



City of Ocala  
Community Redevelopment Agency  
201 SE 3<sup>rd</sup> Street, Ocala, FL 34471

## MEMORANDUM

---

DATE July 18, 2024  
TO: West Ocala CRA Advisory Committee  
FROM: Roberto Ellis, Economic Development Manager  
RE: New Construction Incentive Program

---

### **CRA24-45748 – 2199 NW 10<sup>th</sup> St.**

The applicant, Guinn III Properties, LLC will be expanding the current operations at the site by adding a 25,000 S.F. manufacturing facility for retreading commercial tires. The subject site is occupied by Advanced Tire and is located in the West Ocala CRA subarea, at 2199 NW 10th Street. (22258-000-00). Advanced Tire was founded in Ocala and now has 5 locations in central Florida. The estimated cost of the project is \$2,939,557, which covers sitework, building construction, furnishing, finishing, and equipment. The proposed plans also include constructing additional draining and providing enhanced landscaping to beautify the property. Currently, the property generates approximately \$4,607 in tax revenue each year for the CRA. After the project is complete, the CRA tax revenue is expected to increase to approximately \$18,678 annually. The expansion will also create approximately 8 new full-time jobs for the community; these jobs will pay an annual average salary of \$53,280. The Applicant intends to expand further in the future by adding another 10,000 S.F. The Grant Review Committee (GRC) met on July 8, 2024. Following an evaluation of the application and site conditions, the GRC recommended moving forward with approval of the application.

The Advisory Committee may recommend an incentive amount up to 10% (\$293,956) of the total project costs; the applicant is requesting the maximum grant available. The final grant amount will be budgeted and distributed over three fiscal years. The Applicant has provided all the required documentation to demonstrate eligibility for the incentive. If approved, the project is scheduled to be completed by May 2025. The packet details the project schedule, cost breakdown, funding, and qualifications. Staff recommends granting approval, contingent upon the discussion and decision of the CRA Advisory Committee and the CRA Board.

Attached - Application form, drawings and photographs of existing conditions.

**CITY OF OCALA – COMMUNITY REDEVELOPMENT AGENCY  
NEW CONSTRUCTION INCENTIVE PROGRAM v1. 8/15/2023**

One of the statutory functions of a Community Redevelopment Agency (CRA) is to undertake activities that facilitate the redevelopment and improvement of properties. Incentive programs aimed at encouraging private investment into properties have proven to be a successful activity to carry out this redevelopment function. In an effort to encourage private investment into properties, the Ocala CRA has created the **New Construction Incentive Program** for the four CRA subareas. The program addresses key statutorily defined blight conditions that currently exist in the CRA including undeveloped and underdeveloped property, vacant or underutilized building space, obsolete or substandard interior spaces, inadequate life safety and/or accessibility provisions, and deteriorating or inappropriate facades.

Additionally, the appearance and use of buildings and structures is the basis of the public's overall impression of Ocala as it plays an important role in marketing Ocala as a special place. Improving the physical appearance and use of buildings will promote the attraction and retention of business operations and promote economic growth.

There are four subareas of the Ocala Community Redevelopment Agency (CRA).

- Downtown    North Magnolia    West Ocala    East Ocala

The intention of this grant is to promote a greater impact within the CRA subareas for projects that have a potential for a catalytic impact within a subarea. This grant will allow for new construction and major redevelopment to occur and be applicable to the many facets of development. The grant can be flexible in how the money is disbursed to the applicants and can even be spread over three consecutive years. This grant will include a detailed scoring that must be completed prior to the application being presented before the CRA Advisory Board.

**Only work begun after approval by the Ocala CRA (CRA) will be eligible for a grant. Work in progress or performed before approval will not be eligible.**

## HOW TO GET STARTED

**Step 1: Eligible Grant Areas:** To find out if your property is within a CRA grant area, click here:

<https://arcg.is/1ayTO5>

*A color-coded map of the CRA subareas will open-up. Enter your address or parcel ID# to see if the property is within a CRA grant eligible area.*

**Step 2:** Once you know which one of the four CRA subareas your property is in, refer to the Grant Program Summary sheet of that subarea at the end of this document to learn about:

- Grant Amounts;
- Improvements eligible for a grant;
- Other eligibility requirements of that program.

Email questions to [cra@ocalafl.gov](mailto:cra@ocalafl.gov).

## HOW TO SUBMIT APPLICATION

**Step 1:** Prepare building and (or) site plans. Obtain quotes for construction and prepare detailed project budget and schedule.

**Step 2:** Complete and sign the attached grant application.

**Step 3:** Submit application and other required application materials. Application should be submitted electronically to [cra@ocalafl.gov](mailto:cra@ocalafl.gov). Alternatively, mail or bring the application in person to 201 SE 3rd Street, Second Floor, Ocala, FL 34471.

## TABLE OF CONTENTS

I.	Eligibility and General Requirements	3
II.	Application Materials	5
III.	Application Submittal and Review Process	5
IV.	Application Evaluation	7
V.	Reimbursement	8
	Application Form	10
	General Conditions	13
	Applicant & Owner Signature Page	14
	Grant Program Summary	15

I. **Eligibility and General Requirements**

- (a) Eligible Properties – Must be located in an Ocala Community Redevelopment Agency Subarea
- (b) Ineligible Properties - The following types of property are **not eligible** without City Council approval:
  - 1. Properties that have received any type of CRA grant within the last five (5) years.
  - 2. Tax delinquent property.
  - 3. Property in litigation.
  - 4. Property in condemnation or receivership.
  - 5. Property / property owner with outstanding code enforcement case or financial obligations to the City.
  - 6. Single-family home (subdivisions may be eligible).
- (c) Eligible Applicants - Applicants for the Program can be either the property owner or purchaser with property owner approval and executed purchase agreement. A purchaser must provide an Application form signed by the property owner allowing the purchaser to apply for the grant.
- (d) Eligible Projects – To be eligible to apply for this incentive, a proposed project must meet the following requirements:
  - 1. Ad Valorem Tax - Only projects resulting in taxable properties subject to paying ad valorem property tax are eligible.
- (e) Zoning - Proposed projects must have proper zoning in place prior to applying for incentive program. Projects will be required to meet architectural and signage requirement of Form Based Code design standards. Only project construction and related costs are eligible for the grant programs. Design costs, permitting and review fees are included in the investment consideration for the grant programs.
- (f) All work done must be in accordance with the City of Ocala Code of Ordinances and all required permits and City inspections must be obtained.
- (g) Only work begun after approval by the Ocala CRA (CRA) will be eligible for a grant. Work in progress or performed before approval will not be eligible.
- (h) Any substantial changes to the approved plans and scope of work will require a written request from the applicant and approval by the CRA in order to retain the grant. Staff will inspect work, following completion of project to confirm outcome as proposed.
- (i) Grants may be subject to cancellation if not completed or significant progress has not been made by the project completion deadline. Requests for extensions will be considered only if made in writing and progress toward completion has been demonstrated.
- (j) All work must comply with the program guidelines and be approved by the CRA.

- (k) The contractor(s) and subcontractor(s) must be licensed to work in the City of Ocala. The City does not warrant or assume responsibility for any issues arising between the applicant and its contractor(s) or subcontractor(s).
- (l) Applicants will agree that improvements made using these funds will stay in place for a minimum of five (5) years. If improvements are replaced or removed within five years, the grant recipient must pay a pro-rata share of the grant proceeds invested in the project for the number of months remaining. For example: if \$100,000 is reimbursed and improvements are replaced or removed during month 60 of the 180-month period the recipient pays the City back \$33,000 (Calculated as follows: 180 months - 60 months = 120 months remaining; 60 months divided by 180 months = 33% which is the pro-rata percentage. Multiply the reimbursed amount by the pro-rata percentage to calculate the payback amount (\$100,000 x 33% = \$33,000). Previous improvements funded by a CRA grant are not eligible for a new grant to alter the improvements within fifteen (15) years of completion, unless the previous grant is repaid as specified above.
- (m) The applicant will be required to obtain a building permit for certain types of construction work. Building permit fees are based upon the value of work. Applicants should call the Building Division at (352) 629-8421, if they are interested in receiving an estimate of those fees.
- (n) The American with Disabilities Act requires some handicap upgrades when a building permit is required. Please contact the Building Division about possible additional costs and include these in your submittal.
- (o) Any eligible property owners who intend to pursue State or Federal tax incentives, or energy rebates should contact the appropriate agency prior to beginning the application process. If a Federal Historic Preservation Tax Credit is to be pursued, the project must meet all 10 standards of the Secretary of the Interior's Standards for Rehabilitation. References to such intentions should be included in the grant application.

## II. Application Materials

- (a) Application packages must include enough documentation to illustrate the visual impact of the project and its cost. Failure to provide required information may delay the review process or cause the application to be ineligible. The following items are required to be submitted:
  1. *A Completed Application Form* - The property owner(s), as well as the applicant must sign the application agreeing to the General Conditions, set forth therein.
  2. Proof of Ownership and executed Purchase Agreement, if applicable.

3. Color photographs of the existing conditions.
4. *Building & Site Plans* - Accurate scaled architectural drawings of the proposed improvements, including detailed elevations and floor plans to illustrate conformance with applicable zoning and land development codes. Renderings and any other documentation necessary to illustrate the visual impact of the proposed project. Manufacturer's literature and specifications for windows, doors, etc. Samples of materials may be included or may be requested during the review process.
5. *Project Schedule* – Provide proposed construction start and completion date as well as major project milestones.
6. *Project budget*, showing detailed estimates for all work items. Do not include any design or permitting costs in the project estimate.
7. *Insurance* - Provide proof of property or liability content insurance (as applicable).
8. *Funding* - Demonstrate source of funding and ability to meet the financial obligations of the program. Applicant funding may include a bank loan, line of credit, equity, or any combination thereof.
9. *Market Study*- Current market study, and pro forma market study.
10. *Qualifications* – Team's previous projects, and references
11. *Incentive / Grant Request* – specify value of incentives being requested.

### III. Application Submittal and Review Process

- (a) Applications should be submitted electronically to [cra@ocalafl.org](mailto:cra@ocalafl.org). If this is not possible mail or bring the application in person to Growth Management Department, 201 SE Third Street, Ocala, FL 34471.
- (b) City Staff will review the application to determine if the application meets all eligibility requirements and is sufficiently completed to review. Staff may meet with applicant to review completed application and complete a walk-through of project site, if necessary.
- (c) Applications deemed eligible and complete will be scored by the Advisory Committee according to the evaluation criteria. Staff will prepare an evaluation of the project, including return on investment (ROI) and pay-back period based on the project cost and requested incentive amount.
- (d) The application and staff report will be provided to the Grant Review Committee and then the CRA Advisory Committee for a recommendation if the project should receive a grant and if so, recommend the amount of the award. The Ocala CRA Board makes the final determination if a grant is approved. The determination is based on the

evaluation criteria in **Section IV – Application Evaluation.**

- (e) The CRA will notify the applicant/property owner in writing of award approval. Work cannot begin until applicant has received a written notice from the CRA indicating the grant has been approved.
- (f) Permit applications for work funded by a grant must be submitted to the City of Ocala Building Department within one year of receiving the grant approval.
- (g) Any deviation from the approved plan must be reviewed and approved by the CRA.
- (h) City staff will review progress during the construction or renovation process.
- (i) Upon completion of work, city staff will walk-through building to verify compliance with project application. Final inspection will take place concurrently by Building Department.
- (j) Awards will be issued on a first come first served basis. The CRA will award a maximum of three grants each fiscal year. Applications received outside of application period will be added to a waitlist and processed subject to budgetary approval.

#### IV. Application Evaluation

After an application has been deemed to meet all eligibility requirements, the application will be scored and a grant may be awarded based on the following criteria. See **Table 1**. A minimum score of **80 points** is needed to move forward in the application process.

Table 1. Scoring Criteria

PROPOSAL EVALUATION / SELECTION CRITERIA (SHORTLISTING)	SCORING (100 POINTS)	SUBMITTALS	STAFF	ACTUAL SCORE
<b>FISCAL IMPACT ROI</b> How much will the project increase the property taxes of the site? ROI – Calculated by number of years to pay back.	30	Construction Quotes from contractor based on submitted design	Staff confirms costs through Building Official. Staff calculates increase in ad valorem tax and payback period.	
<b>FEASIBILITY &amp; EXPERIENCE</b> Demonstrated market viability. Demonstrated financial capability. Development Team Qualifications Is the timeline realistic?	20	Market Study Funding Sources Team previous projects, References Permitting & Construction schedule		
<b>CATALYTIC BENEFIT</b> How many jobs, customers, and residents are expected to be brought to the community.  How will the project improve the immediately surrounding area?	25	Pro Forma, Market Study  Project Description & Approach		
<b>COMMUNITY GOALS</b> How well does the project align with the city’s goals for the community? <ul style="list-style-type: none"> <li>• Form Based Code</li> <li>• Affordable &amp; Workforce Housing</li> </ul>	25	Project Description & Approach Architectural Elevations, Site Plan	Staff review for compliance with form-based code. Point system	

#### V. Reporting

A project report is due at substantial completion or within one year of the designated start date if substantial completion is not reached by then. Multi-year projects are required to submit annual reports on the anniversary of the designated start date. An annual report shall include



as applicable:

- Plans, Building Permit and inspection status.
- Construction status.
- Proof of payment to vendors during the reporting period.
- Proof of utility payments.
- Proof of current taxes paid.
- Updated construction schedule.

## **VI. Reimbursement**

Reimbursement can be initiated after substantial completion of process.

- (a) Reimbursement will be made to the applicant within 6 weeks of submitting complete documentation. Submissions shall include:
  1. Copies of all paid invoices and cancelled checks for all work covered by the grant. These must equal at least the required investment amount. Invoices must be marked paid, signed, and dated by the contractors. Invoices should have details of work clearly expressed;
  2. Copies of cancelled checks;
  3. Paid receipts for all labor materials;
  4. Lien waivers from all contractor(s) and sub-contractors;
  5. Copies of the signed contracts with selected contractors;
  6. Copies of lien waivers from all general contractors, subcontractors, and major material suppliers;
  7. Photographs of the completed project;
  8. All necessary Federal Labor Standards materials from contractors;
  9. All final inspections and/or certificate of occupancy from City Building Official; and
  10. Active Business Tax Certificate, if applicable.
- (b) Reimbursement shall be made according to the requirements of each grant program.
- (c) The City reserves the right to refuse reimbursement of expenditures in whole or in part for work that:
  1. Does not conform to the program guidelines.
  2. Does not conform to the proposal(s) submitted with the application and authorized by the CRA.

3. Is not commensurate with the workmanship and costs customary in the industry.
4. Is not completed within the established time frame submitted for the project. Since the CRA cannot reserve funds for projects indefinitely, projects may be subject to cancellation if not completed or if significant progress has not been made by the progress deadline. The CRA can choose to approve one extension for a duration of 6 months to account for challenges during construction. Requests for extensions will be considered only if made in writing and progress toward completion has been determined.
5. Staff will inspect work to ensure that it complies with the approved plans. Any changes to the approved plan will require a written request from the applicant and approval by the CRA in order to retain the grant.

CITY OF OCALA COMMUNITY REDEVELOPMENT AGENCY  
NEW CONSTRUCTION INCENTIVE PROGRAM  
**APPLICATION FORM**

**PROJECT INFORMATION**

Project Name: \_\_\_\_\_

Project Address: \_\_\_\_\_

Parcel Number: \_\_\_\_\_

Proposed Uses: \_\_\_\_\_

**APPLICANT INFORMATION**

Applicant's Name: \_\_\_\_\_

Name of person to receive all correspondence if different from applicant:

\_\_\_\_\_

Applicant's Business Name (if applicable): \_\_\_\_\_

Applicant's Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone number: \_\_\_\_\_ Fax: \_\_\_\_\_

E-mail address: \_\_\_\_\_

*(Please Check ✓)*

Applicant is the Property Owner  Purchaser  Other (If other please attach an affidavit.)

**AUTHORIZED REPRESENTATIVE**

(if different from Applicant)

Property Owner's Name: \_\_\_\_\_

Property Owner's Business Name (if applicable): \_\_\_\_\_

Property Owner's Mailing Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone number: \_\_\_\_\_ Fax: \_\_\_\_\_

E-mail address: \_\_\_\_\_

**PROJECT DESCRIPTION:**

*If necessary, attach additional sheets addressing the following.*

Describe the scope of project within the surrounding area.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Explain how the project will benefit the CRA and immediate surrounding area.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Would the proposed improvements be made without the assistance of the grant program? If not, please explain.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Number and types of jobs being created, if applicable. \_\_\_\_\_

What will be the business hours of operation? \_\_\_\_\_

For projects with residential component - number and types of units being created. \_\_\_\_\_

**PROJECT COSTS & SCHEDULE**

Cost of project based on attached submitted bid(s): \_\_\_\_\_

Anticipated start date: \_\_\_\_\_

Anticipated completion date: \_\_\_\_\_

Incentive amount being requested: \$ \_\_\_\_\_

Preferred disbursement - Year 1\_\_\_\_\_ Year 2\_\_\_\_\_ Year 3\_\_\_\_\_

Disbursement based on an estimate of \$85,086.95 worth of Permit Fees, Sidewalk Fees, Utilities Fees, etc. to be paid during construction. This is an estimated amount and shall reflect the actual amount once determined. The remaining amount (assuming \$215k) will be disbursed evenly over 3 years.

## **GENERAL CONDITIONS**

It is expressly understood and agreed that the applicant shall be solely responsible for all safety conditions and compliance with all safety regulations, building codes, ordinances, and other applicable regulations.

It is expressly understood and agreed that the applicant will not seek to hold the City of Ocala, the Grant Review Committee (Committee) and/or its agents, employees, board members, officers and/or directors liable for any property damage, personal injury, or other loss relating in any way to the Program.

It is expressly understood and agreed that the applicant will hold harmless the City, its agents, officers, employees and attorneys for all costs incurred in additional investigation or study of, or for supplementing, redrafting, revising, or amending any document (such as an Environmental Impact Report, specific plan, or general plan amendment) if made necessary by said proceeding and if the applicant desires to pursue such approvals and/or clearances, after initiation of the proceeding, which are conditioned on the approval of these documents.

The applicant authorizes the City of Ocala to promote any approved project including but not limited to displaying a sign at the site, during and after construction, and using photographs and descriptions of the project in City of Ocala materials and press releases.


If the applicant fails to perform the work approved by the Committee, the City reserves the right to cancel the grant. The applicant also understands that any work started/completed before the application is approved by the Committee is done at their own risk, and that such work will jeopardize their grant award.

This program is authorized under Sections 166.021 (8)(b)(c) Florida Statutes. Applicants desiring confidentiality must provide a letter requesting "that any and all documents, records, reports, correspondence, conversations, applications, data and other sources of information concerning our business plans, interests, or intention be kept confidential as authorized under Section 288.075, Florida Statutes". Applicants shall be subject to recording as required.

Completion of this application by the applicant DOES NOT guarantee that grant monies will be awarded to the applicant.

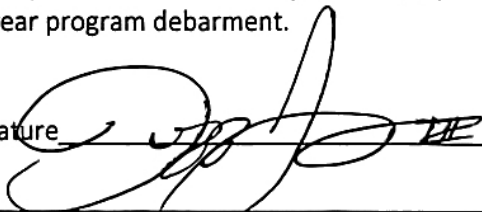
**Applicant**

I, JEFFERSON D. GUINN III business owner/authorized representative of the property at 2199 NW 10TH ST Ocala, FL 34475 have read and understand the terms and conditions of the Program and agree to the general conditions and terms outlined in the application process and guidelines of the Program. Under penalty of perjury, the undersigned states the forgoing statements are true and correct. The undersigned also acknowledges that any person, firm, corporation or entity intentionally submitting false information in an attempt to qualify for award preference will be subject to a (1) year program suspension, and possibly up to a three (3) year program debarment.

Signature  Date 6/17/24

**Owner Approval for Tenant / Applicant**

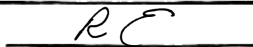
I, JEFFERSON D. GUINN III, owner of the building at 2199 NW 10TH ST Ocala, FL 34475, have read and understand the terms and conditions of the Program and agree to the general conditions and terms outlined in the application process and guidelines of the Program. I give my consent to the applicant to move forward with improvements on the building as outlined in the Scope of Work section of this application. Under penalty of perjury, the undersigned states the forgoing statements are true and correct. The undersigned also acknowledges that any person, firm, corporation or entity intentionally submitting false information in an attempt to qualify for award preference will be subject to a (1) year program suspension, and possibly up to a three (3) year program debarment.

Signature  Date 6/17/24

**Property Information – For staff use only.**

- Is the property assessed Marion County property taxes?  Yes  No
- Are property taxes paid up to date?  Yes  No
- Is the property in condemnation or receivership?  Yes  No
- Is there an active City code enforcement case on the property?  Yes  No
- Is the building on the National Register of Historic Places  Yes  No

Date received: 6/18/2024 (11:41 AM)

Staff signature: 

**OCALA COMMUNITY REDEVELOPMENT AGENCY  
NEW CONSTRUCTION INCENTIVE  
PROGRAM SUMMARY**

V1. --8/15/23

**Grant Intentions**

The intention of this grant is to promote a greater impact within the CRA subareas for projects that have a potential for a catalytic impact within a subarea. This grant will allow for new construction and major redevelopment to occur and be applicable to the many facets of development. The grant can be flexible in how the money is disbursed to the applicants and can even be spread over the course of up to three consecutive years. A detailed scoring of the application will be done by the CRA Advisory Committee.

Eligible Properties	Must be located in Ocala Community Redevelopment Agency Subarea.  Properties that have not received any type of CRA grant within the last five (5) years.
Ineligible Properties	Tax delinquent property; property in litigation; property in condemnation or receivership; property with outstanding financial obligations to City require City Council approval
Eligible Applicants	Property owner. Purchaser with property owner approval and executed purchase agreement  If the ownership status of property changes during the commitment period of the grant, up to three (3) years, the grant will remain with the property.
Eligible Projects	Only projects resulting in taxable properties subject to paying ad valorem property tax are eligible.  Proposed projects must have proper zoning in place prior to applying for incentive program.
Eligible Projects Buildings	(1) New construction. (2) Major renovation of vacant existing building space affecting 40% or more of the existing floor area or an addition. Any project must exceed \$1,000,000 in total capital investment.
Eligible work	Costs directly associated with construction project, including required right-of-way and code improvements. Design costs are not eligible for the grant program.
Ineligible work	Only work begun <u>after</u> approval by the Ocala CRA (CRA) will be eligible for a grant. Work in progress or performed before approval will not be eligible.
Incentive Types	Grant related to project construction costs, Planning /Development fees, Building Permit & related fees, City Impact fees (does not include Marion County Transportation Impact Fees).



Maximum Grant Reimbursement	<p>Any project must exceed \$1,000,000 in total capital investment. Based on the determination of the scoring, a maximum grant reimbursement for a project is \$100,000 per year. However, in no case shall the grant exceed 10% of the estimated capital investment. The grant can be for up to three (3) years consisting of equal payments, for a maximum possible total grant of \$300,000.</p> <p>A favorable ROI is less than 10 years. The CRA scores the application and reflects that the applicant can receive the maximum of \$100,000 over the course of three years and votes to approve.</p> <p>Reimbursement may begin after substantial completion of the project, which is determined on the Certificate of Occupancy of the project.</p>
Development Standards & Design Guidelines	<p><u>Downtown</u> - Subject to Downtown Form Based Code. <u>Other areas</u> - Subject to Zoning and Land Development Code requirements and architectural and signage standards of Form Based Code.</p>
Ineligible Uses	<p>Non-conforming uses proposing to expand. Tax exempt properties</p>
Reporting	<p>Projects lasting longer than one-year after the designated start date will be required to file an annual report detailing the status of the project. An annual report shall include as applicable:</p> <ul style="list-style-type: none"> <li>• Plans, Building Permit and inspection status</li> <li>• Construction Status</li> <li>• Proof of payment to vendors during the reporting period</li> <li>• Proof of utility payments</li> <li>• Proof of current taxes paid</li> </ul>
General Requirements	<p>Properties awarded a grant will not be eligible for any other CRA grants for five (5) years.</p> <p>If the ownership status of property changes during the commitment of the grant, the grant will remain with the property.</p> <p>Applicants will agree that improvements made using these funds will stay in place for a minimum of fifteen (15) years. If improvements are replaced or removed within fifteen years, the grant recipient must pay a pro-rata share of the grant proceeds invested in the project for the number of months remaining.</p>
Grants & Annual Budget	<p>Beginning in FY 24, \$300,000 will be budgeted annually for this grant program Up to three projects may be awarded grants annually.</p>

## ESTIMATE

PROJECT NAME: Advanced Tire - Retread Facility

DATE: 6/11/24



	25,000.00	
	25,000 SF Building	
<u>Item</u>	Amount	\$ / SF
01.000 General Conditions	79,296.00	3.17
01.010 Project Supervision & Management	45,312.00	1.81
01.020 Sidewalk Fund Fees	30,086.95	1.20
01.020 Permitting (ESTIMATE)	25,000.00	1.00
01.020 Impact Fees (ESTIMATE)	20,000.00	0.80
01.020 Utility Connection Fees (ESTIMATE)	10,000.00	0.40
02.000 Demolition		-
03.000 Concrete - Flatwork	17,774.99	0.71
03.000 Stem Walls - Loading Docks	56,640.00	2.27
05.020 Metal Fabrications - Bollards & Railings	27,995.61	1.12
06.000 Framing & Drywall	49,560.00	1.98
07.030 Insulation	2,839.26	0.11
08.000 Doors	9,912.00	0.40
08.040 Storefront Glass & Doors	8,496.00	0.34
08.300 Overhead Doors	28,320.00	1.13
09.030 Flooring (Ofc Buildout)	9,912.00	0.40
09.050 Finishes - Misc. (Ofc Buildout)	2,832.00	0.11
09.060 Paint (Ofc Buildout)	6,230.40	0.25
10.030 Specialties	2,832.00	0.11
11.010 Loading Dock Levers	25,488.00	1.02
12.020 Cabinets & Counters (Ofc Buildout)	5,664.00	0.23
18.000 Metal Building w/ Concrete Slab	1,273,874.16	50.95
21.000 Fire Sprinklers	116,633.55	4.67
22.000 Plumbing & Compressed Air	21,240.00	0.85
22.000 Plumbing - Compressed Air Pipping	28,320.00	1.13
23.000 Air Conditioning - Shop Fans	33,984.00	1.36
23.000 Air Conditioning	16,992.00	0.68
26.000 Electric	346,009.40	13.84
28.000 Fire Alarm	18,697.81	0.75
31.000 Site Work	424,800.00	16.99
31.001 Underground (onsite)	81,561.60	3.26
32.020 Landscape & Irrigation	42,480.00	1.70
33.020 Well & Septic	-	-
<b>Totals</b>	<b>2,868,783.72</b>	<b>114.75</b>
General Liability Insurance (1.25% of costs)	35,859.80	1.43
GC Pre-Construction Management Fee	30,000.00	1.20
GC Construction Management Fee	90,000.00	3.60
Bonding Fee	-	-
<b>TOTAL</b>	<b>3,024,643.51</b>	<b>120.99</b>

Notes

Items 01.020 are being requested to be covered by CRA Grant Funding.

Excludes

Architect, MEP & Civil Engineering, Builders Risk Insurance, Bonding Fees.

Prepared by:

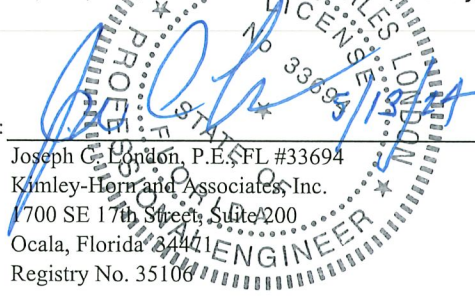


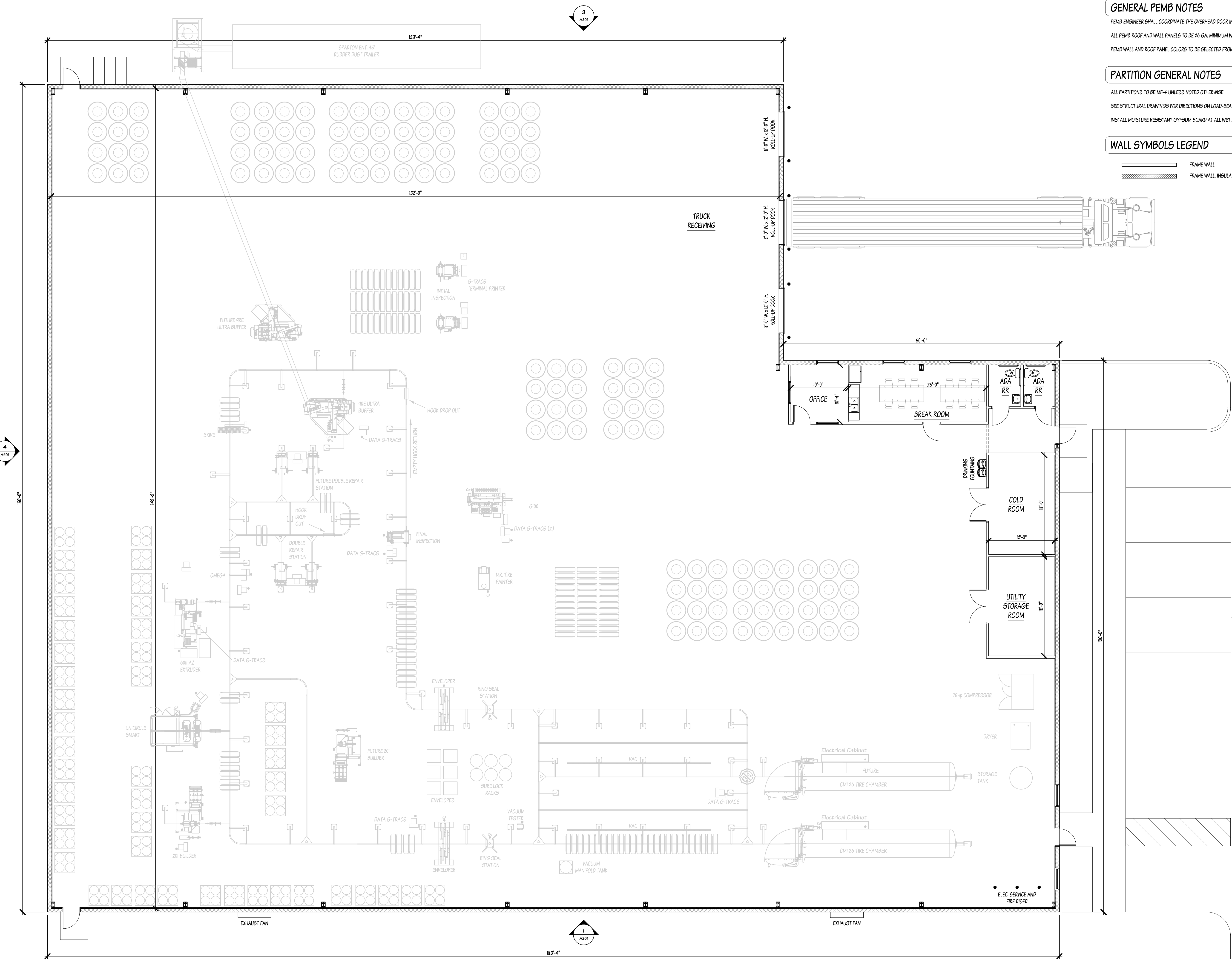
ENGINEER'S OPINION OF PROBABLE COST FOR ADVANCED TIRE SERVICES - SIDEWALK CONSTRUCTION COST ESTIMATE						
ITEM #	FDOT PAY ITEM	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	AMOUNT
<b>I. ROADWAY ITEMS</b>						
1	522-1	CONCRETE SIDEWALK AND DRIVEWAYS, 4" THICK	SY	365	\$ 82.43	\$ 30,086.95
<b>TOTAL CONSTRUCTION COST</b>						<b>\$ 30,086.95</b>

*The Engineer has no control over the cost of labor, materials, equipment, or over the Contractor's methods of determining prices or over competitive bidding or market conditions. Opinions of probable costs provided herein are based on the information known to Engineer at this time and represent only the Engineer's judgment as a design professional familiar with the construction industry. The Engineer cannot and does not guarantee that proposals, bids, or actual construction costs will not vary from its opinions of probable costs.*

PREPARED BY: \_\_\_\_\_

Joseph C. London, P.E., FL #33694  
Kimley-Horn and Associates, Inc.  
1700 SE 17th Street, Suite 200  
Ocala, Florida 34471  
Registry No. 35106





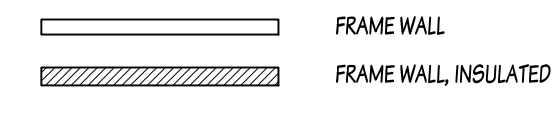
**GENERAL PEMB NOTES**

PEMB ENGINEER SHALL COORDINATE THE OVERHEAD DOOR INSTALLATION INTO THE DESIGN OF THE PEMB BUILDING  
 ALL PEMB ROOF AND WALL PANELS TO BE 26 GA. MINIMUM WITH A PBR PROFILE UNLESS NOTED OTHERWISE  
 PEMB WALL AND ROOF PANEL COLORS TO BE SELECTED FROM MANUFACTURER'S AVAILABLE COLORS

**PARTITION GENERAL NOTES**

ALL PARTITIONS TO BE MF-4 UNLESS NOTED OTHERWISE  
 SEE STRUCTURAL DRAWINGS FOR DIRECTIONS ON LOAD-BEARING FRAME WALLS  
 INSTALL MOISTURE RESISTANT GYPSUM BOARD AT ALL WET AREAS, INCLUDING ALL RESTROOM WALLS

**WALL SYMBOLS LEGEND**



**MARTINEZ ARCHITECTURE LLC**  
 1919 SE 29th PLACE  
 OCALA, FL 34471  
 A424003037  
 (850) 464-2173  
 www.martinezarch.com

GILBERTO MARTINEZ  
 LIC. #AK 195172

**NOT FOR CONSTRUCTION**

© COPYRIGHT 2024  
 DRAWINGS TO BE USED AS SHOWN  
 SEALED & DATED BY REGISTERED PROFESSIONAL

**NEW FACILITY FOR:  
 ADVANCED TIRE SERVICE**  
 2199 NW 10th STREET  
 OCALA, FL 34475

PROJECT NO. 2409  
 DATE 06.17.24

REVISIONS

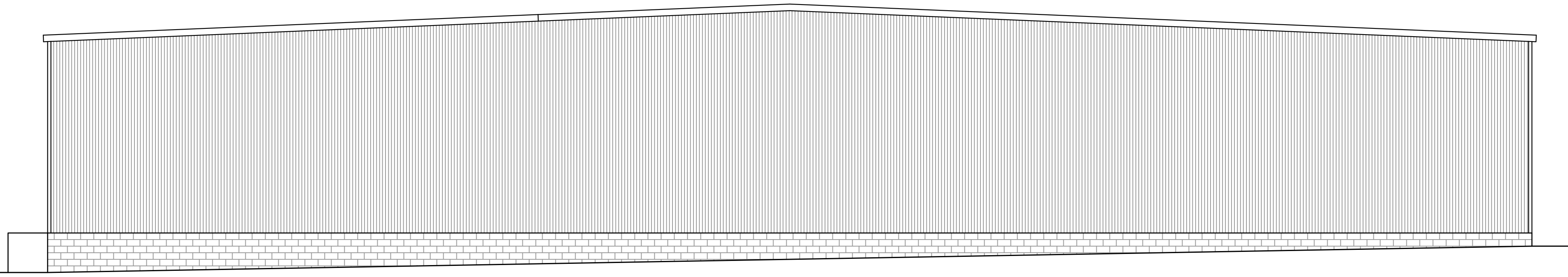
SHEET TITLE:  
 FLOOR PLAN

SHEET NO. A101

**1 FLOOR PLAN**  
 1/8" = 1'-0"

122'-0"  
PEMB EAVE HT.

100'-0" (ASSUMED)  
FINISH FLOOR HT.

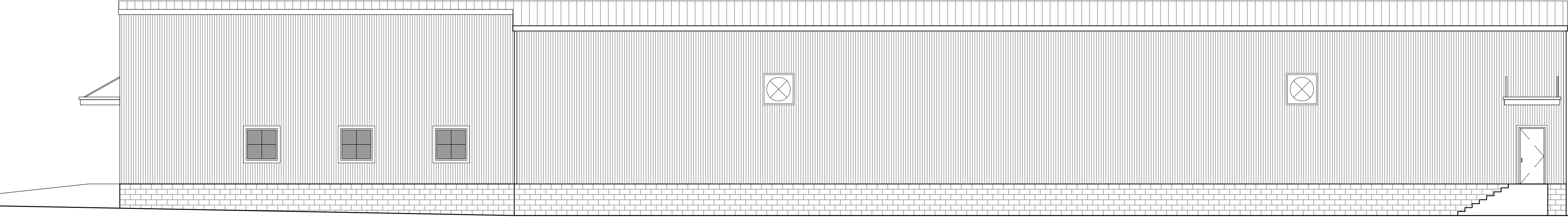


4 EXTERIOR ELEVATION - NORTH  
1/8" = 1'-0"

122'-0"  
PEMB EAVE HT.

110'-0"  
B.O. AWNING

100'-0" (ASSUMED)  
FINISH FLOOR HT.



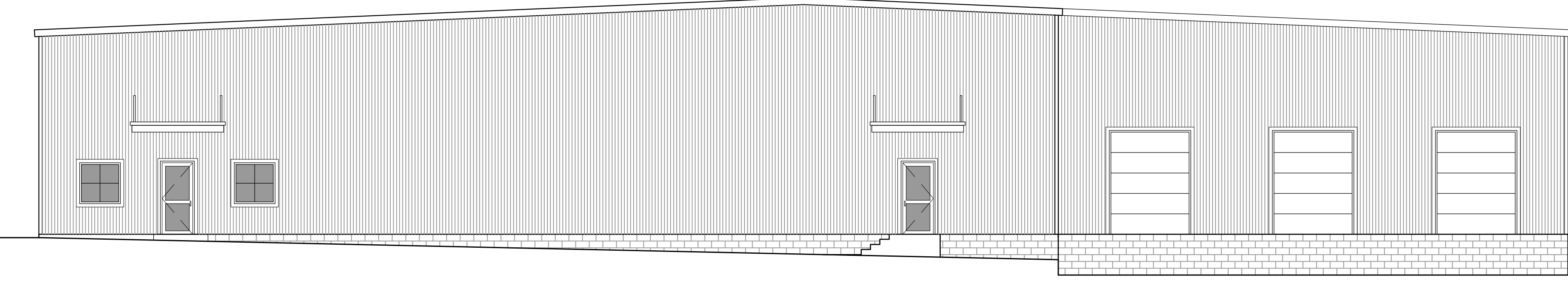
3 EXTERIOR ELEVATION - EAST  
1/8" = 1'-0"

122'-0"  
PEMB EAVE HT.

110'-0"  
B.O. AWNING

100'-0" (ASSUMED)  
FINISH FLOOR HT.

110'-0"  
ROLL-UP DOOR HD. HT.

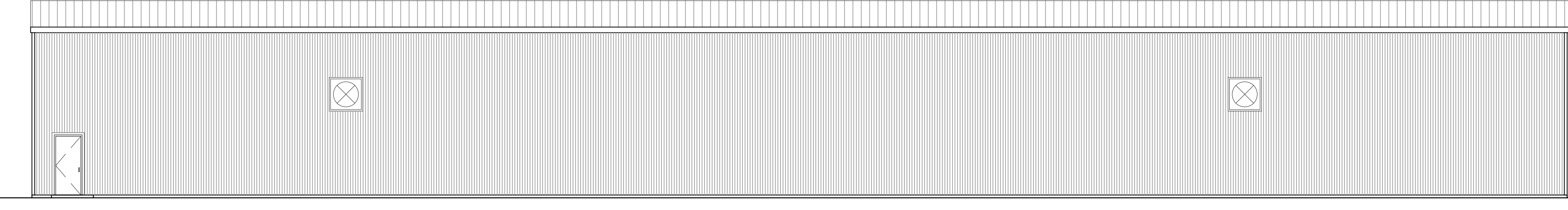


2 EXTERIOR ELEVATION - SOUTH  
1/8" = 1'-0"

122'-0"  
PEMB EAVE HT.

110'-0"  
WINDOWS/DOOR HEAD HT.

100'-0" (ASSUMED)  
FINISH FLOOR HT.



1 EXTERIOR ELEVATION - WEST  
1/8" = 1'-0"

**MARTINEZ ARCHITECTURE LLC**  
 1919 SE 29th PLACE  
 OCALA, FL 34471  
 A420003037  
 (850) 464-2173  
 www.martinezarch.com

GILBERTO MARTINEZ  
L.C. #AK 95572

**NOT FOR CONSTRUCTION**

NEW FACILITY FOR:  
**ADVANCED TIRE SERVICE**  
2199 NW 10th STREET  
OCALA, FL 34475

PROJECT NO.	2409
DATE	06.17.24
REVISIONS	
△	-




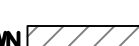
SHEET TITLE:  
EXTERIOR ELEVATIONS

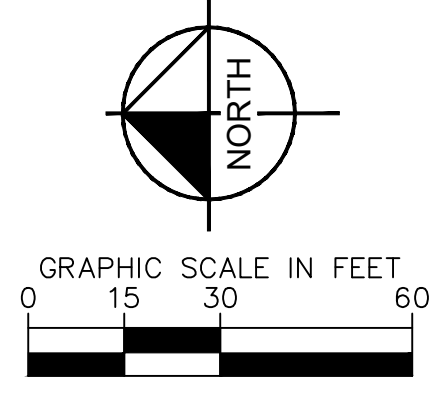
SHEET NO.  
A201

© COPYRIGHT 2024  
DRAWING IS THE PROPERTY OF THE ARCHITECT  
SEAL & SIGNED BY REGISTERED PROFESSIONAL

### DEMOLITION NOTES:

ALL NOTES LISTED BELOW SHALL BE CONSTRUCTED BY THE SITE CONTRACTOR, UNLESS STATED OTHERWISE.

- D-1** REMOVE TREES INDICATED WITH AN . ALL OTHER TREES TO BE SAVED.
- D-2** REMOVE ±1,087 L.F. OF EXISTING FENCE SHOWN BOLD ONLY AFTER INSTALLING NEW FENCE TO KEEP SITE SECURE.
- D-3** REMOVE EXISTING GRAVEL AREAS SHOWN HATCHED .
- D-4** REMOVE EXISTING CONCRETE SHOWN .
- D-5** REMOVE EXISTING ASPHALT DRIVEWAY WHERE SHOWN .
- D-6** RELOCATE EXISTING CONEX BOX TO NEW LOCATION TBD BY OWNER.
- D-7** RELOCATE EXISTING STOP SIGN TO NEW LOCATION SHOWN ON SHEET C04.



No.	REVISIONS	DATE	BY



ZONING B-4  
FLUWLOW INTENSITY  
NOT PLATTED

ZONING B-4  
FLUWLOW INTENSITY  
NOT PLATTED

ZONING B-4  
FLUWLOW INTENSITY  
NOT PLATTED

ZONING B-4  
FLUWLOW INTENSITY  
NOT PLATTED

ZONING B-4  
FLUWLOW INTENSITY  
NOT PLATTED

ZONING B-4  
FLUWLOW INTENSITY  
NOT PLATTED

ZONING B-4  
FLUWLOW INTENSITY  
NOT PLATTED

**Advanced Tire Services**  
SERVICES  
PREPARED FOR  
**GUINN III PROPERTIES, LLC**  
CITY OF OCALA, FLORIDA

**Kimley-Horn**  
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.  
1700 SE 17TH STREET, SUITE 200, OCALA, FLORIDA 34471  
PHONE: 352-438-3000  
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

KHA PROJECT  
24225001

DATE  
APRIL 2024

SCALE  
AS SHOWN

DRAWN BY  
JAL

CHECKED BY  
RDR

LICENSED PROFESSIONAL  
**JOSEPH C. LONDON, P.E.**

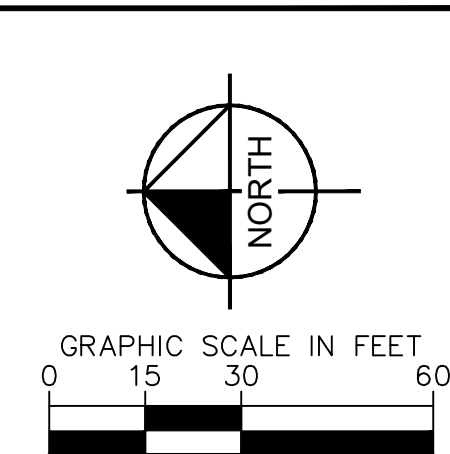
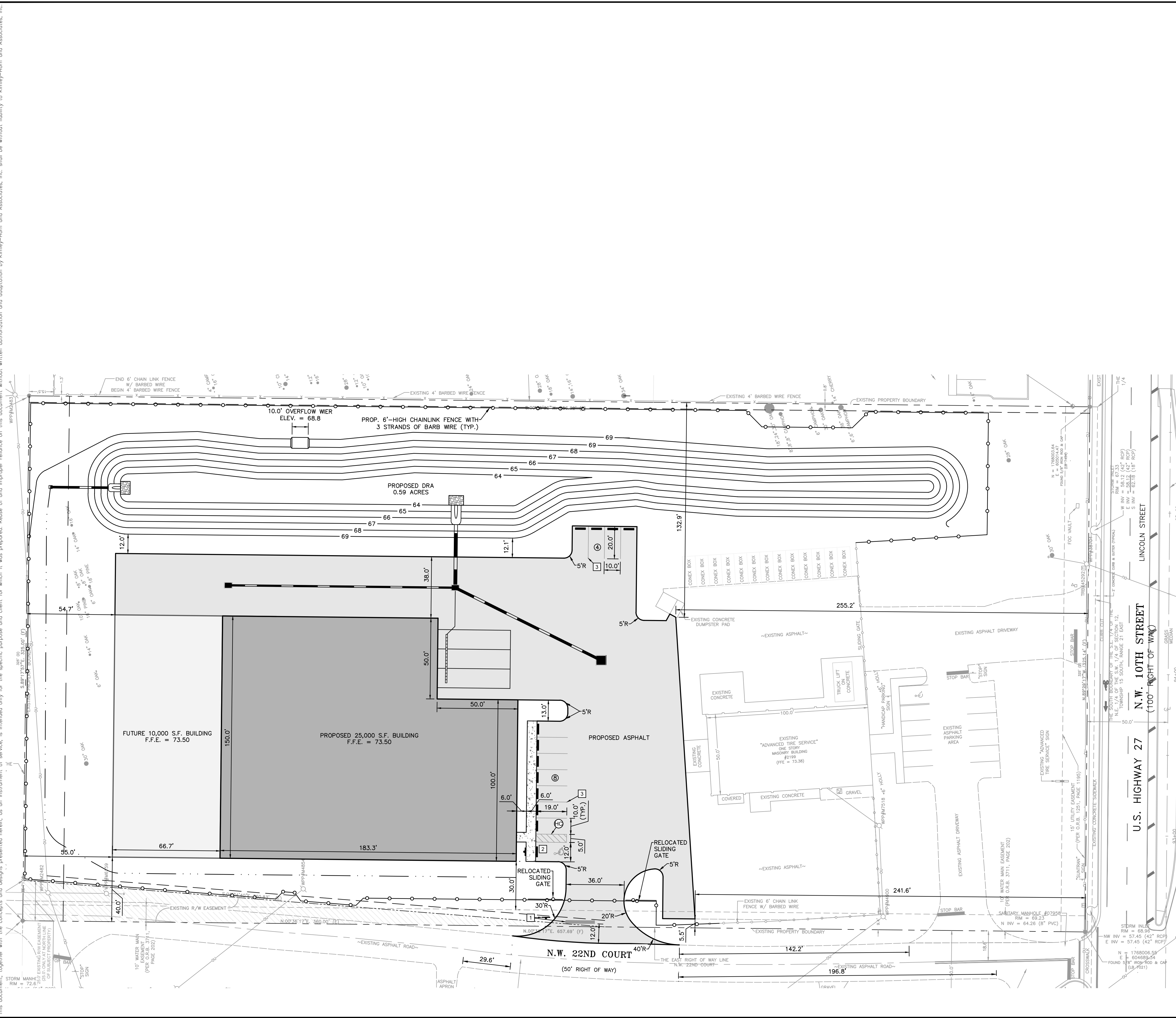
FLORIDA LICENSE NUMBER  
33694

JCL DATE

**EXISTING TIRE SERVICES CONDITIONS & DEMOLITION PLAN**

SHEET NUMBER  
**C03**

K:\024\_048\2225001\_242253001\048\2225001\048\22253001\CAD\DWG\048\_22253001\_048\22253001\_HORIZONAL\_GEO.dwg; May 21, 2024; David Ripke  
K:\024\_048\2225001\_242253001\048\2225001\048\22253001\CAD\DWG\048\_22253001\_048\22253001\_HORIZONAL\_GEO.dwg; May 21, 2024; David Ripke  
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



No.	REVISIONS	DATE	BY

- PAVEMENT LEGEND**
- ASPHALT PAVEMENT (SEE DETAIL SHEET C08)
  - CONCRETE SIDEWALK (SEE DETAILS SHEET C08)
- CURB LEGEND** SEE SHEET - FOR DETAILS
- THICKENED EDGE SIDEWALK
  - ACCESS ISLE (PER FDOT INDEX NO. 522-002)
- SIGN AND PAVEMENT MARKING LEGEND**
- 30" STOP SIGN (R1-1) WITH 24" WHITE STOP BAR, 4" MIN. AND 12" MAX. FROM CROSS WALK, AND STREET NAME SIGN. STOP SIGN SHALL BE FABRICATED, AT A MINIMUM, 3M D53 REFLECTIVE SHEETING OR APPROVED EQUAL.
  - HANDICAP SPACE PER FLORIDA'S ACCESSIBILITY CODE WITH SIGNS AND WHEEL STOPS. (SEE SHEET C08 FOR DETAILS)
  - 6" WHITE STRIPE

- NOTES:**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
  - PRIOR TO CONSTRUCTION WITHIN ANY EXISTING PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE AUTHORITY HAVING JURISDICTION.
  - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF DOORWAYS, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
  - SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION PER SURVEY DATED DECEMBER 14, 2023, BY PRECEE LAND SURVEYING, INC.
  - REFER TO ARCH. PLANS FOR PYLON AND/OR MONUMENT SIGNS.
  - REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
  - MAXIMUM RUNNING SLOPE ON SIDEWALKS SHALL NOT EXCEED 5.00% (1:20).
  - MAXIMUM CROSS SLOPE ON SIDEWALKS SHALL NOT EXCEED 2.00% (1:50).
  - MAXIMUM SLOPE IN ACCESSIBLE PARKING AREAS SHALL NOT EXCEED 2.00% (1:50) IN ANY DIRECTION.
  - THE COMMERCIAL SOLID WASTE IMPACT FEE SHALL BE CALCULATED, DUE AND PAYABLE WITHIN 30 DAYS OF PERMANENT ELECTRIC SERVICE.
  - ALL AREAS DISTURBED BY THE CONSTRUCTION OF THIS PROJECT WHICH ARE NOT OTHERWISE PAVED SHALL BE IMMEDIATELY SODDED FOLLOWING FINAL GRADING. ALLOW FOR THICKNESS OF SOD WITH A 2-INCH UNDERCUT. SOD SHALL BE ARGENTINE BAHIA, AND SHALL BE REGULARLY WATERED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION DURATION. LDR 102-312, 122-217 (3) (CC)
  - LOADING SPACES SHALL HAVE 12-FOOT MIN. VERTICAL CLEARANCE.

KHA PROJECT 242253001 DATE APRIL 2024 SCALE AS SHOWN DESIGNED BY JAL DRAWN BY RDR CHECKED BY JCL	LICENSED PROFESSIONAL  JOSEPH C. LONDON, P.E. FLORIDA LICENSE NUMBER 336694	<b>HORIZONTAL GEOMETRY PLAN</b>	ADVANCED TIRE SERVICES PREPARED FOR GUINN III PROPERTIES, LLC FLORIDA CITY OF OCALA	
				SHEET NUMBER <b>C04</b>
Kimley»Horn © 2024, KIMLEY-HORN AND ASSOCIATES, INC. 1700 SE 17TH STREET, SUITE 200, OCALA, FLORIDA 34471 PHONE: 352-438-3000 WWW.KIMLEY-HORN.COM REGISTERED NO. 35106				

# STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.) NOTES:

- DISCHARGE CONTROL AND EROSION PROTECTION MEASURES SHALL BE EMPLOYED AND OPERATED AT ALL TIMES DURING CONSTRUCTION TO AVOID ADVERSE IMPACTS TO RECEIVING WATERS OR ADJACENT PROPERTY. DETENTION/RETENTION STORAGE STRUCTURES, SEDIMENT BARRIERS, FLOW CONVEYANCES, RETENTION, DISCHARGE CONTROL STRUCTURES, AND OTHER STORMWATER MANAGEMENT STRUCTURES SHOULD BE BUILT AND CONTINUOUSLY MAINTAINED DURING PROJECT CONSTRUCTION IN A MANNER SUCH THAT, TO THE EXTENT POSSIBLE, THE STRUCTURES ARE INCORPORATED INTO AND BECOME PART OF THE PERMANENT SURFACE WATER MANAGEMENT SYSTEM.
- THE OWNER/PERMITEE SHALL ENSURE THAT THE SURFACE WATER AND STORMWATER MANAGEMENT MEASURES PROPOSED IN THE PLAN ARE EFFECTIVELY IMPLEMENTED UNTIL COMPLETION OF THE PROJECT OR UNTIL THE PERMANENT SURFACE WATER MANAGEMENT SYSTEM IS OPERATIONAL.
- THE SITE SHALL REMAIN FREE OF EXCESS DUST AND DEBRIS AT ALL TIMES. ANY INCIDENCE OF EROSION, SEDIMENTATION, DUST OR DEBRIS OCCURRING OFF-SITE AS A RESULT OF CONSTRUCTION ACTIVITIES ON THIS DEVELOPMENT SHALL BE CORRECTED BY THE CONTRACTOR IMMEDIATELY (FOR EACH OCCURRENCE).
- ALL STORM WATER MANAGEMENT SYSTEMS SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS.
- SILT FENCE, STRAW BALE INLET FILTERS, AND ANY OTHER EROSION/SEDIMENTATION PROTECTION SHOWN ON THESE PLANS SHALL BE INSTALLED IMMEDIATELY FOLLOWING SITE CLEARING AND PRIOR TO ANY SITE DEVELOPMENT. ALL EROSION/SEDIMENTATION PROTECTION SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION PROJECT AND REMOVED AFTER COMPLETION.
- CONSTRUCTION WASTE - WASTE SHALL BE COLLECTED AT A DESIGNATED AREA ON-SITE. ADEQUATE NUMBER OF CONTAINERS SHALL BE PROVIDED (WHEN POSSIBLE COVER CONTAINERS OR PROVIDE LIDS ON CONTAINERS). ARRANGE FOR WASTE COLLECTION BEFORE CONTAINERS OVERFLOW, PROVIDE CLEAN UP IMMEDIATELY IF SPILLAGE OCCURS.
- CONTROL AND DISPOSAL OF WASTES - CONTRACTOR SHALL DEVELOP AND IMPLEMENT A PLAN TO ASSURE THAT ALL WASTE, SUCH AS DISCARDED BUILDING MATERIALS, CONCRETE TRUCK WASH-OUT, CHEMICALS, LITTER AND SANITARY WASTE, ARE PROPERLY CONTROLLED WHILE ON-SITE AND TRANSPORTED AND DISPOSED OF (OFF-SITE) IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS. NO WASTE MATERIALS OF ANY KIND ARE PERMITTED TO BE BURIED ON-SITE OR DISCHARGED TO SURFACE WATERS OF THE STATE OR TO THE CITY'S STORM WATER SYSTEM.
- CONCRETE TRUCKS - EMPTYING OR WASH OUT OF EXCESS CONCRETE MAY BE ALLOWED ON-SITE. EXCESS CONCRETE AND WASH WATER SHOULD BE DISPOSED OF IN A MANNER THAT PREVENTS CONTACT BETWEEN THESE MATERIALS AND STORMWATER WHICH WILL BE DISCHARGED FROM THE SITE. FOR EXAMPLE, DIKES COULD BE CONSTRUCTED AROUND THE AREA TO CONTAIN THESE MATERIALS UNTIL THEY HARDEN, AT WHICH TIME THEY MAY BE PROPERLY DISPOSED OF.
- CONTRACTOR SHALL PERIODICALLY SWEEP ALL EXISTING ON-SITE PAVED SURFACES AND OFF-SITE ABUTTING CITY STREETS AND STATE HIGHWAYS AS NEEDED TO KEEP THOSE SURFACES IN A SEDIMENT-FREE CONDITION. SWEEPING SHALL BE DONE BY MECHANICAL MEANS, WITH WATER SUPPLEMENT, ON A REGULAR BASIS SEVERAL TIMES A WEEK INCLUDING, MOST PARTICULARLY, AFTER EVERY RAIN EVENT AND EVERY FRIDAY AFTERNOON PRIOR TO CEASING WORK FOR THE WEEK.
- SANITARY/SEPTIC DISPOSAL - DOMESTIC WASTE HAULERS SHOULD BE CONTRACTED TO REGULARLY REMOVE THE SANITARY AND SEPTIC WASTES AND TO MAINTAIN THE FACILITIES IN GOOD WORKING ORDER.
- PETROLEUM PRODUCTS - OIL, GASOLINE, LUBRICANTS, AND ASPHALTIC SUBSTANCES SUCH AS PAVING MATERIALS SHOULD BE HANDLED CAREFULLY TO MINIMIZE THEIR EXPOSURE TO STORM WATER. EQUIPMENT SHOULD BE ON SITE TO CONTAIN AND CLEAN UP PETROLEUM SPILL IN FUEL STORAGE AREAS OR ON BOARD MAINTENANCE AND FUELING VEHICLES. CONTAIN AND CLEAN UP PETROLEUM SPILLS IMMEDIATELY.
- HAZARDOUS PRODUCTS - THESE PRODUCTS SHALL BE USED IN A SAFE MANNER TO AVOID POLLUTION OF STORM WATER. EQUIPMENT SHOULD BE ON-SITE TO CONTAIN AND CLEAN UP SPILLS OF HAZARDOUS MATERIALS IN THE AREAS WHERE THESE MATERIALS ARE STORED OR USED. CONTAIN AND CLEAN UP SPILLS IMMEDIATELY AFTER THEY OCCUR.
- NON-STORM WATER DISCHARGES - THESE DISCHARGES INCLUDE BUT NOT LIMITED TO: FIRE HYDRANT FLUSHINGS, POTABLE WATER SOURCES (FLUSHING), IRRIGATION, BUILDING WASHDOWN, AND AIR CONDITIONING CONDENSATION. PRIOR TO ANY DISCHARGE, ALL DOWNSLOPE SITE SEDIMENTATION AND EROSION CONTROLS SHOULD BE IN PLACE. DISCHARGE SHOULD ONLY BE DIRECTED TO AREAS THAT ARE STABILIZED TO MINIMIZE EROSION (E.G., BUFFER ZONE, VEGETATED FILTER STRIPES, INLET AND OUTLET PROTECTION, LEVEL SPREADERS, ETC.) DO NOT DISCHARGE NON-STORM WATER FLOWS ONTO DISTURBED AREAS.
- A STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT IS REQUIRED AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM EVENT THAT IS 0.5 INCHES OR GREATER. THE REPORTS ARE TO BE FILED AT THE PROJECT SITE WITH THE STORM WATER POLLUTION PREVENTION PLAN.

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND, AND SHALL COMPLY WITH, THE TERMS AND CONDITIONS OF THE STATE OF FLORIDA GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES AND THIS STORMWATER POLLUTION PREVENTION PLAN PREPARED THEREUNDER.

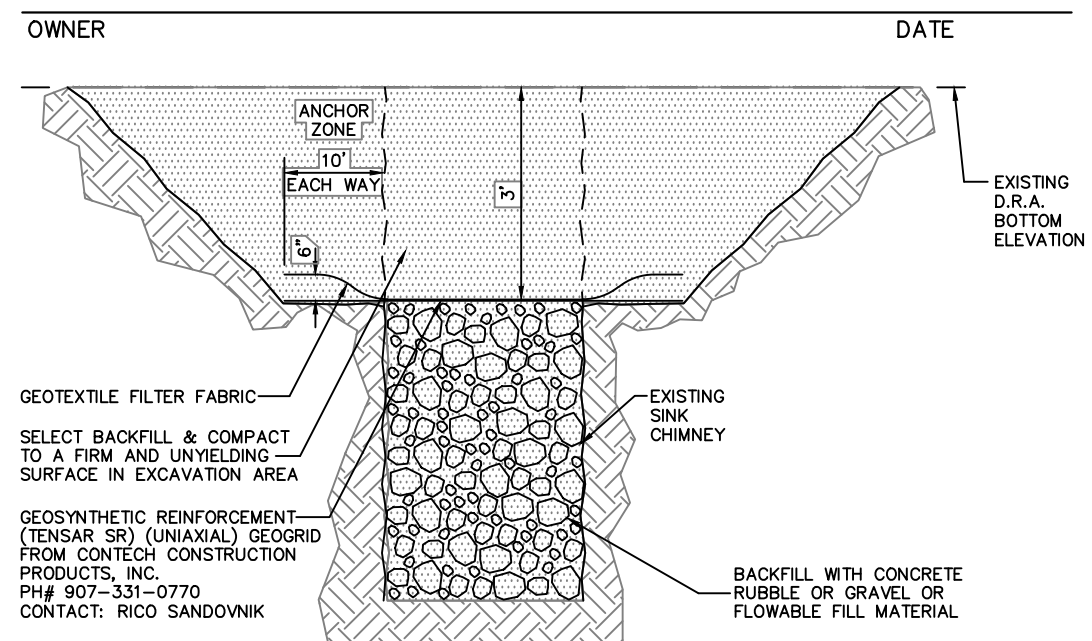
THE STORMWATER MANAGEMENT MEASURES PROPOSED ON THIS PLAN SHALL BE EFFECTIVELY IMPLEMENTED AND MAINTAINED UNTIL COMPLETION OF THE PROJECT OR UNTIL THE PERMANENT SURFACE WATER MANAGEMENT SYSTEM IS OPERATIONAL.

NAME/CONSTRUCTION COMPANY NAME: JEFF GUINN, OWNER DATE: DATE: DATE: DATE:

## OPERATION AND MAINTENANCE INSTRUCTIONS:

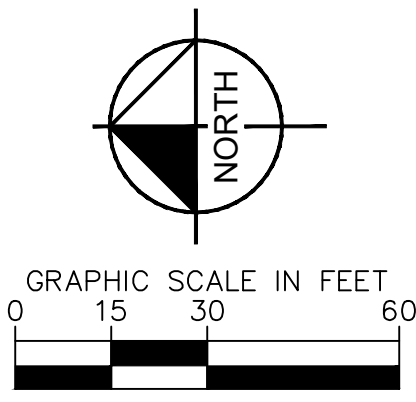
AS REQUIRED BY SOUTHWEST FLORIDA WATER MANAGEMENT DISTRICT, AS OWNER, YOU AND YOUR SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE PROPOSED DRAINAGE FACILITIES FOR THIS SITE. ANY TRASH OR DEBRIS SHALL BE REMOVED FOLLOWING EACH STORM. ALL DRAINAGE STRUCTURES SHALL BE INSPECTED EVERY (6) MONTHS TO DETERMINE THE NEED FOR ANY REPAIR OR CLEARANCE OF SEDIMENT. SEDIMENT SHOULD BE REMOVED FROM THE STRUCTURES WHEN IT ACCUMULATES TO A POINT AT WHICH CONVEYANCE VOLUMES ARE REDUCED BELOW DESIGN LEVELS.

IN ADDITION, YOU OR YOUR DESIGNATED REPRESENTATIVE SHALL INSPECT THE RETENTION POND(S) ON A WEEKLY BASIS FOR THE FORMATION OF SINKHOLES. SHOULD A SINKHOLE FORM, YOU MUST FOLLOW ALL APPLICABLE PROCEDURES OUTLINED BY THE TYPICAL SINK CHIMNEY REPAIR DETAIL SHOWN ON THESE PLANS. AT SUCH TIME, YOU MUST ALSO NOTIFY THE SURVIV WITHIN 48 HOURS OF DISCOVERY OF SAID SINKHOLE, AND SUBMIT A DETAILED REPAIR PLAN FOR WRITTEN APPROVAL WITHIN 30 DAYS OF SAID DISCOVERY. ANY CHANGES TO THE TYPICAL SINK CHIMNEY REPAIR DETAIL AS SHOWN ON THE ENGINEERING PLANS SHALL BE DETERMINED AT THIS TIME BASED ON ACTUAL CONDITIONS.



TYPICAL SINK CHIMNEY REPAIR DETAIL

NOTE: IF LIMESTONE IS ENCOUNTERED DURING EXCAVATION, THE RETENTION BASIN WILL BE OVEREXCAVATED AND BACKFILLED SO THAT THERE IS A MINIMUM OF THREE FEET OF UNCONSOLIDATED SOIL MATERIAL BETWEEN THE SURFACE OF THE LIMESTONE BEDROCK AND THE BOTTOM AND SIDES OF THE STORMWATER BASIN.



NO.	REVISIONS	DATE	BY

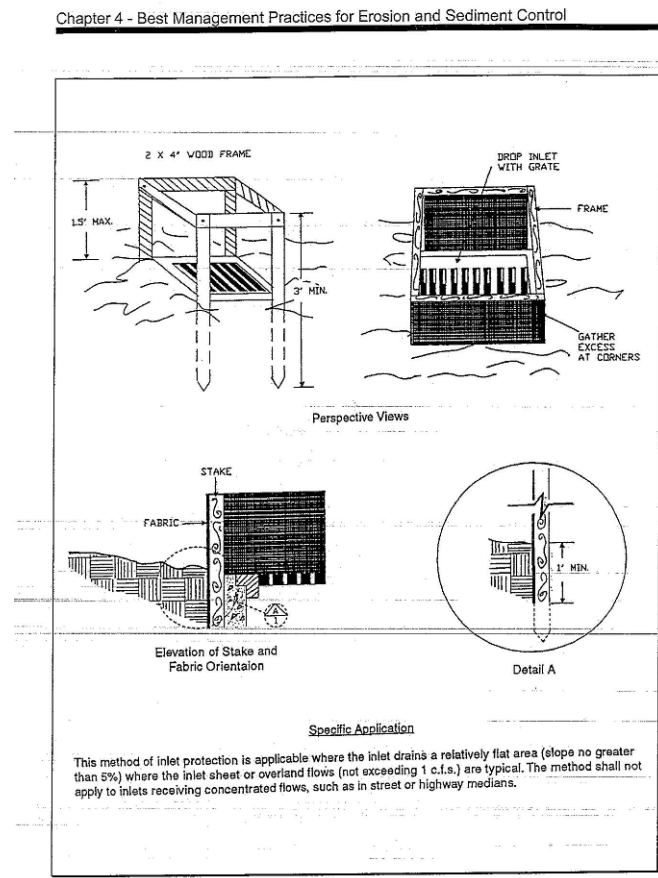
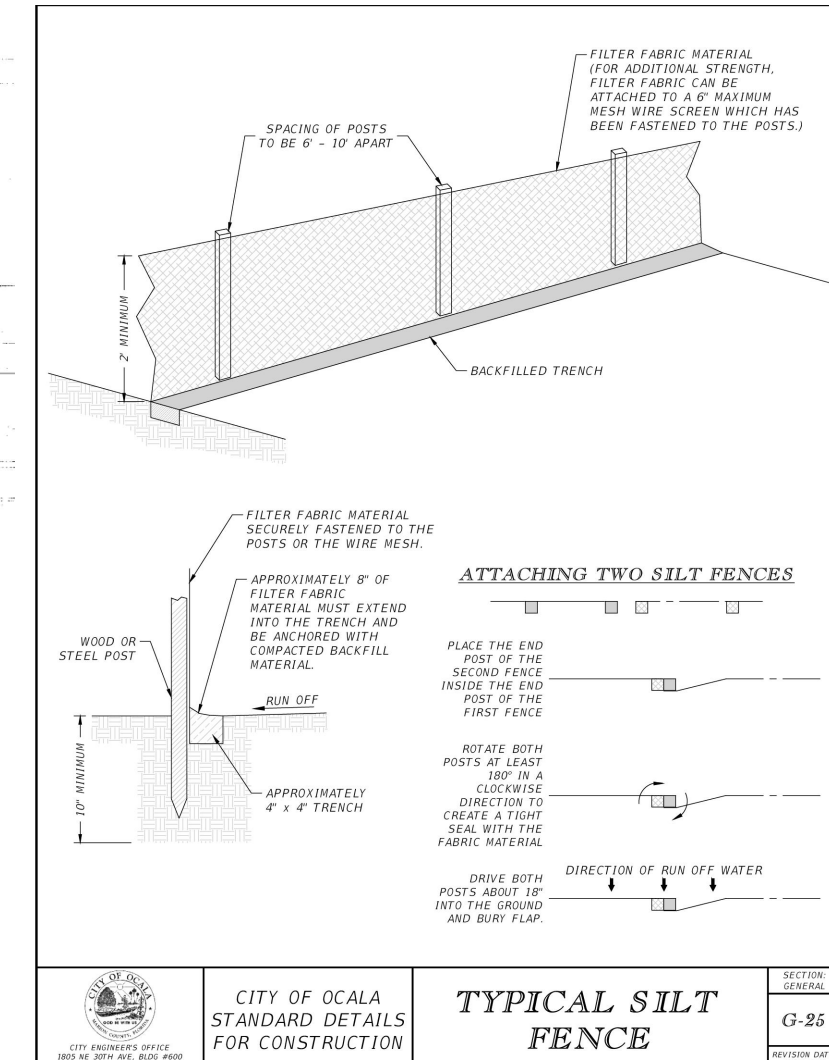
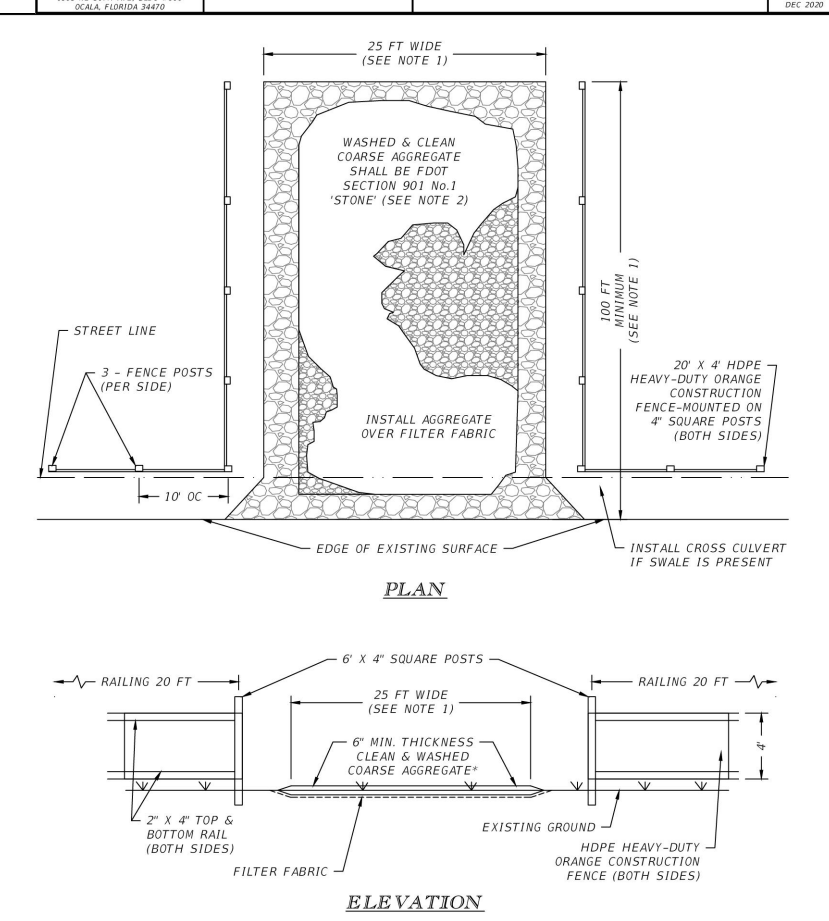


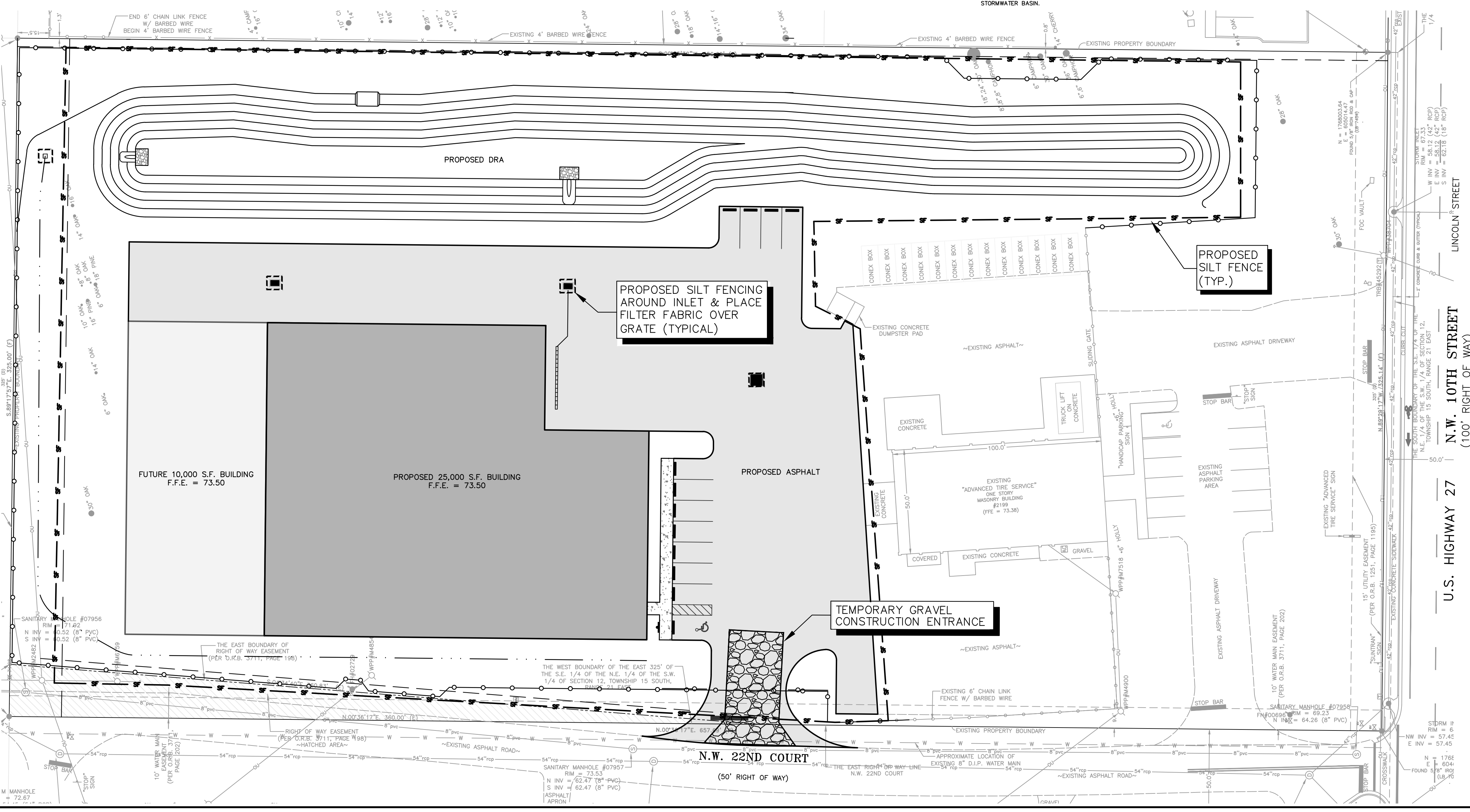
Plate 4.0 - Filter Fabric Drain Inlet Sediment Filter



TYPICAL SILT FENCE



TYPICAL CONSTRUCTION BARRIER FENCE



U.S. HIGHWAY 27  
N.W. 10TH STREET  
(100' RIGHT OF WAY)  
LINCOLN STREET

K:\024\2023\001\Advanced Tire Services Site Plan\024\2023\001\EROSION CONTROL PLAN NOTES & DETAILS.dwg, Layout:07 EROSION CONTROL PLAN NOTES & DETAILS, Apr 22, 2024, David Regue  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

**Kimley-Horn**  
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.  
1700 SE 17TH STREET, SUITE 200, OCALA, FLORIDA 34471  
PHONE: 352-438-3000  
WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

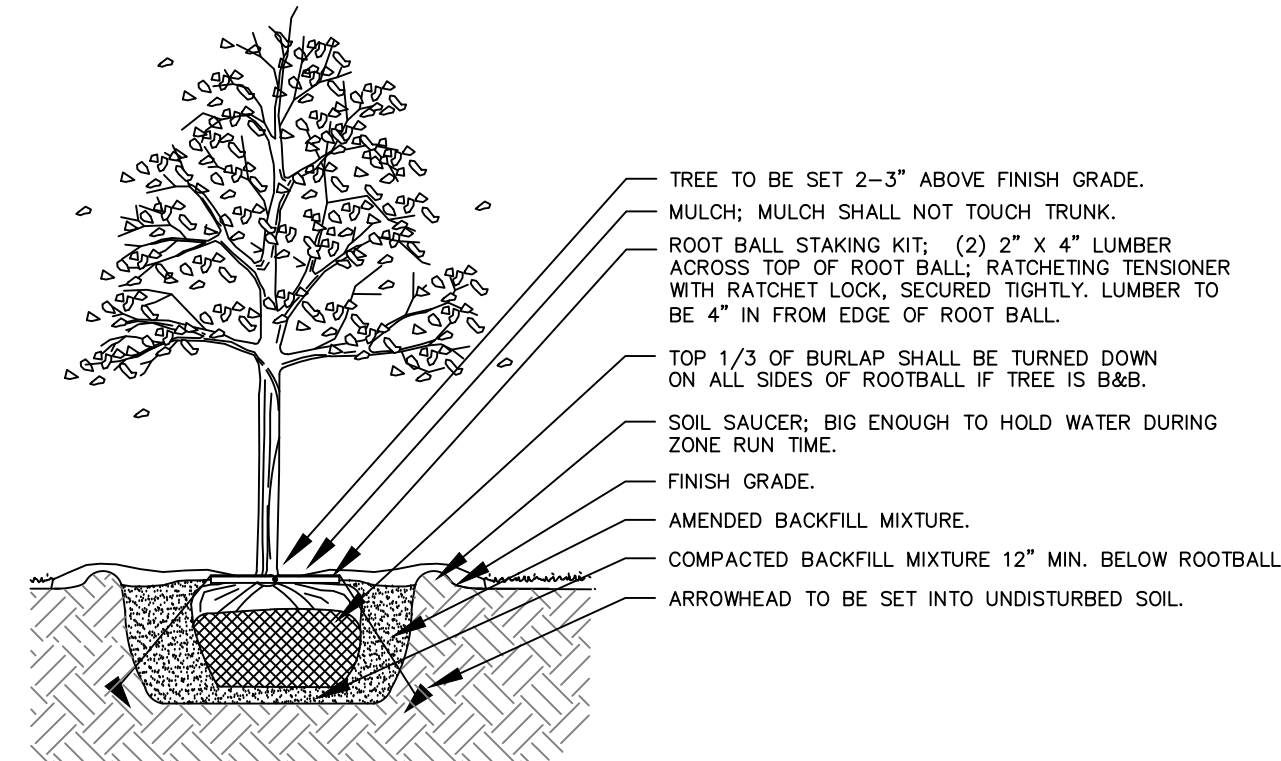
LICENSED PROFESSIONAL  
JOSEPH C. LONDON, P.E.  
FLORIDA LICENSE NUMBER 33694  
DESIGNED BY: JAL  
DRAWN BY: RDR  
CHECKED BY: JCL DATE: \_\_\_\_\_

**EROSION CONTROL PLAN, NOTES, & DETAILS**

**ADVANCED TIRE SERVICES**  
PREPARED FOR  
**GUINN III PROPERTIES, LLC**  
FLORIDA  
CITY OF OCALA

SHEET NUMBER  
**C07**





**TREE INSTALLATION, WITH ROOT BALL KIT**  
NOT TO SCALE

**LANDSCAPE NOTES:**

ALL BEDS WILL BE MULCHED WITH A MINIMUM OF 2"-THICK PINE BARK MULCH (LARGE NUGGETS).  
 ALL PLANTS WILL BE FLORIDA #1 OR BETTER. THEY SHALL BE FERTILIZED UPON PLANTING AND INSTALLED USING A MINIMUM 1/3 FEAT WITH 2/3 NATIVE SOIL.  
 SOD SHALL BE ARGENTINE BAHIA, PALLETIZED. REFER TO GENERAL NOTE 22.  
 A HEALTHY LIVING CONDITION FOR ALL LANDSCAPING SHALL BE MAINTAINED. ANY PLANTS THAT DIE OR ARE NOT HEALTHY AND DYING, SHALL BE REPLACED WITHIN THIRTY (30) DAYS TO CITY STANDARDS. CURRENT WATER RESTRICTIONS PER S.J.R.W.M.D. SHALL BE OBSERVED.  
 ALL HEDGE MATERIAL SHALL BE IN 3-GALLON CONTAINERS AT 18 INCHES HIGH (MIN.) WHEN PLANTED, AND AT A MAXIMUM OF 3 FEET ON CENTER. HEDGES ARE TO BE MAINTAINED AT 36"-HIGH. ALL 2-1/2" DBH TREES ARE TO BE THE EQUIVALENT OF 3" MINIMUM CALIPER.  
 IRRIGATION IS REQUIRED FOR 100% OF ALL NEW VEGETATION DURING THE ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR IRRIGATION PLANS AND SHALL SUBMIT THEM TO THE ENGINEER RECORD FOR APPROVAL.  
 NO PLANTING SHALL BE DONE WITHIN 2 FEET OF THE BACK OF THE WHEELSTOPS.

**PROPOSED PLANT LIST:**

QUANTITY	SYMBOL	COMMON NAME	BOTANICAL NAME	MIN. SIZE
15		LIVE OAK	QUERCUS VIRGINIANA	2-1/2" DBH
17		LIGUSTRUM	LIGUSTRUM JAPONICUM TREE-TYPE	6' MIN., 1.5" CALIPER
6		RED MAPLE	ACER RUBRUM	2-1/2" DBH
18		WALTER'S VIBURNUM	VIBURNUM OBOVATUM	3 GAL (18" MIN. HT.)
6		GRAPE MYRTLE	LAGERSTROEMIA INDICA	6' MIN., 1.5" CALIPER
24		RIVER BIRCH	BETULA NIGRA	2-1/2" DBH

CROSS-HATCHING INDICATES INTERIOR LANDSCAPE AREA. TOTAL = 7,728 SQ. FT.

**LANDSCAPE DATA:**

**LANDSCAPE/OPEN SPACE CALCULATIONS:**  
 REQUIRED OPEN SPACE: 20% OF 213,621 S.F. = 42,724 S.F.  
 PROVIDED OPEN SPACE: 79,853 S.F. = 37.38% (DOES NOT INCLUDE D.R.A.)  
 REQUIRED SHADE TREES: 1/5,000 OF 213,621 S.F. = 43  
 PROVIDED SHADE TREES: EXISTING = 14  
 PROPOSED = 56  
 TOTAL = 70

**TREE BANK REQUIRED:**

EXISTING TREES TO BE SAVED: REQUIRED  
 4 PER ACRE = 20 TREES PROVIDED  
 ACTUAL 14 TREES SAVED (LIVE OAK) Viable SHADE TREE  
 20 TREES REQUIRED TO BE SAVED MINUS 14 TREES SAVED = 6 TREES UNDER THE REQUIRED AMOUNT TO BE SAVED  
 6 LARGEST EXISTING TREES TO BE REMOVED TOTAL DBH = 134" DBH  
 PROPOSED SHADE TREES = 56 TREE : 140" DBH  
 NET DBH TO BE REMOVED = 0"

**INTERIOR LANDSCAPE AREA CALCULATIONS:**

TOTAL PAVED VEHICULAR SURFACE AREA = 62,545 S.F.  
 37,675 S.F. x 10% = 6,255 S.F. REQUIRED

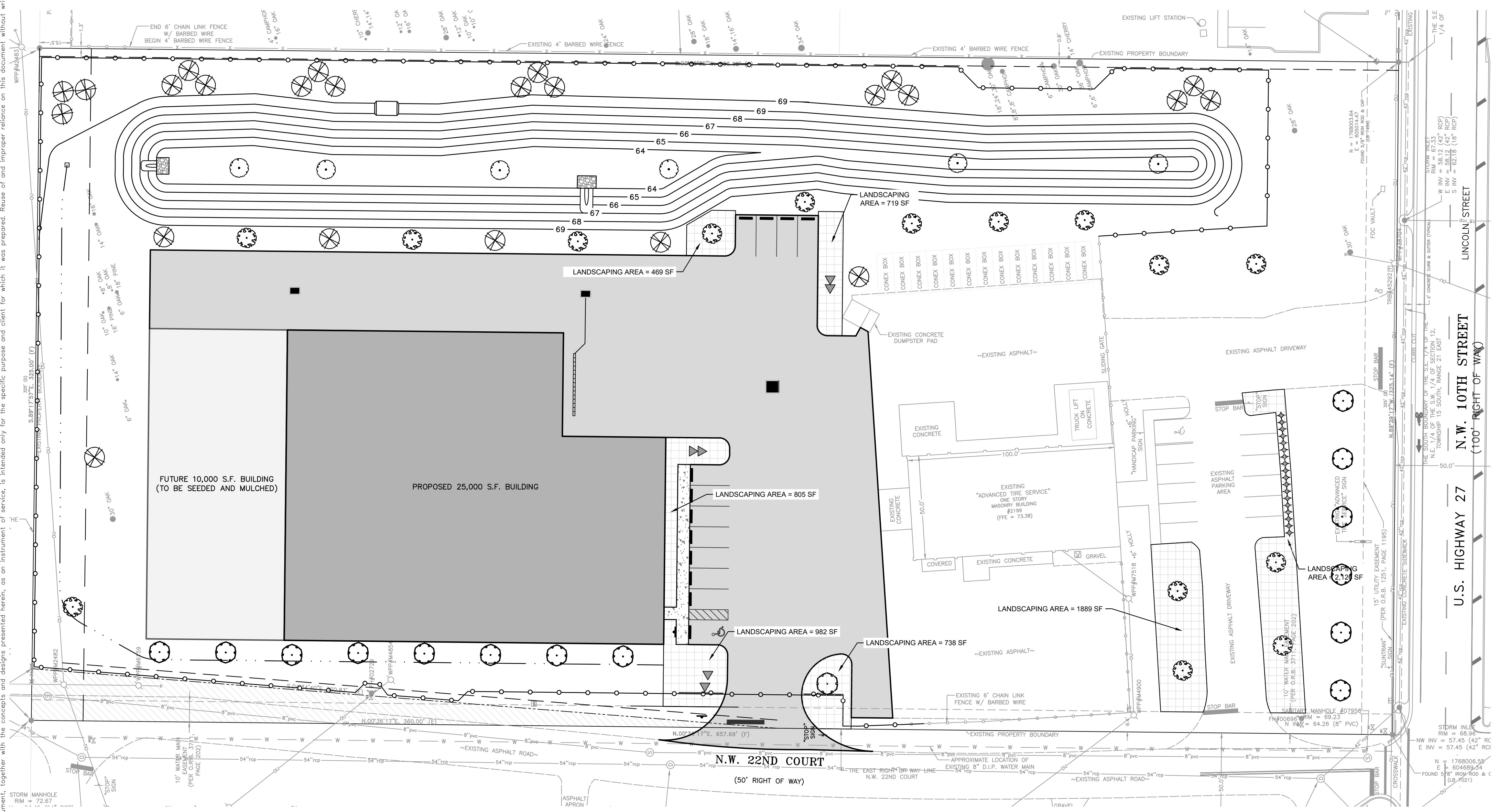
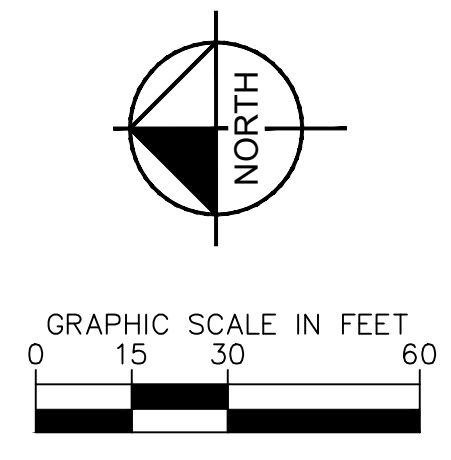
**GARAGE FRONTAGE AREAS NOT INCLUDED**

PAVED AREA OTHER THAN PARKING = 19,210  
 19,210 X 2% (1 IN 50) = 384 S.F. REQUIRED

TOTAL INTERIOR LANDSCAPE AREA REQUIRED = 6,639  
 TOTAL INTERIOR LANDSCAPE AREA PROVIDED = 7,728

**NOTICE:**

THIS PLAN SHALL SERVE AS THE OFFICIAL MINIMUM LANDSCAPE REQUIREMENTS FOR THIS SITE. VEGETATION DESIGNATED ON THIS PLAN IS BASED ON THE MINIMUM REQUIRED SHADE TREES AND BUFFER PLANTS PER THE CITY OF OCALA LAND DEVELOPMENT REGULATIONS. SAID VEGETATION SHALL NOT BE CHANGED (IN QUANTITY, SIZE, OR LOCATION) WITHOUT PRIOR WRITTEN APPROVAL BY THE CITY BUILDING DEPARTMENT THROUGH FULL SITE PLAN REVIEW/REVISION PROCEDURE. THE OWNER RESERVES THE OPTION TO INSTALL ADDITIONAL VEGETATION ON THIS SITE AT HIS DISCRETION, BUT SHALL IN NO WAY REDUCE THE MINIMUM REQUIREMENTS SHOWN HEREON.



NO.	REVISIONS	DATE	BY

**Kimley»Horn**  
 © 2024 KIMLEY-HORN AND ASSOCIATES, INC.  
 1700 SE 17TH STREET, SUITE 200, OCALA, FLORIDA, 34471  
 PHONE: 352-438-3000  
 WWW.KIMLEY-HORN.COM REGISTRY NO. 35106

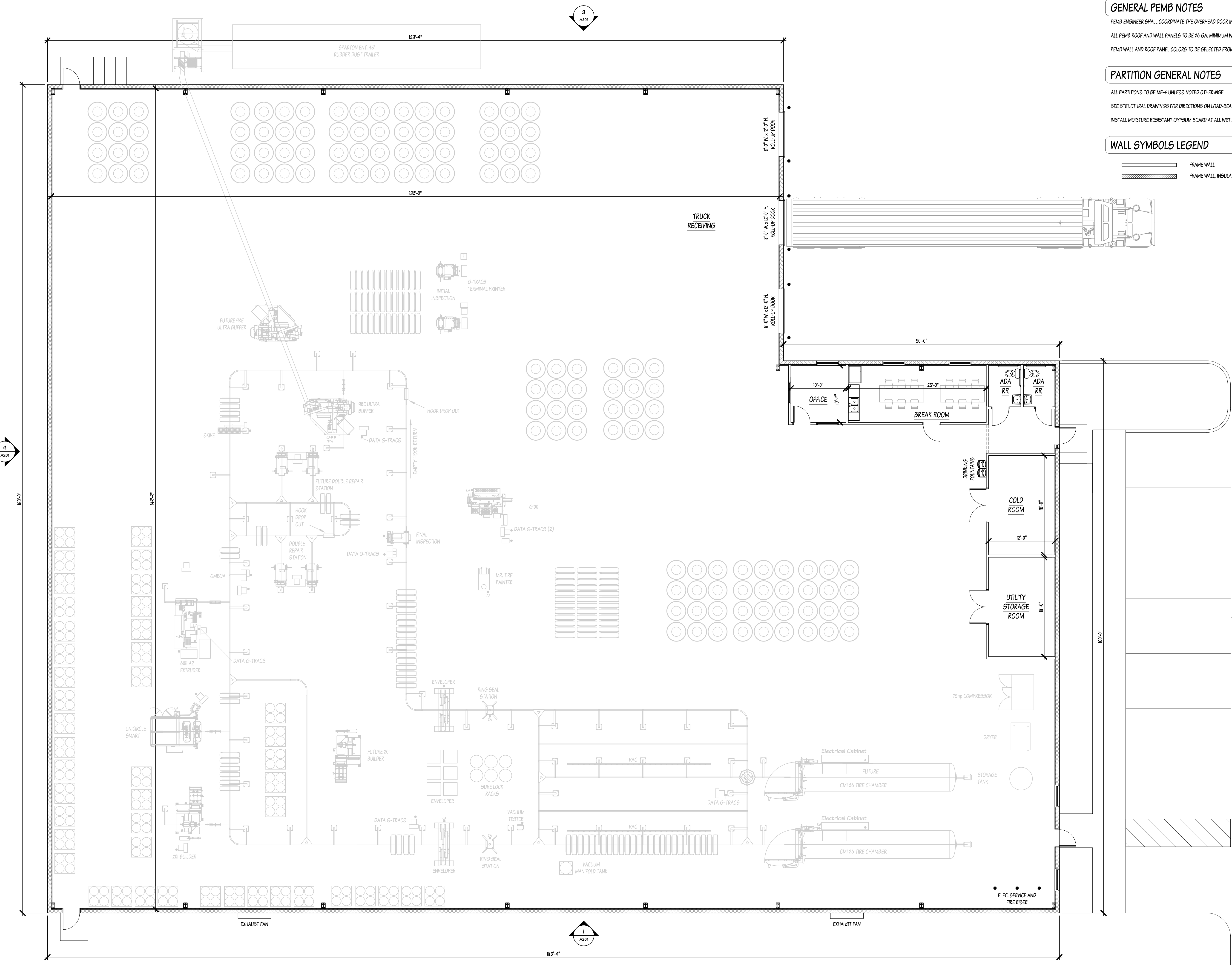
LICENSED PROFESSIONAL  
 JOSEPH C. LONDON, P.E.  
 FLORIDA LICENSE NUMBER  
 33694

**LANDSCAPE PLAN**

ADVANCED TIRE SERVICES  
 PREPARED FOR  
 GUINN III PROPERTIES, LLC  
 FLORIDA  
 CITY OF OCALA

SHEET NUMBER  
**C09**

K:\CADD\242253001\Advanced Tire Services Site Plan\242253001\LANDSCAPE PLAN\Working Layout\CDR LANDSCAPE PLAN May 24, 2024 D:\dms\rgp  
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



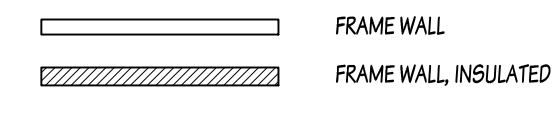
**GENERAL PEMB NOTES**

PEMB ENGINEER SHALL COORDINATE THE OVERHEAD DOOR INSTALLATION INTO THE DESIGN OF THE PEMB BUILDING  
 ALL PEMB ROOF AND WALL PANELS TO BE 26 GA. MINIMUM WITH A PBR PROFILE UNLESS NOTED OTHERWISE  
 PEMB WALL AND ROOF PANEL COLORS TO BE SELECTED FROM MANUFACTURER'S AVAILABLE COLORS

**PARTITION GENERAL NOTES**

ALL PARTITIONS TO BE MF-4 UNLESS NOTED OTHERWISE  
 SEE STRUCTURAL DRAWINGS FOR DIRECTIONS ON LOAD-BEARING FRAME WALLS  
 INSTALL MOISTURE RESISTANT GYPSUM BOARD AT ALL WET AREAS, INCLUDING ALL RESTROOM WALLS

**WALL SYMBOLS LEGEND**



**1 FLOOR PLAN**  
 1/8" = 1'-0"



**MARTINEZ ARCHITECTURE LLC**  
 1919 SE 29th PLACE  
 OCALA, FL 34471  
 A424003037  
 (352) 464-2173  
 www.martinezarch.com  
 © COPYRIGHT 2024  
 DRAWINGS TO BE USED AS SHOWN  
 SEALED & DATED BY REGISTERED PROFESSIONAL

GILBERTO MARTINEZ  
 LIC. #AK 195172

**NOT FOR CONSTRUCTION**

**NEW FACILITY FOR:  
 ADVANCED TIRE SERVICE**  
 2199 NW 10th STREET  
 OCALA, FL 34475

PROJECT NO. 2409  
 DATE 06.17.24

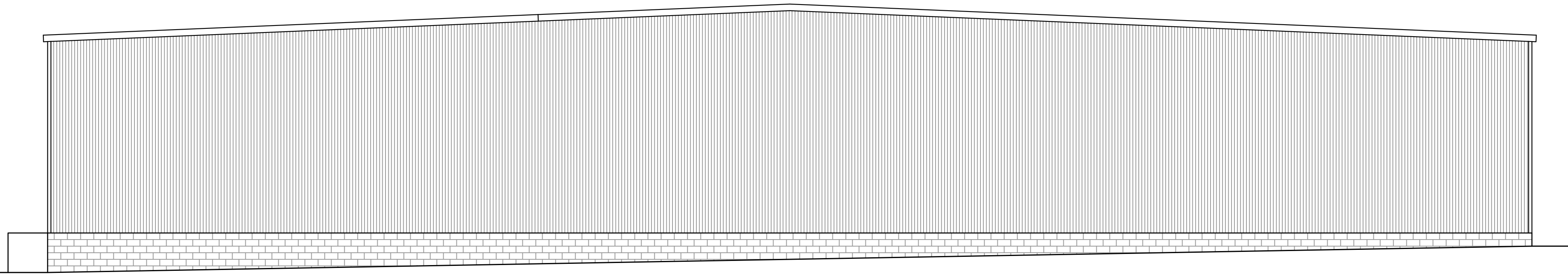
REVISIONS

SHEET TITLE:  
 FLOOR PLAN

SHEET NO. A101

122'-0"  
PEMB EAVE HT.

100'-0" (ASSUMED)  
FINISH FLOOR HT.

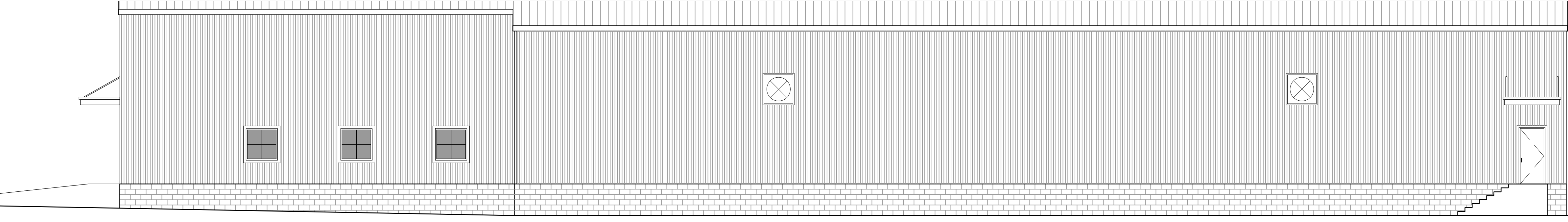


4 EXTERIOR ELEVATION - NORTH  
1/8" = 1'-0"

122'-0"  
PEMB EAVE HT.

110'-0"  
B.O. AWNING

100'-0" (ASSUMED)  
FINISH FLOOR HT.

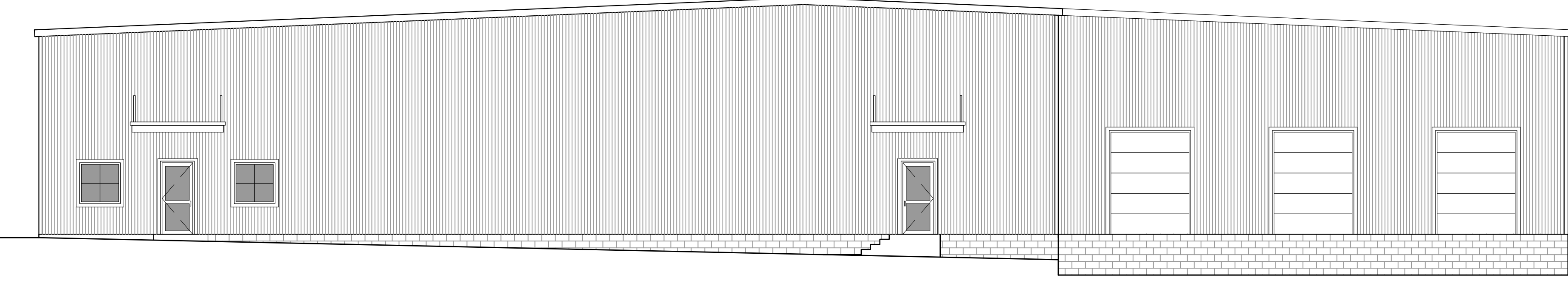


3 EXTERIOR ELEVATION - EAST  
1/8" = 1'-0"

122'-0"  
PEMB EAVE HT.

110'-0"  
B.O. AWNING

100'-0" (ASSUMED)  
FINISH FLOOR HT.



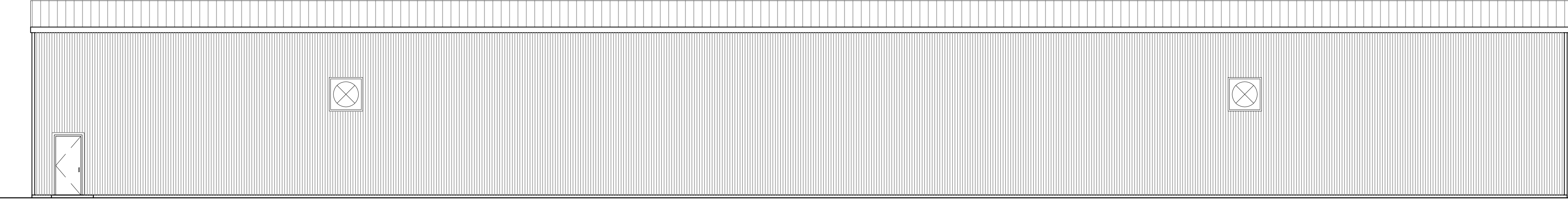
110'-0"  
ROLL-UP DOOR HD. HT.

2 EXTERIOR ELEVATION - SOUTH  
1/8" = 1'-0"

122'-0"  
PEMB EAVE HT.

110'-0"  
WINDOWS/DOOR HEAD HT.

100'-0" (ASSUMED)  
FINISH FLOOR HT.



1 EXTERIOR ELEVATION - WEST  
1/8" = 1'-0"

**MARTINEZ ARCHITECTURE LLC**  
 1919 SE 29th PLACE  
 OCALA, FL 34471  
 A420003037  
 (850) 464-2173  
 www.martinezarch.com

GILBERTO MARTINEZ  
L.C. #AK 95572

**NOT FOR CONSTRUCTION**

© COPYRIGHT 2024  
DRAWING IS THE PROPERTY OF ARCHITECT  
SEAL & SIGNED BY REGISTERED PROFESSIONAL

NEW FACILITY FOR:  
**ADVANCED TIRE SERVICE**  
2199 NW 10th STREET  
OCALA, FL 34475

PROJECT NO.	2409
DATE	06.17.24
REVISIONS	
△	-

SHEET TITLE:  
EXTERIOR ELEVATIONS

SHEET NO.  
A201



302 SE Broadway St., Unit 100, Ocala, FL 34471 • (352) 867-8101 •

[www.DrakeConstructionServices.com](http://www.DrakeConstructionServices.com)

Subject: Additional Information for CRA Grant – Advanced Tire

Date: 7/8/24

- **Annual average salary for the jobs to be provided.**
  - \$53,280
- **Development Team - Provide main partners, contractors or individuals that will be involved.**
  - [Advanced Tire](#) – Jeff Guinn (Owner) – Well Established business founded in Ocala. Today has 5 Locations in Central Florida.
  - [Goodyear Truck Tire Retreading](#) – National Commercial Tire retreat facility.
  - [Drake Construction Services](#) – Construction Manager – 6<sup>th</sup> Generation Ocala Family business. Over 40 years of combined construction experience in Ocala on the management team. Has successfully completed many CRA Grant projects with the City of Ocala. Some projects include Bank Street, Ivy House, and Mainstreet Community Bank.
  - [Kimley-Horn Engineering](#) – Civil Engineers – Joe London P.E. – Local Ocala Civil Engineers with extensive experience working in the City of Ocala.
  - Martinez Architecture – Architect – Gilbert Martinez – Local Architect with experience with similar structures with Drake Construction as well as other contractors.
  - Miller Professional Engineering – MEP Engineer – Matt Miller – Ocala Engineer with local experience. Has successfully completed many projects with Drake Construction.
- **Include a rough estimate of expected revenue from the business to show economic impact.**
  - Expected gross annual revenue of \$1,800,000.
- **List up to 3 or 4 examples of past projects (size, cost, location) successfully completed by applicant or members of the project team.**
  - [Brown National Lease](#)
    - Ocala, FL – Meadowbrook Commercial Park
    - Completed 2023
    - Cost - \$2M
    - Team – Drake Construction, Kimley-Horn, Martinez Architecture, Miller Professional Engineering
    - Scope - 4 Acre Site Development for Brown National Lease Truck Maintenance Facility. 7,500 SF Pre-engineered Metal Building with a Interior Buildout for an office, Storage & Restroom.
  - [Ocala Tractor Dealership](#)
    - Marion County - N US HWY 441
    - Under Construction – Expected Completion Date – August 2024
    - Cost - \$4M
    - Team – Drake Construction
    - Scope - 19,100 SF new commercial building for Ocala Tractor Dealership. The new building will provide a new showroom, offices, parts storage, and maintenance shop that is all under conditioned air.

- Phoenix Wood Products – [Office & Warehouse Space](#)
  - Marion County (NE 36<sup>th</sup> Ave) –
  - Completed 2020
  - Cost - \$4.5M
  - Team – Drake Construction Services & Miller Professional Engineering
  - Scope –
    - Warehouse Space - 6 acers of site development, 32,000 SF of industrial warehouses and an equipment pad for pallet building equipment.
    - Headquarters - 5,000sf Headquarters Office connected to a 50,000sf Industrial Manufacturing plant for a Pallet Building Company. Use Heart Pine flooring, walls and ceilings to give a unique but fitting feel for a pallet building company.
- Goodyear – Thousands of Locations across the US. See attached example of one new location recently completed.
- Advanced Tire – 5 Locations in Central Florida
- **In additional to the elevations provided, add images (of a similar Advanced location) or renderings to give a visual of the final product.**
  - See example of a similar Goodyear facility:

Goodyear Commercial Truck Facility Example - Advanced Tire will be similar - Final Colors TBD



## ESTIMATE

PROJECT NAME: Advanced Tire - Retread Facility

DATE: 6/11/24



	25,000.00	
	25,000 SF Building	
<u>Item</u>	Amount	\$ / SF
01.000 General Conditions	79,296.00	3.17
01.010 Project Supervision & Management	45,312.00	1.81
01.020 Sidewalk Fund Fees	30,086.95	1.20
01.020 Permitting (ESTIMATE)	25,000.00	1.00
01.020 Impact Fees (ESTIMATE)	20,000.00	0.80
01.020 Utility Connection Fees (ESTIMATE)	10,000.00	0.40
02.000 Demolition		-
03.000 Concrete - Flatwork	17,774.99	0.71
03.000 Stem Walls - Loading Docks	56,640.00	2.27
05.020 Metal Fabrications - Bollards & Railings	27,995.61	1.12
06.000 Framing & Drywall	49,560.00	1.98
07.030 Insulation	2,839.26	0.11
08.000 Doors	9,912.00	0.40
08.040 Storefront Glass & Doors	8,496.00	0.34
08.300 Overhead Doors	28,320.00	1.13
09.030 Flooring (Ofc Buildout)	9,912.00	0.40
09.050 Finishes - Misc. (Ofc Buildout)	2,832.00	0.11
09.060 Paint (Ofc Buildout)	6,230.40	0.25
10.030 Specialties	2,832.00	0.11
11.010 Loading Dock Levers	25,488.00	1.02
12.020 Cabinets & Counters (Ofc Buildout)	5,664.00	0.23
18.000 Metal Building w/ Concrete Slab	1,273,874.16	50.95
21.000 Fire Sprinklers	116,633.55	4.67
22.000 Plumbing & Compressed Air	21,240.00	0.85
22.000 Plumbing - Compressed Air Pipping	28,320.00	1.13
23.000 Air Conditioning - Shop Fans	33,984.00	1.36
23.000 Air Conditioning	16,992.00	0.68
26.000 Electric	346,009.40	13.84
28.000 Fire Alarm	18,697.81	0.75
31.000 Site Work	424,800.00	16.99
31.001 Underground (onsite)	81,561.60	3.26
32.020 Landscape & Irrigation	42,480.00	1.70
33.020 Well & Septic	-	-
<b>Totals</b>	<b>2,868,783.72</b>	<b>114.75</b>
General Liability Insurance (1.25% of costs)	35,859.80	1.43
GC Pre-Construction Management Fee	30,000.00	1.20
GC Construction Management Fee	90,000.00	3.60
Bonding Fee	-	-
<b>TOTAL</b>	<b>3,024,643.51</b>	<b>120.99</b>

Notes

Items 01.020 are being requested to be covered by CRA Grant Funding.

Excludes

Architect, MEP & Civil Engineering, Builders Risk Insurance, Bonding Fees.

Prepared by:

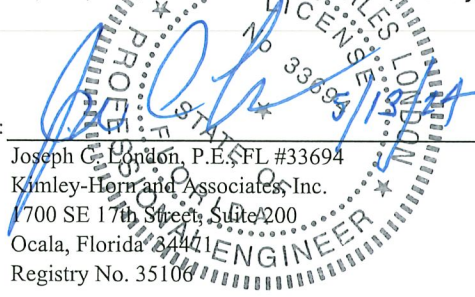


ENGINEER'S OPINION OF PROBABLE COST FOR ADVANCED TIRE SERVICES - SIDEWALK CONSTRUCTION COST ESTIMATE						
ITEM #	FDOT PAY ITEM	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	AMOUNT
<b>I. ROADWAY ITEMS</b>						
1	522-1	CONCRETE SIDEWALK AND DRIVEWAYS, 4" THICK	SY	365	\$ 82.43	\$ 30,086.95
<b>TOTAL CONSTRUCTION COST</b>						<b>\$ 30,086.95</b>

*The Engineer has no control over the cost of labor, materials, equipment, or over the Contractor's methods of determining prices or over competitive bidding or market conditions. Opinions of probable costs provided herein are based on the information known to Engineer at this time and represent only the Engineer's judgment as a design professional familiar with the construction industry. The Engineer cannot and does not guarantee that proposals, bids, or actual construction costs will not vary from its opinions of probable costs.*

PREPARED BY: \_\_\_\_\_

Joseph C. London, P.E., FL #33694  
Kimley-Horn and Associates, Inc.  
1700 SE 17th Street, Suite 200  
Ocala, Florida 34471  
Registry No. 35106





Construction Area

