROCK MATERIAL SHALL BE OF QUALITY ACCEPTABLE TO THE CITY OF OCALA AND THE BASE SHALL BE MAINTAINED IN A CONDITION ACCEPTABLE TO THE CITY ENGINEER UNTIL SURFACE COURSE IS APPLIED TO ENSURE A GOOD RIDING SURFACE. ONE LIMEROCK DENSITY TEST OF AT LEAST 98% COMPACTION WILL BE REQUIRED PRIOR TO SURFACING. LIMEROCK SHALL BE PRIMED PRIOR TO PAVING.
14. THE PERIOD OF TIME BETWEEN THE RESTORATION OF THE BASE MATERIAL AND THE APPLICATION OF THE FINISHED SURFACE COURSE SHALL NOT EXCEED SEVEN (7) CALENDAR DAYS EXCEPT BY WRITTEN AUTHORIZATION BY THE CITY ENGINEER'S OFFICE.
15. SURFACE COURSE SHALL BE A TYPE EQUAL TO OR BETTER THAN EXISTING, TO BE DETERMINED BY THE CITY ENGINEER. FOR EACH LOCATION WHERE THE SURFACE COURSE IS OF ASPHALTIC CONCRETE IT SHALL BE FOOT SP 9.5 WITH A MINIMUM OF 1,500 LBS MARSHALL STABILITY AND WITH A MINIMUM COMPACTED THICKNESS OF 1 1/2 INCHES FOR RESIDENTIAL STREETS.
16. BEFORE SURFACE COURSE IS APPLIED TO THE AREA IT SHALL BE SAW CUT AND SQUARED TO FORM A RECTANGULAR SHAPE, THE SIDES OF WHICH SHALL BE A MINIMUM OF 2 FEET FROM THE FARTHEST EXTENSION OF THE CUT ON ALL SIDES, OR AS DIRECTED BY THE CITY ENGINEER.
17. IN AREAS WHERE PAVEMENT CUTS ARE CLOSE OR IN A ROW, THE ENTIRE AREA, INCLUDING THAT BETWEEN PATCHES, SHALL BE SAW-CUT AND RESURFACED IN A CONTINUOUS STRIP, THE WIDTH OF WHICH, IF IN QUESTION, SHALL BE DETERMINED BY THE CITY ENGINEER.
18. WHERE A UTILITY IS INSTALLED IN AN UNPAVED STREET, SAID STREET WILL BE STABILIZED FROM DITCH LINE TO DITCH LINE AND RESTORED TO CONDITION EQUAL TO OR BETTER THAN ORIGINAL UNDISTURBED CONDITION.
19. ALL UNDERGROUND UTILITY CROSSING INSTALLATION SHALL BE LAID AT A MINIMUM DEPTH OF 36 INCHES BELOW THE PAVEMENT. EXCEPTIONS MAY BE MADE, IN SPECIAL CASES, IF APPROVED IN WRITING BY THE CITY ENGINEER.
20. WHERE A UTILITY IS INSTALLED IN AN UNPAVED PORTION OF THE CITY RIGHT-OF-WAY, THE UNPAVED DISTURBED AREA SHALL BE RESTORED IN A MANNER ACCEPTABLE TO THE CITY, INCLUDING RESTORATION OF GRASSED AREA WITH BAHIA SOD, DRIVEWAYS AND SIDEWALKS RESTORED IN KIND, AS WELL AS DRAINS, RETAINING WALLS, CURBS, ETC.
21. ALL STREET EXCAVATION SHALL BE DONE IN KEEPING WITH STANDARDS, POLICIES AND PROCEDURES OF THE CITY OF OCALA, SUBJECT TO THE INTERPRETATION OF THE CITY ENGINEER.
22. IF A SEWER LATERAL, WATERLINE OR ANY RELATED WATER-FACILITY, OR OTHER PRIVATE UTILITY IS BROKEN OR DAMAGED DURING CONSTRUCTION, IMMEDIATE NOTIFICATION OF THE APPROPRIATE AGENCY IS REQUIRED.
23. CONSTRUCTION AND MAINTENANCE OF SUCH UTILITY SHALL NOT INTERFERE WITH THE RIGHTS OF A PRIOR OCCUPANT.
24. ALL PROJECTS AND WORK ON CITY STREETS SHALL HAVE AN APPROVED TRAFFIC CONTROL (MOT) PLAN. ALL WORK SHALL BE EXECUTED UNDER THE ESTABLISHED 'MOT' PLAN, AND THE LATEST FOOT DESIGN STANDARD INDEX NO. 102-600 THAT CONTAINS INFORMATION SPECIFIC TO THE STATE GUIDELINES ON TRAFFIC CONTROL IN WORK ZONES, FOR CONSTRUCTION AND MAINTENANCE OPERATION, AND UTILITY WORK.
25. IT IS EXPRESSLY STIPULATED THAT THIS PERMIT IS A LICENSE FOR PERMISSIVE USE ONLY AND THAT PLACING OF FACILITIES UPON PUBLIC PROPERTY PURSUANT TO THIS PERMIT SHALL NOT OPERATE TO CREATE OR VEST ANY PROPERTY RIGHTS IN SAID HOLDER.
26. THE ATTACHED SKETCH COVERING DETAILS OF THIS INSTALLATION SHALL BE MADE A PART OF THIS PERMIT. ADDITIONAL SKETCHES SHALL BE FURNISHED WHERE ATTACHED SKETCH IS NOT APPLICABLE.
27. IT IS UNDERSTOOD AND AGREED THAT THE RIGHTS AND PRIVILEGES HEREIN SET OUT ARE GRANTED ONLY TO THE EXTENT OF THE CITY'S RIGHT, TITLE AND INTEREST IN THE LAND TO BE ENTERED UPON AND USED BY THE HOLDER, AND THE HOLDER WILL, AT ALL TIMES, ASSUME ALL RISK OF AND INDEMNIFY, DEFEND, AND SAVE HARMLESS THE CITY OF OCALA AND THE ENGINEERING DEPARTMENT FROM AND AGAINST ANY AND ALL LOSS, DAMAGE, COST OR EXPENSE ARISING IN ANY MANNER ON ACCOUNT OF THE EXERCISE OR ATTEMPTED EXERCISES BY SAID HOLDER OF THE AFORESAID RIGHTS AND PRIVILEGES.
28. WITH REFERENCE TO STREET CLOSINGS, THIS PERMIT WILL BE REQUIRED FOR THE TEMPORARY CLOSING OF PUBLIC STREETS, ETC.

Revision Date: October 2022

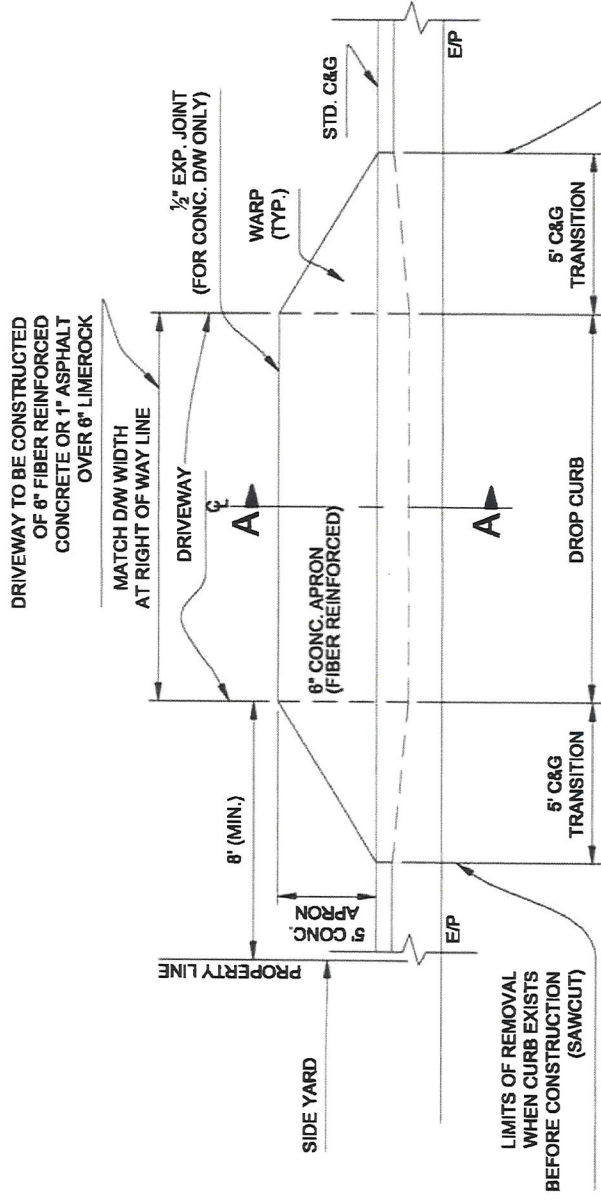


Driveway Standards Cover Sheet

Driveway Construction General Notes:

1. 6" thick 3,000 PSI fiber reinforced concrete or 6x6 wire mesh required for driveway approach, applies to all driveway section areas within the right of way and up to the property line. All concrete section areas to include fiber reinforced concrete or 6x6 wire mesh throughout the entire driveway area poured.
MAG
2. Subgrade shall be compacted to a minimum of 95% modified proctor, any soil disturbed within 1 foot of the building structure perimeter shall be treated for termites.
MAG
3. A minimum driveway width of 10' feet is required. Maximum width of a residential driveway is 24' feet per driveway policy.
MAG
4. Provide a clean precise cut at driveway connection, tie into existing curb cut smoothly.
MAG
5. Driveway shall be constructed in a manner as to not cause an obstruction to the natural storm water surface flow. The existing drainage pattern shall not be altered without a professional signed and sealed engineered drainage and grading plan submitted and reviewed prior to completion of work.
MAG
6. See all attached Ocala Driveway Specification Standard Sheets R-1, R-2, R-3, and R-4, driveway flares shall be per the standard details provided.
MAG

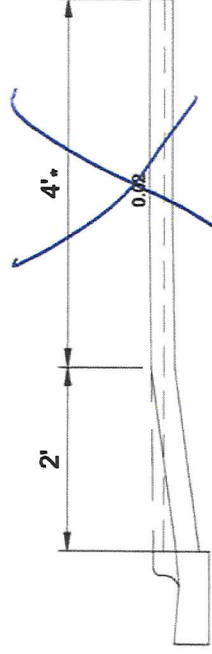
Revised: 02/07/2019



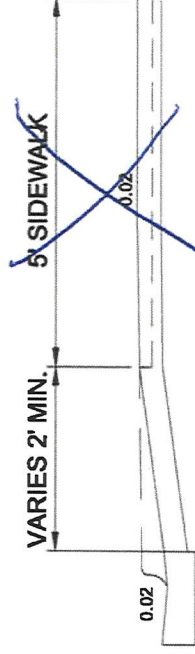
PLAN

NOTE:
SAWCUT CONTRACTION JOINTS
EQUALLY SPACED AT NOT MORE
THAN 10' INTERVALS.

LIMITS OF REMOVAL
WHEN CURB EXISTS
BEFORE CONSTRUCTION
(SAWCUT)



TURNOUT WITH SIDEWALK ADJACENT TO CURB



* THE 2% PORTION OF SIDEWALK BETWEEN DRIVEWAY MAY BE REDUCED TO 3' MIN. IN RESTRICTED CONDITIONS WHEN APPROVED BY THE ENGINEERING DEPARTMENT

TURNOUT WITH SIDEWALK AND UTILITY STRIP

SECTION

NOTES:

1. FOR RESIDENTIAL TURNOUTS WITH RADIAL RETURNS : MINIMUM 25' RADIUS, MAXIMUM 50' RADIUS. THE RETURN RADIUS SHALL NOT PASS BEYOND ADJOINING PROPERTY BOUNDARY LINE EXTENDED.
2. FOR COMMERCIAL & INDUSTRIAL TURNOUTS : REFER TO FOOT INDEX #615.

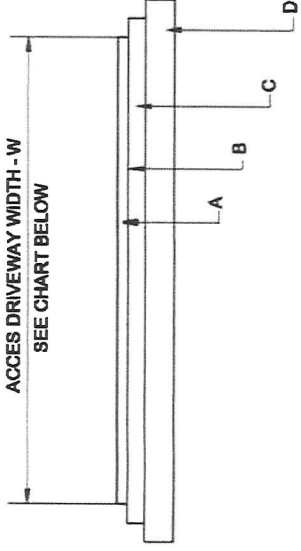


**CITY OF OCALA
STANDARD**

**TYPICAL RESIDENTIAL
DRIVEWAY DETAIL "A"**

R-3

Version of
JAN. 21, 2010



SECTION

MATERIALS OF CONSTRUCTION:

- A. SP 9.5 ASPHALT SURFACE COURSE.
- B. PRIME COAT, W/SAND APPLICATION, APPLIED AT A MINIMUM RATE OF 0.10 GALLONS PER SQUARE YARD.
- C. LIMEROCK BASE COURSE, LBR 100 MINIMUM, COMPACTED TO 98% MAXIMUM DENSITY PER AASHTO T-180.
- D. STABILIZED SUBGRADE TYPE 'B', LBR 40 MINIMUM, COMPACTED TO 98% MAXIMUM DENSITY, PER AASHTO T-180.

| BUILDING ZONE | DRIVEWAY WIDTH - W | | | CURB RADII - R | | FLEXIBLE PAVEMENT SECTION COURSE THICKNESSES | | | |
|---------------|--------------------|-------|---------|----------------|-------|--|-----------------|---------------|-------------------------|
| | ONE-WAY | | TWO-WAY | CURB RADII - R | | A | C | D | |
| | MIN | MAX | MIN | MAX | MIN | MAX | ASPHALT SURFACE | LIMEROCK BASE | STABILIZED SUBGRADE (2) |
| RESIDENTIAL | 5 FT | 4 FT | 20 FT | 24 FT | 5 FT | 24 FT (1) | 1 INCH | 6 INCHES | 8 INCHES |
| INDUSTRIAL | 7 FT | 8 FT | 24 FT | 40 FT | 10 FT | 50 FT | 2 INCHES | 8 INCHES | 12 INCHES |
| COMMERCIAL | 7 FT | 8 FT | 24 FT | 36 FT | 25 FT | 50 FT | 1 1/2 INCHES | 4 INCHES | 10 INCHES |
| INDUSTRIAL | 9 FT | 12 FT | 16 FT | 24 FT | 4 FT | 35 FT (1) | 1 INCH | 6 INCHES | 8 INCHES |

- (1) 36 FT. W/ 4 INCH STANDARD DETAIL, R-1 AND R-2.
- (2) STABILIZED SUBGRADE COURSE CAN BE REDUCED BY 2 INCHES FOR EVERY INCH OF ADDITIONAL LIMEROCK BASE COURSE PROVIDED.
- (3) 5/8 INCH CONCRETE PAVEMENT SECTION FOR RESIDENTIAL DRIVEWAYS SHALL BE 6 INCHES OF FIBER REINFORCED 2500 P.S. CONCRETE OVER A STABILIZED SUBGRADE.

NOTES:

1. MATERIALS AND METHODS OF CONSTRUCTION FOR THE ACCESS DRIVEWAY WITHIN THE STREET RIGHT OF WAY SHALL BE IN ACCORDANCE WITH THE FDOT 'STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION', CURRENT EDITION.
2. ALL UNSUITABLE MATERIAL UNDER THE PROPOSED PAVEMENT, SUCH AS CLAY AND ROOTS, SHALL BE REMOVED TO A MINIMUM DEPTH OF 18 INCHES BELOW THE BOTTOM OF THE STABILIZED SUBGRADE. AN UNDERDRAIN SHALL BE INSTALLED THROUGH THE UNSUITABLE SECTION AREA.
3. INVERTED CROWN PAVEMENT SECTION MAY BE USED IF INCORPORATED INTO THE SITE STORM DRAINAGE DESIGN.
4. DROP (MIAMI) CURB MAY BE USED WHEN IT WILL ADEQUATELY CONTAIN SURFACE DRAINAGE AND NOT INTERFERE WITH CURB INLET STRUCTURES.
5. REFER TO CITY DRIVEWAY POLICY FOR MORE ACCESS DRIVEWAY REQUIREMENTS.



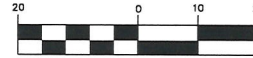
**CITY OF OCALA
STANDARD**

**ACCESS DRIVEWAY
TYPICAL SECTION**

R-2

Version of
JAN. 21, 2010

GRAPHIC SCALE



(IN FEET)
1 inch = 20 ft.

DESCRIPTION:
1) MEASURED BEARINGS BASED ON THE MONUMENTED EAST RIGHT OF WAY LINE OF S.E. SANCHEZ AVENUE SAID BEARING BEING ASSUMED AS S.00°00'00"E.
2) SURVEY BASED ON EXISTING MONUMENTATION OF CALDWELL'S ADDITION TO OCALA, FLORIDA.
3) DESCRIPTION FURNISHED BY CLIENT.
4) BOUNDARY SURVEY FOR MATTHEW ALLAN GROW AND CINDY ANN GROW.
5) LANDS SHOWN HEREON HAVE NOT BEEN ABSTRACTED FOR RIGHT-OF-WAY, EASEMENTS, AND/OR OTHER INSTRUMENTS OF RECORD BY THIS SURVEYOR.
6) REPRODUCTIONS OF THIS SKETCH ARE NOT VALID UNLESS SIGNED & SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.
7) SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
8) NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES, INCLUDING BUT NOT LIMITED TO SEPTIC TANKS, SEWER FORCE MAINS, POTABLE WATER FORCE MAINS, TELEPHONE AND/OR FIBEROPTIC CABLES, ETC. BEFORE EXCAVATIONS ARE BEGUN, THE APPROPRIATE AGENCY SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FIELD LOCATION.
9) LANDS SHOWN HEREON ARE CONSIDERED TO BE IN ZONE "X" AREAS DETERMINED TO BE OUTSIDE THE 100-YEAR FLOOD PLAIN, AS ESTABLISHED BY THE NATIONAL FLOOD INSURANCE PROGRAM, COMMUNITY PANEL #12083C-0517E D, DATED APRIL 19, 2017.
10) THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE BENEFIT OF THE PARTY(IES) NAMED HEREON, AND SHALL NOT BE DUPLICATED OR RELIED UPON BY ANY OTHER INDIVIDUAL OR ENTITY WITHOUT AUTHORIZATION FROM BOHANON & ASSOCIATES LAND SURVEYING, LLC.

NOTES:

- 1) MEASURED BEARINGS BASED ON THE MONUMENTED EAST RIGHT OF WAY LINE OF S.E. SANCHEZ AVENUE SAID BEARING BEING ASSUMED AS S.00°00'00"E.
- 2) SURVEY BASED ON EXISTING MONUMENTATION OF CALDWELL'S ADDITION TO OCALA, FLORIDA.
- 3) DESCRIPTION FURNISHED BY CLIENT.
- 4) BOUNDARY SURVEY FOR MATTHEW ALLAN GROW AND CINDY ANN GROW.
- 5) LANDS SHOWN HEREON HAVE NOT BEEN ABSTRACTED FOR RIGHT-OF-WAY, EASEMENTS, AND/OR OTHER INSTRUMENTS OF RECORD BY THIS SURVEYOR.
- 6) REPRODUCTIONS OF THIS SKETCH ARE NOT VALID UNLESS SIGNED & SEALED WITH AN EMBOSSED SURVEYOR'S SEAL.
- 7) SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
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LEGEND:

- N=NORTH, E=EAST, S=SOUTH, W=WEST (OR ANY COMBINATION)
 ° = DEGREES WHEN USED IN A BEARING AND/OR ANGLE
 ' = MINUTES WHEN USED IN A BEARING AND/OR ANGLE
 " = SECONDS WHEN USED IN A BEARING AND/OR ANGLE
 ' = FEET WHEN USED IN A DISTANCE
 P.C. = POINT OF CURVATURE
 P.T. = POINT OF TANGENCY
 P.R.C. = POINT OF REVERSE CURVATURE
 P.C.C. = POINT OF COMPOUND CURVATURE
 P.I. = POINT OF INTERSECTION
 L.S. = LICENSED SURVEYOR
 L.B. = LICENSED BUSINESS
 R.L.S. = REGISTERED LAND SURVEYOR
 P.S.M. = PROFESSIONAL SURVEYOR & MAPPER
 E.S. = ELECTRIC SERVICE
 P.C.P. = PERMANENT CONTROL POINT
 PROP. = PROPOSED
 COV. = COVERED
 CONC. = CONCRETE
 A/C = AIR CONDITIONER
 I.D. = IDENTIFICATION
 (M) = MEASURED DISTANCE OR BEARING
 (P) = PLAT DISTANCE OR BEARING
 (C) = CALCULATED DISTANCE OR BEARING
 (-) = LINE NOT DRAWN TO SCALE
 ⊙ = FOUND 5/8" IRON ROD AND CAP (LB 3991)
 ⊙ = SET 5/8" IRON ROD AND CAP (LB 8181)
 ⊙ = FOUND 5/8" IRON ROD AND CAP (LB 2566)
 ⊙ = FOUND 4"x4" CONCRETE MONUMENT (NO ID)

CERTIFY TO: MATTHEW ALLAN GROW AND CINDY ANN GROW; AMERIS BANK, ISAOA(ATIMA) AFFILIATED TITLE OF CENTRAL FLORIDA, LTD.; FIRST AMERICAN TITLE INSURANCE COMPANY

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE DIRECTION AND SUPERVISION, AND THE PLAT AND DESCRIPTION ABOVE IS A CORRECT REPRESENTATION OF THE LANDS SURVEYED AND MEETS THE ESTABLISHED STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 61-12.050-052, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

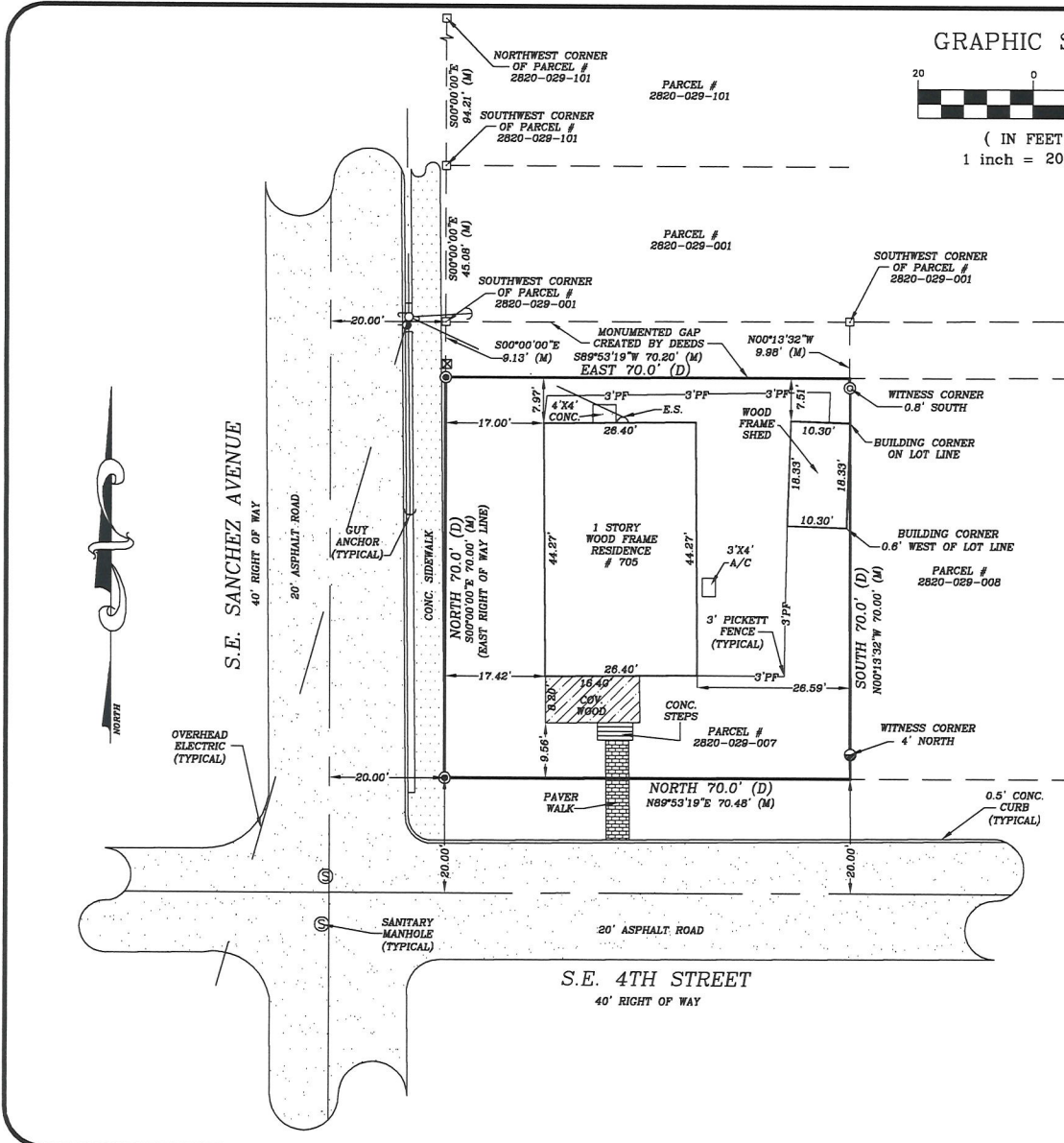
Jimmy L. Bohanon
 JIMMY L. BOHANON, PSM # 6172
 OF BOHANON & ASSOCIATES LAND SURVEYING, LLC
 6520 S.E. 113th STREET
 BELLEVIEW, FL 34420

12/06/2018
 DATE

| NO. | DATE | BY | REVISION: |
|-----|------|----|-----------|
| 1 | | | |
| 2 | | | |
| 3 | | | |

BOUNDARY SURVEY FOR: MATTHEW ALLAN GROW AND CINDY ANN GROW
 BOHANON & ASSOCIATES LAND SURVEYING, LLC
 "COMPLETE SURVEYING & MAPPING SERVICE"
 LICENSED BUSINESS #181
 P.O. BOX 5477 OCALA, FLORIDA 34478
 OFFICE: (352) 236-2212

| | | | |
|---------------|---------------|--------------|---------------|
| JOB: 18-923 | DATE: 12/5/18 | VOLUME: 5/36 | SHEET: 1 OF 1 |
| DRAWN: TCM | | | |
| REVIEWED: JLB | | | |



FLORIDA MASTER SITE FILE
Site Inventory Form

FDAHRM 802 = =

✓ 12/88 (old parcel #) 49
new parcel # 7/89
C

Site Name _____ 830 = = Site No. 73-51818 1009 = =
Address of Site: 705 S.E. 4th St Survey Date 1981 820 = =
Instruction for locating N.E. corner of S.E. Sanchez and S.E. 4th St 905 = =

Location: Caldwells AD Ocala 70 Ft Sq in SW Cor Lot 29 813 = =
subdivision name block no. lot no. 868 = =

County: Marion 808 = =

Owner of Site: Name: McCleaf, Jacqueline C
Address: 705 SE 4th St. 125 SE 14 AV 902 = =
Ocala, FL 32670 832 = =

Type of Ownership Private 848 = = Recording Date _____
Recorder: Name & Title: Withlacoochee Regional Planning Council, Joyce Cusick, Assoc.
Address: 1241 S.W. 10th St. Planner 818 = =
Ocala, FL 32670 838 = =

Condition of Site: Integrity of Site: Original Use residence 850 = =
Check One Check One or More Present Use residence 850 = =
 Excellent 863 = = Altered 858 = = Dates: Beginning ca:1924 844 = =
 Good 863 = = Unaltered 858 = = Culture/Phase American 840 = =
 Fair 863 = = Original Site 858 = = Period _____ 845 = =
 Deteriorated 863 = = Restored () (Date: X) 858 = =
 Moved () (Date: X) 858 = = 916 = =

NR Classification Category: _____
Threats to Site: Check One or More
 Zoning (X) 878 = = Transportation (X) 878 = =
 Development (X) 878 = = Fill (X) 878 = =
 Deterioration (X) 878 = = Dredge (X) 878 = =
 Borrowing (X) 878 = =
 Other (See Remarks Below): 878 = =

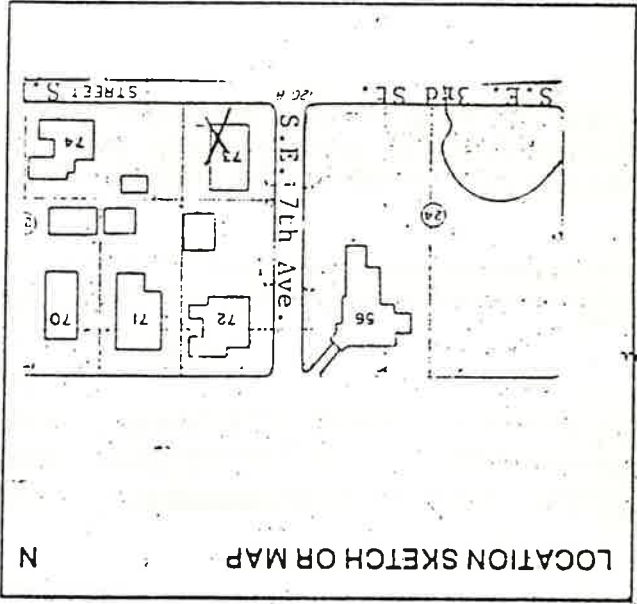
Areas of Significance: architecture 910 = =

Significance:
An example of a bungalow style house exhibiting classical architectural influences. The house is in scale and character with its surroundings, a residential Victorian neighborhood which has evolved from the 1880's through the early 1900's.
911 = =



84N312 #23(21)
Contact Print

Photographic Records Numbers
81N70#11(2,3)



Township Range Section

| | |
|-----|---|
| 872 | ARCHITECT |
| 874 | BUILDER |
| 964 | STYLE AND/OR PERIOD |
| 966 | PLAN TYPE |
| 854 | EXTERIOR FABRIC(S) |
| 856 | STRUCTURAL SYSTEM(S) |
| | wood frame |
| | ship lap wood siding |
| | front with column on piers |
| 942 | FOUNDATIONS: brick piers |
| 942 | ROOF TYPE: gable |
| 942 | SECONDARY ROOF STRUCTURE(S): smaller gable over porch |
| 942 | CHIMNEY LOCATION: |
| 942 | CHIMNEY TYPE: double hung sash |
| 942 | CHIMNEY: |
| 882 | ROOF SURFACING: asbestos tile |
| 882 | ORNAMENT EXTERIOR: |
| 950 | NO. OF CHIMNEYS |
| 952 | NO. OF STORIES |
| 1/2 | |
| 954 | NO. OF DORMERS |
| 809 | Map Reference (incl. scale & date) |
| | USGS Ocala West - #447 - 7.5 Min. - 1964 |
| | Latitude and Longitude: |
| 800 | Site Size (Approx. Acreage of Property): |
| 833 | |



Ocala

Legislation Text

110 SE Watula Avenue
Ocala, FL 34471

www.ocalafl.gov

File #: 2025-0407

Agenda Item #: c.

Case File # 167; COA24- 0004; 316 SE Alvarez Avenue

To replace thirteen (13) windows with 3540 Single-Hung MI windows and remove one (1) window from an accessory structure.

Petitioner: Rolando Sosa

Agent: N/A

Planner: Breah Miller, Planner II

bmiller@ocalafl.gov

Recommended Action: Not Appropriate



Staff Report

Case #167

COA24-0004

Ocala Historic Preservation Advisory Board: January 2, 2025

Petitioner: Rolando Sosa
Property Owner: Rolando Sosa
Project Planner: Breah Miller, Planner II
Applicant Request: To replace thirteen (13) windows with 3540 Single-Hung MI windows and remove one window from an accessory structure.

Parcel Information

Acres: ±0.30 acres
Parcel(s) #: 2820-010-006
Location: 316 SE Alvarez Avenue
Future Land Use: Neighborhood
Zoning District: R-3, Multi-Family Residential District
Existing Use: Single-Family Residence

Background:

The existing home and accessory carriage home were constructed in 1923 using a Vernacular Mediterranean building style. The home is a contributing structure to the Ocala Historic District. The existing home is located at the southeastern corner of the subject property and is currently a single-family residence. The carriage home is in the northwestern corner of the subject property and has an apartment on the second floor. Both structures currently have the original windows installed. The applicant is now requesting to replace 13 windows within the carriage home and remove one window located to the rear of the structure to accommodate interior renovations.

Staff Analysis

Certificate of Appropriateness Criteria for Decisions (Section 94-82(g)):

The Code states that the Board may issue a certificate of appropriateness for the reconstruction, alteration, new construction, non-permanent structures, demolition, partial demolition, or removal of any building or structure within a locally designated historic district or any designated local landmark, or any other activity for which a CA is required, if such action is not deemed contrary to the purposes of historic preservation and to the special character of districts, sites and resources as designated specifically. The board's decisions will be based on the Secretary of the Interior's Standards, the city's Historic Preservation Design Guidelines, this chapter, and the following criteria:

1. Exterior alterations shall not diminish the architectural quality or historical character of the building or the building site.

The proposed exterior alteration diminishes the architectural quality or historic character of the building and building site. The 3540 Single-Hung MI window replacement will negatively

impact the building and building site; however, removal of one rear window has no impact on the historic character or architectural quality of the building or building site. The carriage home currently has the original 6-over-1 pane, wooden windows with exterior muntins and ogee profile. The proposed 3540 Single-Hung MI windows are vinyl with a 5/8" colonial grille pattern located between the glass panes. All historical characteristics of the existing windows will be lost in the proposed replacement.

2. Sandblasting of any materials except for iron is prohibited.

Proposed alteration does not require sandblasting of any materials.

3. Only through very controlled conditions can most historic building material be abrasively cleaned of soil or paint without measurable damage to the surface or profile of the substrate. Decisions regarding the proper cleaning process for historic structures can be made only after careful analysis of the building fabric, and testing. Generally, wet abrasive cleaning of a historic structure should be conducted within the range of 20 to 100 psi at a range of three to 12 inches.

Not applicable; the request does not identify any abrasive cleaning.

4. Landscaping, signs, parking and site development should be sensitive to the individual building and should be visually compatible with the buildings and environment with which they are visually related.

Not applicable; the request does not include any alteration or additional landscaping, signs, parking, or site development.

5. New construction shall be visually compatible with the buildings and environment with which the new construction is visually related. When an application involves new construction, the applicant may present conceptual plans to the board for review and comment before the application for a certificate of appropriateness is submitted and before construction drawings of the project are prepared. Aspects to be considered include:

- a. The height, volume, proportion between width and height of the facades, the proportions and relationship between doors and windows, the rhythm of solids and voids created by openings in the facades, the materials used in the facades, the texture inherent in the facades, the colors, pattern and trim used in the facades, and the design of the roof.

Not applicable; the proposed alterations will not affect the existing facades of the home.

- b. The existing rhythm created by existing building masses and spaces between them should be preserved.

Not applicable; the proposed alteration will not impact the existing neighborhood massing, and spaces between buildings will be preserved.

- c. Landscape plans should be visually compatible with the buildings and environment with which the landscaping is visually related.

Not applicable; the request does not include any alteration or additional landscaping, signs, parking, or site development.

- d. Proportions of existing facades which are visually related shall be maintained when neighboring buildings have a dominant horizontal or vertical expression, that expression should be carried over in the new facade.

Not applicable; the proposed alteration will not have any impact on the horizontal or vertical expression of the neighborhood.

- e. Architectural details should be incorporated as necessary to relate the new with the old and to preserve and enhance the inherent architectural characteristics of the area.

Some of the exterior specifics that are intended to be kept, such as the trim, placement of the windows and the functionality of the window incorporate architectural details necessary to relate the new with the old. However, the proposed windows having a grille pattern between the glass panes instead of exterior muntins will remove one of the most important architectural and historical components to the building.

- f. Accessory structures shall be compatible with the scale, shape, roof form, materials, and detailing of the main structure to protect the historic integrity of the neighborhood. The accessory structure shall not exceed the maximum height allowed by the applicable zoning or the height of the existing primary structure.

The proposed alteration causes a visual incompatibility between the primary single-family residences and the accessory structure. The single-family residence features wood windows with exterior muntins and ogee profile, whereas the proposed alteration would replace the windows of the accessory structure with grille patterns between the windowpanes, no exterior muntin, and vinyl material.

The Secretary of the Interior Standards; Windows (page 102)

Recommended: Identifying, retaining, and preserving windows and their functional and decorative features that are important to the overall character of the building. The window material and how the window operates (e.g., double hung, casement, awning, or hopper) are significant, as are its components (including sash, muntins, ogee lugs, glazing, pane configuration, sills, mullions, casing, or brick molds) and related features, such as shutters.

The manner in which the window replacements will operate will be similar; however, there will no longer be exterior muntins or ogee profiling.

The Secretary of the Interior Standards; Windows (page 106)

Recommended: Using low-e glass with the least visible tint in new or replacement windows.

The replacement windows will be low-e glass.

Recommended: Ensuring that spacer bars in between double panes of glass are the same color as the window sash.

All components of the window will be the same color.

Not Recommended: Modifying a historic single-glazed sash to accommodate insulated glass when it will jeopardize the soundness of the sash or significantly alter its appearance.

The historic single-glazed sashes will be changed to vinyl, welded, multi-chamber sashes. The sashes will have tilt-in bottoms for easy cleaning. The Ogee profile will be lost with this alteration.

Not Recommended: Using window grids rather than true divided lights on windows in low- rise buildings or on lower floors of high- rise buildings where they will be noticeable, resulting in a change to the historic character of the building.

The proposed grille design being placed between the glass panes will be noticeable, resulting in a change to the historic character of the building.

Not Recommended: Replacing windows solely because of peeling paint, broken glass, stuck sash, or high air infiltration. These conditions, in themselves, do not indicate that windows are beyond repair.

The applicant did imply that the window change was due to the poor condition of the existing windows, and prospective future interior renovations. There has been no further documentation as to feasibility or determination that the window conditions are beyond repair.

Staff Recommendation: Not Appropriate



City of Ocala
 Growth Management Department
 201 S.E. 3rd Street, 2nd Floor
 352-629-8421 | www.ocalaf1.org

Case File # 167
 COA 24-0004
 Meeting Date: Jan 2
 Product Approval # _____

Application for a Certificate of Appropriateness (COA)

As required by [Section 94-82\(g\)](#) of the City of Ocala Code of Ordinances, Ocala Historic Preservation Advisory Board (OHPAB) decisions on the COAs will be based on the [Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings](#) the [Ocala Historic Preservation Design Guidelines](#), and the [Ocala Historic Preservation Code](#).

COA Application Procedure:

1. Arrange an informal pre-application conference with Planning staff.
2. Fill out and submit COA application and required material to Planning staff 30 days prior to OHPAB meeting. Please email application packets: historic@ocalaf1.org.
3. Attend OHPAB meeting or send a representative with a letter of authorization.
4. Meetings are held the 1st Thursday of each month at 4:00 p.m.
5. Meeting Location: City Council Chambers, 2nd floor of City Hall (110 SE Watula Ave.)

If applicant fails to notify staff and does not attend the meeting, the application may be tabled for one month. If applicant fails to notify staff and does not attend the next monthly meeting, the application may be denied without prejudice.

There is no application fee; however, if work is performed without an approved COA, a fee of \$100 will be assessed.

| | | | |
|--|--------------|-------------------|--|
| Parcel #: | 2820-010-006 | Property Address: | 316 SE Alvarez Ocala, FL 34471 |
| Owner: | Rolando Sosa | Owner Address: | 2026 SE Laurel Run Ocala, Florida 34471 |
| Owner Phone #: | 352-425-1027 | Owner Email: | sosa@sosarchitect.com |
| Will there be an additional meeting representative? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (If yes, representative will need a letter of authorization*) | | | |
| Rep. Name: | | Rep. Phone #: | |
| Rep. Email: | | Rep. Email: | |

| | | | |
|---------------|--|---|--|
| Project Type: | <input type="checkbox"/> Addition <input type="checkbox"/> Alteration <input checked="" type="checkbox"/> Repair | <input type="checkbox"/> New Construction <input type="checkbox"/> Reroof <input type="checkbox"/> Relocation | <input type="checkbox"/> Site Work <input type="checkbox"/> Fence <input type="checkbox"/> Other |
|---------------|--|---|--|



City of Ocala
 Growth Management Department
 201 S.E. 3rd Street, 2nd Floor
 352-629-8421 | www.ocalaf1.org

Case File # 167
 COA 24-0004
 Meeting Date: _____
 Product Approval # _____

Describe, by list, specific changes you are requesting to do to your property. Include the types of materials to be used, as well as dimensions. A site plan must be provided for additions to buildings, new construction (including garages, sheds, other accessory buildings), fences and site work (including driveways, parking areas and other improvements). The site plan must show setbacks of the proposed new work items from property lines. Attach additional pages as necessary.

Replacement of windows.

Required additional materials for submission:

- Completed and signed COA application
- Detailed drawings and specifications for all new materials – windows, doors, siding, roofing materials, fencing etc.
- Site plan
- Copy of property deed or proof of ownership
- Authorization letter for non-property owner representative*
- For New Construction: a set of building plans, no larger than 11 x 17, for structural changes or new construction. This includes all four elevations with drawn to scale dimensions. *
- Please list any additional attachments:

-Survey
 -MCPA Property Record Card (Proof of ownership)
 -Floor Plan and Elevations

11/7/2024

Applicant Signature

Date

City of Ocala Application for Certificate of Appropriateness
 Form revised: January 2023

Details for New Materials

Quote Date: 10/11/2024



Customer Name:
Address:

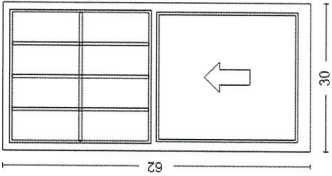
Project Name: Architecture Studio (BS2004, LLC)
Quote Name: Historical District - Rear Building TRP
Quote Number: 5464329
Order Date: Quote Not Ordered
PO Number:

Phone:
Fax:
Customer Information:

Comments:

ITEM & SIZES LOCATION / TAG PRODUCT DESCRIPTION

Line Item: 100-1
Quantity: 11
RO Size: 31.75" X 63"
Unit Size: 30" X 62"



*** PRODUCT ***
Row 1 3540 Single Hung - Vent - 1 Units - 30W x 62H
*** DIMENSIONS ***
30W x 62H
*** FRAME ***
South, Vinyl, Frame Type - Flange, Exterior Color - White
*** GLASS ***
Glazing Type - Insulated, Dual, Glass Tint - Clear, HP Low-E, Argon Gas, Glass Strength - SSB
*** GRILLES ***
Grille Type - GBG, Grille Thickness/Style - 5/8" Flat, Grille Pattern - Colonial
Top Glass: Grille Division Type - Custom, Number Wide - 4, Number High - 2
*** SCREEN ***
Screen - Half, Screen Mesh Type - Charcoal Fiber, Screens Packed Separately - Yes
*** HARDWARE ***
Factory Applied WOCD
*** NFRC ***
Series 3540::SingleHung, U-Factor::0.3, SHGC::0.19, VT::0.4
*** Performance ***
Series 3540::SingleHung, Calculated Positive DP Rating::50.13, Calculated Negative DP Rating::50.13, DP Rule ID::3540 SH, Rating Type::DesignPressure, Performance Grade::LC-PG35*, Water Rating::5.43, FL ID::41886, STC Rating::27, OITC Data::23

3540 Single Hung - Vent - CustomCustom

Units are viewed from the Exterior

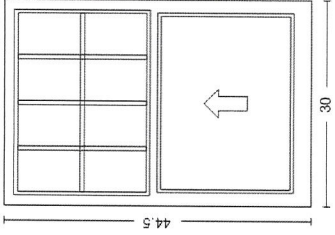
ITEM & SIZES LOCATION / TAG PRODUCT DESCRIPTION

Line Item: 200-1

Quantity: 2

RO Size: 31.75" X 45.5"

Unit Size: 30" X 44.5"



*** PRODUCT ***
 Row 1 3540 Single Hung - Vent - 1 Units - 30W x 44.5H
 *** DIMENSIONS ***
 30W x 44.5H
 *** FRAME ***
 South, Vinyl, Frame Type - Flange, Exterior Color - White
 *** GLASS ***
 Glazing Type - Insulated, Dual, Glass Tint - Clear, HP Low-E, Argon Gas, Glass Strength - SSB
 *** GRILLES ***
 Grille Type - GBG, Grille Thickness/Style - 5/8" Flat, Grille Pattern - Colonial
 Top Glass: Grille Division Type - Custom, Number Wide - 4, Number High - 2
 *** SCREEN ***
 Screen - Half, Screen Mesh Type - Charcoal Fiber, Screens Packed Separately - Yes
 *** HARDWARE ***
 Factory Applied WOCD
 *** NFRC ***
 Series 3540::SingleHung, U-Factor::0.3, SHGC::0.19, VT::0.4
 *** Performance ***
 Series 3540::SingleHung, Calculated Positive DP Rating::50.13, Calculated Negative DP Rating::50.13, DP Rule ID::3540 SH, Rating Type::DesignPressure, Performance Grade::LC-PG35*, Water Rating::5.43, FL ID::41886, STC Rating::27, OITC Data::23

3540 Single Hung - Vent - CustomCustom

Units are viewed from the Exterior

ITEM & SIZES LOCATION / TAG PRODUCT DESCRIPTION

Line Item: 300-1 None Assigned Installation

Quantity: 1

RO Size:

Unit Size:

Units are viewed from the Exterior

Windows to be replaced



East



South

Windows to be replaced



West



North

Proof of Ownership

10-10-Rec
10/15/00-Doc

DAVID R. ELLSPERMANN, CLERK OF COURT MARION COUNTY
DATE: 04/08/2004 09:54:01 AM
FILE #: 2004045542 OR BK/PG 03689/1028

THIS INSTRUMENT PREPARED BY AND RETURN TO:
PAMELA J. FALK
SafeTitle Company
2935 S.E. 58th Avenue
Ocala, Florida 34471

RECORDING FEES 6.00

DEED DOC TAX 1,015.00



Property Appraisers Parcel Identification (Folio) Numbers:
2820-010-006
Grantees SS #s:

SPACE ABOVE THIS LINE FOR RECORDING DATA

THIS WARRANTY DEED, made the 1st day of April, A.D. 2004 by JEAN L. MCRAE, an unmarried widow, herein called the grantor, to ROLANDO SOSA and SARA P. SOSA, husband and wife whose post office address is 5783 NE 62ND COURT ROAD, SILVER SPRINGS, FL 34488, hereinafter called the Grantees:
(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, allens, remises, releases, conveys and confirms unto the grantees all that certain land situate in MARION County, State of Florida, viz:

The Southeast 1/4 and the South 9 feet of the East 56 feet of the NE 1/4 of Lot 10 of Caldwell's Addition to The City of Ocala, according to the plat thereof recorded in Plat Book E, Page 4B, of the Public Records of Marion County, Florida.

Subject to easements, restrictions and reservations of record and to taxes for the year 2004 and thereafter.

Grantor herein covenant that she was married to ANGUS A. MCRAE from the time of acquisition of the above described property and was continuously married without an intervening divorce, up until the demise of ANGUS A. MCRAE.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the grantor hereby covenants with said grantees that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2003.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:

Susan M. Rains
Witness #1 Signature

SUSAN M. RAINS
Witness #1 Printed Name

Pamela J. Falk
Witness #2 Signature

Pamela J. Falk
Witness #2 Printed Name

Jean L. McRae
JEAN L. MCRAE L.S.
1165-NE-7TH STREET, OCALA, FL 34470 34480
1791 SE 80th Street

STATE OF FLORIDA
COUNTY OF MARION

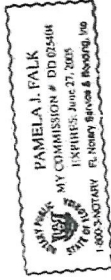
The foregoing instrument was acknowledged before me this 1st day of April, 2004 by JEAN L. MCRAE who is personally known to me or has produced *St. PA* as identification.

SEAL

Pamela J. Falk
Notary Signature

Printed Notary Signature

My Commission Expires:



File # 24-1106

Book3683/Page1028 CFN#2004045542

Order: 544123

Doc: FLMARI:3683-01028

Page 1 of 1

Page 1 of 1

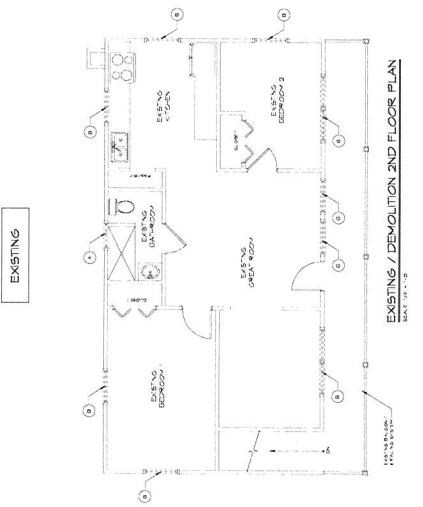
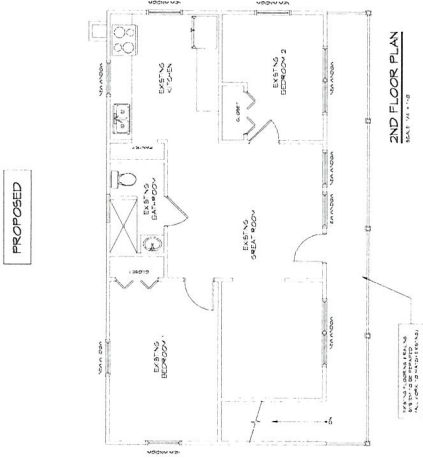
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DATE: 08.04.2024
 11:58 AM PST
 PROJECT: 24108
 SHEET: 110034

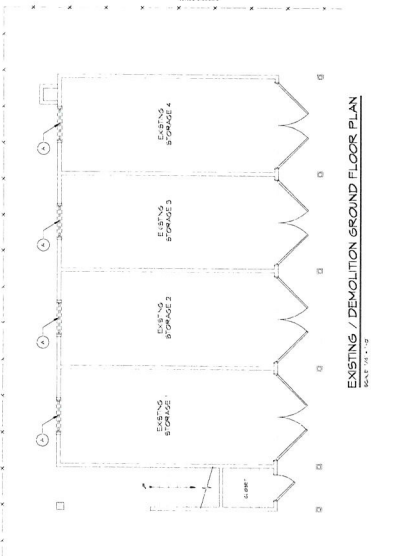
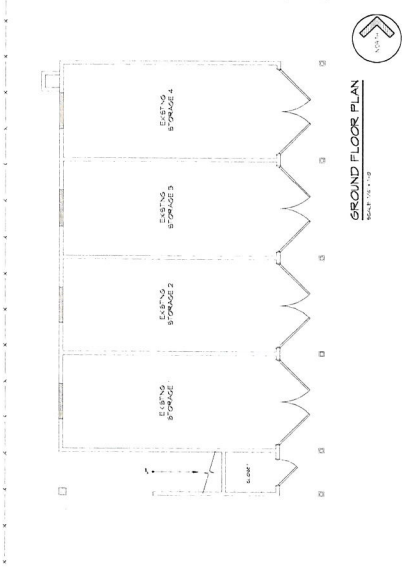
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 WITHOUT THE WRITTEN PERMISSION OF SPEAK ARCHITECTURE STUDIO

AS BUILT FOR:
 316 ALVAREZ AVE.
 OCA, FL 34471

| | | |
|----|-------------|-----------------------|
| BY | PROJECT NO. | SHEET NO. |
| IP | 24108 | A100 |
| | | PRELIMINARY DOCUMENTS |



- DEMOLITION SCHEDULE**
- 1. EXISTING WALLS TO BE DEMOLISHED PER PLAN 200
 - 2. EXISTING FLOORING TO BE DEMOLISHED PER PLAN 200
 - 3. EXISTING CEILING TO BE DEMOLISHED PER PLAN 200
 - 4. EXISTING PARTITION WALLS TO BE DEMOLISHED PER PLAN 200
 - 5. EXISTING DOORS TO BE DEMOLISHED PER PLAN 200
 - 6. EXISTING WINDOWS TO BE DEMOLISHED PER PLAN 200



New Windows Example



FLORIDA MASTER SITE FILE Site Inventory Form

12/88
old parcel #
need parcel # 7/89
2820-010-006

FDAHRM 802 ==

1009 ==

Site No. 52-51739 820 ==

Survey Date 1981 905 ==

Site Name 830 ==

Address of Site: 324 S. E. Alvarez Ave.

Instruction for locating Northwest corner of SE 4th St. and SE Alvarez Ave.

Location: Caldwell's AD Ocala SE 1/4 & S 9 Ft of E 56 Ft of NE 1/4

subdivision name

block no.

lot no.

County: Marion - Lot 10 808 ==

Owner of Site: Name: Stout, Jacob D & Lennis REESE, ROBERT + RUDI

Address: 324 SE Alvarez Ave. 324 SE ALVAREZ AVE

Ocala, FL 32670 Ocala, FL 32671 902 ==

Type of Ownership Private 848 == Recording Date 832 ==

Recorder: Name & Title: Withlacoochee Regional Planning Council, Joyce Cusick, Assoc.

Address: 1241 S.W. 10th St. Planner

Ocala, FL 32670 818 ==

Condition of Site: Integrity of Site: Original Use Residence 838 ==

Check One

Check One or More

Excellent 863 == Altered 858 ==

Good 863 == Unaltered 858 ==

Fair 863 == Original Site 858 ==

Deteriorated 863 == Restored () (Date: X) 858 ==

Moved () (Date: X) 858 ==

Present Use Residence 850 ==

Dates: Beginning CA: 1930 844 ==

Culture/Phase American 840 ==

Period 845 ==

NR Classification Category: 916 ==

Threats to Site:

Check One or More

Zoning (X) 878 == Transportation (X) 878 ==

Development (X) 878 == Fill () 878 ==

Deterioration (X) 878 == Dredge () 878 ==

Borrowing (X) 878 ==

Other (See Remarks Below): 878 ==

Areas of Significance: Architecture 910 ==

Significance:

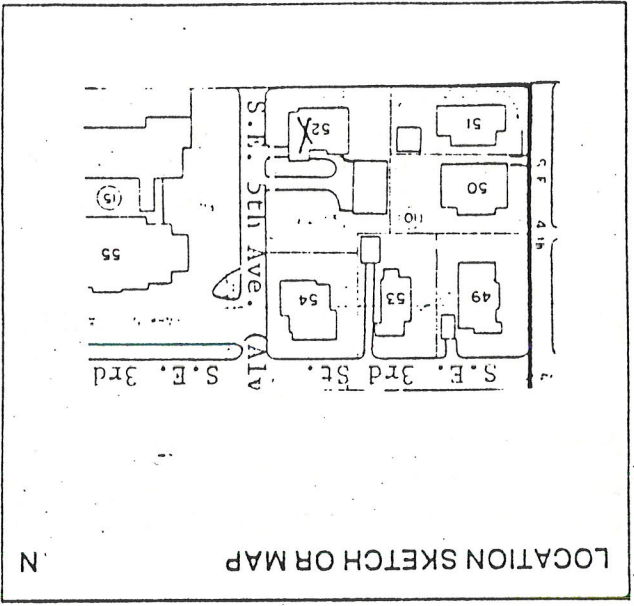
An example of a vernacular style house exhibiting Mediterranean architectural influences. The house is in scale and character with its surroundings, a residential Victorian neighborhood which has evolved from the 1880's through the early 1900's.

911 ==

872 == ARCHITECT
 874 == BUILDER
 964 == STYLE AND/OR PERIOD vernacular Mediterranean Infl.
 966 == PLAN TYPE central
 854 == EXTERIOR FABRIC(S) stucco grey
 856 == STRUCTURAL SYSTEM(S) wood frame
 PORCHES front
 942 == FOUNDATION: continuous
 942 == ROOF TYPE: hip
 942 == SECONDARY ROOF STRUCTURE(S): shed/balcony over porch
 942 == CHIMNEY LOCATION: none
 942 == WINDOW TYPE: double hung small pane
 942 == CHIMNEY: none
 882 == ROOF SURFACING: asbestos tile
 882 == ORNAMENT EXTERIOR: ---
 950 == NO. OF CHIMNEYS --- 952 == NO. OF STORIES 2
 954 == NO. OF DORMERS 1
 Map Reference (incl. scale & date) USGS Ocala West - #447 - 7.5 Min. - 1964
 809 == Latitude and Longitude:
 800 == Site Size (Approx. Acreage of Property):
 833 ==

Township 17
 Range 15
 Section 22

#51739



Photographic Records Numbers
 81N70#8 (3, 4)
 84N512 #24(13)
 Contact Print



ONE OF TWO STRUCTURES ✓12/88
AT 304 SE ALVAREZ AVE

(old parcel#) (C)
new parcel# 7189

STATE OF FLORIDA
DEPARTMENT OF STATE
Division of Archives, History
and Records Management
DS-HSP-3AAA Rev. 3-79

FLORIDA MASTER SITE FILE
Site Inventory Form

FDAHRM 802 ==
1009 ==
Site No. 54(51740) 2820-D10-003
Survey Date 820 ==
905 ==

Site Name Hartshorn, Hannah House 830 ==
Address of Site: 304 SE Alvarez Avenue
Instruction for locating southwest corner of SE 3rd St and SE Alvarez Ave 813 ==

Location: Caldwells AD Ocala Com at NE Cor Lot 10 Thence W 70 Ft S 868 ==
subdivision name block no. lot no.

County: Marion - 104 Ft E 14 Ft N 9 Ft E 56 Ft N 95 Ft 808 ==

Owner of Site: Name: Stout, Jacob D. & Lennis REESE, ROBERT + RUTH ;
Address: 324 SE Alvarez Avenue 324 SE ALVAREZ AVE

Ocala, FL 32670 Ocala, FL - 32671 902 ==
Type of Ownership Private 848 == Recording Date 832 ==

Recorder:
Name & Title: Withlacoochee Regional Planning Council, Joyce Cusick, Assoc
Address: 1241 SW 10th St. Planner 818 ==
Ocala, FL 32670 838 ==

Condition of Site: Integrity of Site: Original Use Residence 850 ==

| | | |
|--|--|---|
| Check One | Check One or More | Present Use <u>Residence</u> 850 == |
| <input checked="" type="checkbox"/> Excellent 863 == | <input type="checkbox"/> Altered 858 == | Dates: Beginning <u>ca +1895</u> 844 == |
| <input type="checkbox"/> Good 863 == | <input checked="" type="checkbox"/> Unaltered 858 == | Culture/Phase <u>American</u> 840 == |
| <input type="checkbox"/> Fair 863 == | <input checked="" type="checkbox"/> Original Site 858 == | Period _____ 845 == |
| <input type="checkbox"/> Deteriorated 863 == | <input type="checkbox"/> Restored () (Date: X) 858 == | |
| | <input type="checkbox"/> Moved () (Date: X) 858 == | |

NR Classification Category: _____ 916 ==

Threats to Site:
Check One or More

| | |
|--|---|
| <input type="checkbox"/> Zoning (X) 878 == | <input checked="" type="checkbox"/> Transportation (X) 878 == |
| <input checked="" type="checkbox"/> Development (X) 878 == | <input type="checkbox"/> Fill (X) 878 == |
| <input type="checkbox"/> Deterioration (X) 878 == | <input type="checkbox"/> Dredge (X) 878 == |
| <input type="checkbox"/> Borrowing (X) 878 == | |
| <input type="checkbox"/> Other (See Remarks Below): 878 == | |

Areas of Significance: Architecture 910 ==

Significance:
Secondary building on property. Please refer to Master Site File Inventory of the primary residence for additional information.



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