



Staff Report: Rezoning

Case No. ZON25-0004

Planning & Zoning Commission: April 14, 2025

City Council (1st Reading): May 6, 2025

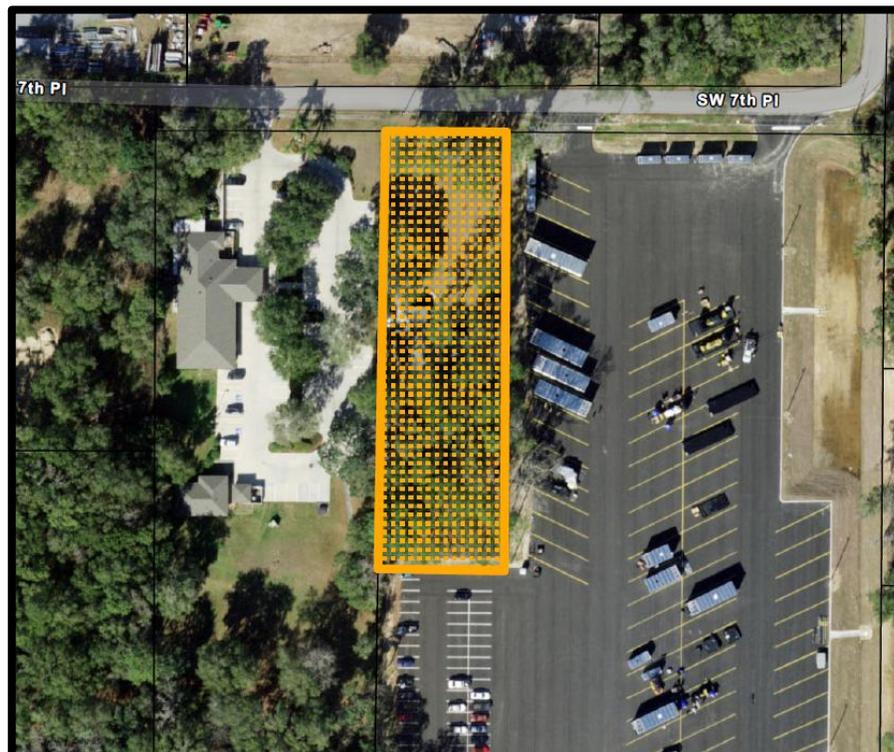
City Council (Adoption): May 20, 2025

Applicant/Property Owner: Fidelity Manufacturing LLC
Agent: James Pete Whirle
Project Planner: Breah Miller, Planner II
Amendment Request: Rezone the subject property from INST, Institutional, to M-2, Medium Industrial.

Subject Property Information

Acres: ±1.00 acre
Parcel(s)#: 23458-000-01
Location: 3640 SW 7th Place
Existing use: Single Family Residential
Future Land Use Designation: Employment Center
Zoning Designation(s): Institutional
Special District(s)/Plans(s): N/A
Approved Agreement(s): N/A

Figure 1. Aerial Location Map



Adjacent Property Information

Direction	Future Land Use	Zoning District	Current Use
North	Employment Center	M-2, Medium Industrial District	Oasis Landscape Services, Inc. Warehouse facility Undeveloped property
South	Employment Center	M-2, Medium Industrial District	Fidelity Manufacturing LLC Warehouse Facility
East	Employment Center	M-2, Medium Industrial District	Fidelity Manufacturing LLC additional parking
West	Employment Center	M-2, Medium Industrial District	Kingdom Hall of Jehovah’s Witnesses (Church)

Applicant Request

The applicant has submitted a petition to rezone the subject property from INST, Institutional, to M-2, Medium Industrial.

Background:

This area of the City was annexed in 1975. Zoning maps dated 1981 and 1987 show that the area was a mixture of R-1, Single Family Residential, and M-1, Light Industrial, zoned properties. The subject property and adjoining properties were zoned R-1 at that time. The previous owners purchased the subject property in 1977 and constructed a home on the property in 1978, this became the church official’s home. The property adjacent to the west has been in the ownership of a church organization since at least 1976. In 1993, with the adoption of the Comprehensive Plan, the area, including the subject property, was given a land use designation of Medium Industrial and zoning designation of M-2, Medium Industrial. The adjacent church owned property was given a land use designation of Public Buildings and Facilities as a reflection of the ownership. In 2011, a land use amendment and rezoning were approved to change the future land use to Public Buildings & Facilities and rezone the property to INST, Institutional, thus rectifying the nonconforming use.

The subject property was purchased by Fidelity Manufacturing in February 2024. The existing home has been vacant since the time of purchase. A demolition permit application (DEMO25-0028) has been submitted to ensure that the existing single-family residence does not create a nonconforming use situation again once the rezoning is approved..

Staff Analysis

Factual Support

Comparison of Zoning District Standards

Zoning	Intent and Purpose	Minimum	Maximum
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	District		Lot Area	Building Height
Existing	INST, Institutional	Intended to ensure that institutional uses such as churches, schools, and hospitals meet the following criteria: minimum of one acre; designed and located to make efficient use of the land and infrastructure (roads, water, sewer stormwater and recreation); and minimal impact on adjacent and nearby uses	44,000 square feet	50 feet
Proposed	M-2, Medium Industrial	Intended primarily for the wholesale distribution, warehouse storage, outdoor storage and sales, research and development and light manufacturing of finished or semi-finished products in multiple-use facilities or structures. Outdoor manufacturing activities associated with permitted uses may be allowed in the M-2 district as a special exception. Service establishments serving the industrial uses or district shall be permitted	20,000 square feet	60 feet

Also see Exhibit A: Permitted Uses Table below.

Consistency with Comprehensive Plan and Land Development Regulations

1. The requested zoning change is consistent with the following Objectives and Policies of the City of Ocala Future Land Use Element:
 - a. Future Land Use Element Policy 6.5: Employment Center. The intent of the Employment Center land use is to provide a regionally important hub for business, enterprise, research and development, and employment activities. Employment Centers are generally single use districts but may include more than one (1) use if there are appropriate buffers and transitions between complementary uses. Permitted uses shall include a primary use and may include a secondary use. Primary uses are industrial, office and commercial. Secondary uses are public, recreation, institutional, and residential, as well as educational facilities. There are no form requirements in this land use category.

Access is primarily from major collectors, arterials, or limited-access highways. The primary modes of transportation include automobiles, trucks, freight rail, bus, and commuter rail transit. Provisions should be made for walking, bicycles, and transit.

There is no minimum density and intensity in this future land use category. The maximum density and intensity before any incentives is 24 dwelling units per gross acre or 2.00 FAR. The location and application of incentives shall be set forth in the Land Development Code.

Staff Comment: The Employment Center Future Land Use category identifies industrial as a primary use and emphasizes that the area is a regionally important hub for business and employment activities. The proposed M-2 zoning is compatible with the existing Employment

Center land use.

- b. Future Land Use Element Policy 7.2: City guidelines shall be context-sensitive to providing appropriate transitions between adjacent land uses with particular emphasis on building compatibility between neighborhoods and non-residential uses.

Staff Comment: The subject property is surrounded by M-2 zoning on three sides. The property is currently developed with a single-family residence that will be demolished upon approval of the rezoning.

- c. Future Land Use Element Policy 12.1: The City shall require that all development have adequate services and facilities including water, roads, sewage collection and treatment, stormwater drainage, recreation, and solid waste disposal, to the extent required by state law, other provisions of this Comprehensive Plan, or the City’s Land Development Code.

Staff Comment: As identified in the Level of Service Analysis, public facilities exist to service the subject property.

- 2. The requested rezoning is consistent with the following Sections of the City of Ocala Code of Ordinances:

- a. Section 122-133(b)(1): The application requests to rezone parcel or parcels that are a minimum of 30,000 square feet of area not separated by a right-of-way for a street, a street, or a drainage retention area.

Staff Comment: The subject property contains approximately 1.00 acre and meets the requirements for consideration of rezoning set forth by the Code of Ordinances.

- b. Section 122-244 – *District criteria*: Zoning districts allowed under the current land use classification.

Employment Center	O-1, OP, B-1, B-1A, B-2, B-2A, B-4, B-5, SC, M-1, M-2 , M-3, G-U, INST, A-1, PD, FBC
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Staff Comment: As indicated in Section 122-244 above, the M-2 zoning district is a permitted district within the subject property’s current Low Intensity future land use.

Level of Service (LOS)

Transportation: The 2023 congestion management data from the Ocala-Marion TPO for the affected roadway is provided below.

- **Adopted LOS / Available Capacity:**

Road/ Street Name	Lanes	Speed Limit	Functional Classification	Adopted LOS	LOS Capacity	2021 AADT	Existing LOS
SW 33 Ave	2	35 MPH	Collector	E	12,480	2,700	B

Developments proposing to generate 100 or more net new PM peak hour trips are required to submit a traffic study as part of the site plan review. The affected segment of SW 33 Avenue is currently operating above the adopted Level of Service.

Potable Water: City utilities are available at this location; connections will be determined during the site plan or subdivision review process. A City water main runs along NE 14th Street in front of the subject property.

- *Adopted Level of Service (LOS) Potable Water:* 300 gallons per day (gpd) per equivalent residential unit (ERU), or the equivalent of 167 gallons per capita daily (gpcd).
- *Available Capacity:* Capacity is available. The permitted capacity of the City's water system is 24.4 million gallons daily (mgd).

Sanitary Sewer: City utilities are available at this location; connections will be determined during the site plan or subdivision review process. A City gravity main runs along SW 37th Avenue two properties west of the subject property.

- *Adopted Level of Service (LOS) Sanitary Sewer:* 250 gallons per day (gpd) per equivalent residential unit (ERU), or the equivalent of 80 gallons per capita daily (gpcd).
- *Available Capacity:* Capacity is available. The permitted capacity of Water Reclamation Facility #2 is 6.5 million gallons daily (mgd) and the permitted capacity of Water Reclamation Facility #3 is 4.0 million gallons daily (mgd).

Solid Waste: The subject property is located within the City's service area; refuse pickup will be determined during the site plan or subdivision review process.

- *Adopted Level of Service (LOS) Solid Waste:* 0.0112 pounds per square foot of occupied building space per day for nonresidential development.
- *Available Capacity:* Solid waste is transported to facilities outside of the City.

Parks and Recreation Facilities:

- *Adopted Level of Service (LOS) Solid Waste:* 4.6 developed park acres per 1,000 population for each Regional Park Service Area (RPSA).
- *Available Capacity:* Capacity is available. The City's 69,283 population requires 318.70 developed park acres. The city currently owns and maintains 622.27 developed park acres, pursuant to the Fall 2024 Activity Guide released by the Recreation and Parks Department.

Other Public Facilities:

The following public facilities do not have adopted Level of Service standards and are provided as additional information.

Stormwater: The subject properties are not located within a FEMA Flood Zone. For any future redevelopment, runoff must be retained on-site to match pre-development conditions. Facilities must be designed to provide flood protection for a 100 year, 24-hour storm event.

Electric: The subject property is currently serviced by Ocala Electric Utility.

Fiber: Service is not available along SW 7th Street.

Fire Service: Ocala Fire Rescue Station #4 is located approximately 0.85 miles from the subject property.

Schools: This amendment is not anticipated to affect any school district.

Conclusions

Property History: The rezoning request is for Parcel 23458-000-01 which was purchased by the applicant in February 2024. The subject property is currently developed with a single-family residence that was operated as a church official’s residence. The applicant is proposing to utilize this property in conjunction with the Fidelity Manufacturing property as additional outdoor storage and parking. A site plan will be required for the improvements to the property.

Land Development Code / Comprehensive Plan Consistency: Pursuant to Code of Ordinances Section 122-286 properties in the requested M-2 zoning district shall be at least 100-feet-wide and contain at least 20,000 square feet. The subject property meets the minimum lot width and area requirements of the M-2 zoning district. The requested M-2 zoning district is consistent with the existing Employment Center future land use category pursuant to Code of Ordinances Section 122-244.

Zoning Comparison: The existing INST zoning is primarily intended for use by churches, schools and hospitals. Whereas the proposed M-2 zoning is primarily for the wholesale distribution, warehouse storage, outdoor storage and sales, research and development and light manufacturing of finished or semi-finished products in multiple-use facilities or structures. The M-2 zoning district is consistent with the Employment Center land use and compatible with the development of the surrounding area, which are included in the attached permitted uses table.

Surrounding Area / Compatibility: The proposed M-2 is compatible with the surrounding area, which is primarily characterized by medium industrial uses.

Staff Findings and Recommendation

- The proposed M-2, Medium Industrial, zoning district is consistent with the Employment Center Future Land Use category pursuant to Code of Ordinances Section 122-244.
- The proposed M-2 zoning district is compatible with the existing surrounding development and zoning pattern.
- The request is consistent with the Comprehensive Plan, and the City’s Code of Ordinances.
- No Level of Service issues have been identified for public facilities as a result of the zoning amendment.

Staff Recommendation: *Approval*

Exhibit A. Permitted Uses Table

Permitted Use Type	INST, Institutional	M-2, Medium Industrial
<i>Residential Operation</i>	Community residential home	None permitted
<i>Residential Uses</i>	Single-family dwelling	None permitted
<i>General Retail</i>		Furniture store Home garden/hobby farm equipment sales Used merchandise store
<i>Vehicular Sales</i>		Truck rental and sales
<i>Business Service</i>		Advertising service (on-site/off-site signs) Construction service establishment Day labor service establishment Equipment rental and leasing General business service Maintenance and cleaning service Parking garage (or structure) Parking lot Pest control service Radio/TV broadcasting facility Security systems service
<i>Eating or Drinking Establishment</i>		Alcoholic beverage establishment (off-premises consumption) Restaurant (enclosed)
<i>Office Use</i>		Commercial photography (art and graphic design service) Computer maintenance and repair Photofinishing laboratory Prepackaged software services Print shop Professional and business office
<i>Personal Service</i>	Recycling collection point	Bail bonds agency Kennel Major household repair establishment Mini-warehouse (self-service storage facility) Minor household repair establishment Recycling collection point
<i>Vehicular Service</i>		Repair garage Self-service station/convenience store
<i>Community Service</i>	Church/place of worship Day care facility Library* Private club*	Day care facility*
<i>Educational Use</i>	School, private elementary and secondary Speech and language center/school Vocational/professional school	Community education center Vocational professional school
<i>Recreational Use</i>	Recreation facility, indoor	Recreation facility, indoor*

	Temporary commercial amusement*	Shooting range, indoor
<i>Public Use</i>	Cemetery* Park/open space area*	Airport
<i>Health Care Use</i>	Hospital Satellite Hospital Emergency Room	Medical and dental laboratory Veterinarian office
<i>High-Impact Industrial Use</i>		Construction and demolition landfill Industrial dry-cleaning plant* Materials recovery facility Outdoor manufacturing*
<i>Low Impact Industrial Use</i>		Assembly of electronic components Carpet and upholstery cleaning Manufacturing, light Newspaper printing facility Packing and crating Recreational vehicle and boat outdoor storage Recycling center Research and testing

*Permitted by Special Exception