



City of Ocala
Growth Management Department
201 S.E. 3rd Street, 2nd Floor
352-629-8421 | www.ocalafl.gov

Community Redevelopment Agency (CRA) Grant Application Instructions

This checklist is designed to assist you in completing your application thoroughly. For questions, contact the Growth Management Department at 352-629-8524 or cra@ocalafl.gov	
GETTING STARTED	<ol style="list-style-type: none"> 1. Confirm Property Eligibility - Determine whether the property is located within one of the four designated Community Redevelopment Areas (CRAs). To view the CRA subarea boundaries, use the Ocala Map Experience - Growth Management to search by property address. You can also contact the Economic Development Division within Growth Management to verify eligibility. 2. Carefully read the Program Guide and the applicable Grant Framework to understand requirements, eligible work items, and evaluation criteria. 3. Fill out the grant application in full and include all required supporting documentation.
BUSINESS INFORMATION	This section must only be completed by applicants proposing improvements to non-residential property. All business must have an active City of Ocala Business license.
CRA SUBAREA & PROGRAM TYPE	Available programs vary depending on the CRA subarea and whether the property is residential or non-residential. PLEASE REFER TO THE PROGRAM GUIDES FOR DETAILED INFORMATION ABOUT THE GRANTS AVAILABLE IN EACH CATEGORY.
PROJECT DESCRIPTION	Failure to provide a comprehensive scope of work may result in the application being considered incomplete. If additional space is needed, you may submit an extra sheet or include further details in Section 9: Supplemental Information.
PROJECT COSTS	<p>All submitted quotes must reflect the full scope of work, including both materials and labor. The final quoted amount should represent the total cost to be paid by the property owner.</p> <ul style="list-style-type: none"> • If a quote includes multiple product or pricing options, applicants must clearly indicate their selected option. Grants are calculated based on the lowest quotes provided. • For each distinct eligible improvement (e.g., roof replacement, exterior painting), applicants are required to submit two separate quotes from two different vendors. <p>Example: <i>Roof Replacement:</i> Submit two quotes from two roofing contractors. <i>Repainting:</i> Submit two quotes from two painting service providers.</p>
INCOMPLETE APPLICATIONS	Failure to provide the required information may result in the application being deemed incomplete and may potentially delay the grant review process.
APPLICATION DEADLINES	Application Deadlines and meeting dates are published on the City of Ocala website. Deadlines vary by the community redevelopment subarea. Applications submitted <u>after</u> the deadline will be processed in the next review cycle. CRA Advisory Committee meeting dates are subject to change.
SUBMITTING YOUR APPLICATION	<ol style="list-style-type: none"> 1. <u>In-Person Submittal</u> Drop off the application at: 201 SE 3rd Street, 2nd Floor, Ocala, FL 34471 2. <u>By Mail or Email</u> <i>Email:</i> Scan and email the application to cra@ocalafl.gov <i>Mail:</i> Send to: Economic Development Manager 201 SE 3rd Street, 2nd Floor Ocala, FL 34471 3. <u>Online Portal Submission</u> An online application form is provided within the portal and must be submitted directly through the system. Apply through Ocala's Economic Development Portal (CivicServe): https://ocalafl.civicserve.com/



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DATE SUBMITTED: 11/17/25

GRANT ID: CRA 25-0044
(STAFF ONLY)

- ☒ RESIDENTIAL
☐ COMMERCIAL

CRA GRANT APPLICATION

1. PROPERTY OWNER INFORMATION

Property Owner Name Stephen Dawson
Property Owner Mailing Address 9114 Lindar Ave Morton Grove IL 60053
E-mail Steve.dawson.1952@gmail.com Phone No. 773-960-5655
Authorized Representative (If different from property owner) Anton Dawson
E-mail Mowhawk2 Phone No. 847-903-0196

2. BUSINESS INFORMATION

REQUIRED FOR COMMERCIAL GRANTS PROGRAMS ONLY

Business Name _____
Type of Business _____
Business Address _____
Business E-mail _____ Business Phone No. _____
Primary Contact (If different from applicant) _____
How long has the business been at its current location? _____
If the business is a tenant, what are the start and end date of the lease? _____

3. CRA SUBAREA

☐ West Ocala ☒ East Ocala ☐ North Magnolia ☐ Downtown

4. PROGRAM TYPE

☒ Residential ☐ Commercial ☒ Historic Building
☐ New Construction Incentive

APPLICANT MUST REVIEW PROGRAM GUIDE AND GRANT FRAMEWORK BEFORE SELECTING THE APPLICABLE PROGRAM TYPE

5. PROJECT DESCRIPTION

Project Site Address 721 N.E. 2nd Street Cape Coral Ocala FL 34412 Parcel ID 2820-045-006
Current Use of Property triplex investor property Proposed Use single family
Proposed Scope of Work (Attach additional sheets if needed)
Mechanical, electrical, Plumbing Rehab

Explain your need for grant assistance and the expected benefits of your project (Attach additional sheets if needed)

My family and I wish to restore this historic gem to its former glory in order to provide to us a forever home. In doing this we feel this will cultivate the desired aesthetic that historical Ocala deserves as well as a safe place to raise our young.

RESIDENTIAL PROPERTIES ONLY

Rental Property ☐ Yes ☒ No

Is this your primary residence? ☒ Yes ☐ No

How long have you resided at the home? 0 What is the size of your household? 7

6. PROJECT COSTS**APPLICANT MUST SUBMIT TWO QUOTES FOR EACH WORK ITEM**

Work Item 1 <u>Electrical</u>	High Quote 1: <u>32,350.00</u>	Low Quote 1: <u>27,060.00</u>
Work Item 2 <u>Plumbing</u>	High Quote 2: <u>39,580</u>	Low Quote 2: <u>29,347</u>
Work Item 3 <u>Hvac</u>	High Quote 3: <u>25,870</u>	Low Quote 3: <u>15,000</u>
	Total: <u>97,800</u>	Total: <u>71,407</u>

*IF MORE THAN 3 WORK ITEMS, ATTACH
ADDITIONAL SHEET**7. SCHEDULE**

Start Date: 1/11/2026
Estimated Time For Completion (Weeks/Months): 5 weeks

8. APPLICATION CHECKLIST

- ☒ REVIEW OF APPROPRIATE GRANT PROGRAM FRAMEWORK (SEE PROGRAM GUIDE)
- ☒ COMPLETED APPLICATION
- ☒ APPLICANT/PROPERTY OWNER SIGNATURE AFFIXED
- ☒ PROOF OF PROPERTY OWNERSHIP
- ☒ PROOF OF CURRENT PROPERTY TAXES
- ☒ IMAGES OR SKETCHES OF PROPOSED DESIGNS, COLORS OR GRAPHICAL REPRESENTATIONS
- ☒ AT LEAST TWO QUOTES PROVIDED WITH AN ITEMIZED LIST OF COST ESTIMATES FROM VENDORS
- ☒ COLOR IMAGES OF EXISTING CONDITIONS OF THE BUILDING/PROJECT AREA

9. SUPPLEMENTAL INFORMATION

USE THIS SECTION TO PROVIDE ANY ADDITIONAL INFORMATION THAT MAY ASSIST IN THE REVIEW OF YOUR APPLICATION

GENERAL TERMS AND CONDITIONS

It is expressly understood and agreed that the applicant shall be solely responsible for all safety conditions and compliance with all safety regulations, building codes, ordinances, and other applicable regulations.

It is expressly understood and agreed that the applicant will not seek to hold the City of Ocala, the Grant Review Committee (Committee) and/or its agents, employees, board members, officers and/or directors liable for any property damage, personal injury, or other loss relating in any way to the Program.

It is expressly understood and agreed that the applicant will hold harmless the City, its agents, officers, employees and attorneys for all costs incurred in additional investigation or study of, or for supplementing, redrafting, revising, or amending any document (such as an Environmental Impact Report, specific plan, or general plan amendment) if made necessary by said proceeding and if the applicant desires to pursue such approvals and/or clearances, after initiation of the proceeding, which are conditioned on the approval of these documents.

The applicant authorizes the City of Ocala to promote any approved project including but not limited to displaying a sign at the site, during and after construction, and using photographs and descriptions of the project in City of Ocala materials and press releases.

If the applicant fails to perform the work approved by the Community Redevelopment Agency Board, the City reserves the right to cancel the grant. The applicant also understands that any work started/completed before the application is approved by the Committee is done at their own risk, and that such work will jeopardize their grant award.

Completion of this application by the applicant DOES NOT guarantee that grant monies will be awarded to the applicant.

I certify that all of the foregoing information is accurate and that the work will be performed in accordance with the Program Guide and all applicable construction and zoning laws.

APPLICANT

(PROPERTY OWNER/AUTHORIZED REPRESENTATIVE)

I, STEPHEN R. DAWSON, property owner/authorized representative of the property at 721 NE 2ND STREET, have read and understand the terms and conditions of the Program and agree to the general conditions and terms outlined in the application process and guidelines of the Program.

SIGNATURE: [Signature]

DATE: 11/16/25

OWNER APPROVAL FOR TENANT APPLICANT

I, _____, owner of the property at _____ have read and understand the terms and conditions of the Program and agree to the general conditions and terms outlined in the application process and guidelines of the Program. I give my consent to the applicant to move forward with improvements on the property as outlined in the Project Description section of this application.

SIGNATURE _____

DATE _____

**Ocala Community Redevelopment Agency
Project Cost Summary**

Application ID: CRA25-0044

Address: 721 NE 2nd St

CRA subarea: East Ocala

No.	Eligible work item	High quote	Low quote
1	Plumbing	\$29,942	\$29,347
2	HVAC	\$25,870	\$15,000
3	Electrical	\$32,350	\$27,060
Total		\$88,162	\$71,407
<i>Maximum CRA grant that can be awarded</i>			
<i>based on 60% match, \$40,000 maximum. \$ 40,000.00</i>			

Estimate for Antwon Dawson

Option #1 \$32,350.00

Services

Electrical Remodel

For the removal of the existing service items outside which will include each panel, meter, gutters, and risers.

For the removal of the existing electrical inside that is no longer going to be used or that will be relocated such as old water heater feeds and range feeds.

For the removal of all electrical that is inside of the walls that are being removed or remodeled for doors or windows in the areas such as the kitchen or front foyer areas.

For the removal of all old electrical panels inside u
the installation of a new panel in each location. Th
new 200 amp rated 40 space panel and the upstairs
Each new panel will be rewired from the new service equipment. All new wiring for each



Privacy - Terms

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surface exterior of the house
installed. Each new breaker will
ing GFCI, AFCI, or dual function

breakers in the areas that are required.

For the installation of all new service items to allow for a new 200 amp meter / panel combo and grounding system. This will also include redoing the riser conduit in PVC conduit with new 200 amp rated wiring so the service wires are at least 3 feet away from the window as well as the new service panel will also get a surge protection device to comply with all 2020

NFPA 70 codes.

For the replacement of all devices such as outlets and switches with tamper or weather resistant black decorative outlets and standard decorative switches inside and outside which will include correcting all boxes that are not flush. All existing boxes outside will be replaced with new weatherproof boxes with weatherproof covers.

For the installation of a new 50 amp 240 volt range circuit from the new inside panel. This will also include installing a new box for the installation of a new 4 prong 50 amp range outlet.

For the installation of a new 20 amp 120 volt circuit for the new fridge location in the kitchen. This will also include installing a new box and a new GFCI outlet inside of the box.

For the installation of under cabinet lights in the new cabinets in the kitchen. The new lighting will be 4000K in color and be connected and controlled by a new switch in a new location in the kitchen. The new lighting will be supplied by the electrical contractor.

For the installation of up to 7 new customer provided ceiling fans throughout the home in the upstairs and downstairs bedrooms. The new fans will be controlled by existing switch locations and be installed in the locations where there is existing electrical in the ceiling. If the existing boxes are not rated for fans then they will be replaced with new fan rated boxes.

For the installation of up to 20 new 6" LED lights throughout the home in the kitchen, living room, closets, hallways, and bathrooms. All new lighting will be connected to a new dimmer switch or existing switching will be replaced to a dimmer.

For the installation of up to 2 new customer supplied outdoor rated ceiling fans in the front porch area that will be controlled by a new switch near the entrance.

For the installation of up to 4 new scone lights in existing locations near the entrances of the home.

For the installation of all new battery powered wireless syncable smoke / carbon detector inside of each bedroom, hallways adjacent to each bedroom, and common areas to comply with all 2018 NFPA 72 codes

Please note this price is to reusing the existing branch circuits besides the new ones defined in this quote. If due to unforeseen circumstances any existing wiring is faulty then additional costs will be discussed before correcting any unforeseen issue.

**Please note due to the power currently being disconnected if any other problems outside of this estimate is found upon the power being restored then additional costs will be discussed at the time of the issue*

Please note drywall will have to be removed in order to repair or install new electrical equipment. Any drywall that is needed to be repaired / repainted then it is the responsibility of the customer to fix the drywall where needed

\$32,350.00

Services subtotal \$32,350.00

Subtotal \$32,350.00

Total \$32,350.00

Not what you were looking for?

Please let us know if you'd like to request some changes. We'd love to win your business.

[Decline estimate](#)

[Contact us](#)

For: Antwon Dawson,
721 NE 2nd St, Ocala, FL 34470

Created on: Wed Oct 15, 2025

Serviced on: Fri Oct 03, 2025

License # EC13010804 Pat Myers Electric LLC Serving All Your "Current" Needs



Pat Myers Electric LLC
3528164221
office@patmyerselectric.com

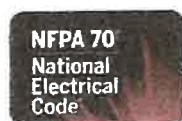
Please make sure to read our [Terms and Conditions](#)



Estimate for Anton Dawson

Option #1
\$27,060.00

Services



NEC - Electrical Upgrades

Roam Electric will provide and install all labor and material for a complete electrical install for this project as stated below. (Start at line item 2)

Roam Electric will perform all work to meet or exceed the requirements set forth by the National Electric Code.

Roam Electric is not an architectural firm. We are not responsible for the cost associated with adding items that are not shown on the plans but are necessary to meet code. Any items not listed below or items not shown on plans or added order.



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This quote is only good for 30 days. Must have approved proposal back within 30 days to insure price.

Qty 1 @ \$27,060.00 /each

\$27,060.00

Low Voltage

1 - doorbells

8 - carbon/smoke detectors

Qty 1 @ \$0.00 /each

\$0.00

Owner Provided Light Flxtures

Provide wiring to and install of:

6 - ceiling fan/lights

10 - decorative lights

5 - bath exhaust fans

2 - post lights with photo cells

Qty 1 @ \$0.00 /each

\$0.00

Meter and Panel

1 - 400 amp meter with overhead riser and service feed from power company

2 - 200 amp exterior main disconnects

1 - 200 amp main lug interior panel with all necessary breakers inside of laundry room

1 - new 4 wire circuit from exterior main disconnect to new interior laundry panel

1 - new 4 wire circuit from exterior main disconnect to existing panel upstairs (existing upstairs panel to be reused. Additional cost to replace = \$2500.00)

Surge protection as required

Qty 1 @ \$0.00 /each

\$0.00

Total

\$27,060.00

Documents (1)

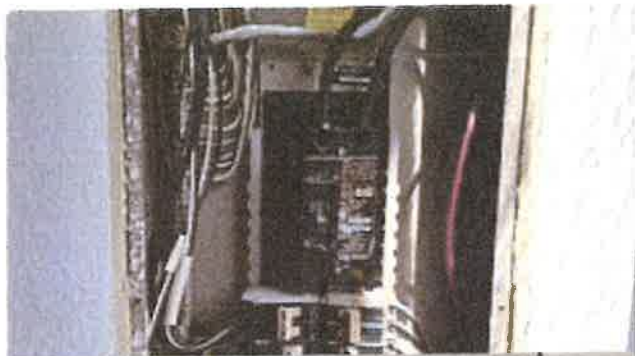


estimate-1234.pdf 98 kb



Photos & videos (61)











Allen Curry Plumbing

643 SW 15th St
Unit B
Ocala, FL 34471
352-427-7036
office@allencurryplumbing.com | allencurryplumbing.com



RECIPIENT:

anton dawson
721 Northeast 2nd Street
Ocala, Florida 34470

Quote #477	
Sent on	Nov 05, 2025
Total	\$0.00

Product/Service	Description	Qty.	Unit Price	Total
				Not included
Quoted Job	saniflo saniplus toilet add bathroom upstairs homeowner will provide all fixtures besides the toilet	1	\$8,542.00	\$8,542.00
				Not included
Quoted Job	hot and cold lines re-pipe	1	\$10,400.00	\$10,400.00
				Not included
Quoted Job	re-pipe all drain piping	1	\$11,000.00	\$11,000.00

Total	\$0.00
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This quote is valid for the next 30 days, after which values may be subject to change.



4380 SE 53rd Ave
Ocala, FL. 34480
Lic. CFC1431381
Ph: (352) 615-1250
Fax: (352) 694-3234
johnsonbrothersplumbing@gmail.com

Estimate 83056723
Job 73331
Estimate Date 11/13/2025
Technician Jeremy Diller
Customer PO

Billing Address
Dawson, Anton
721 Northeast 2nd Street
Ocala, FL 34470 USA

Job Address
Dawson, Anton
721 Northeast 2nd Street
Ocala, FL 34470 USA

Estimate Details

Re-pipe Estimate - Whole House (Option A): Re-pipe hot and cold water pipes through-out attic and down walls to all plumbing fixtures

Service #	Description	Quantity	Your Price	Your Total
REPIPE01	\$25,190 TO \$28,550	1.00	\$27,550.00	\$27,550.00

Re-piping the hot/cold water supply:

Pull permit. Provide and install all new hot/cold water supply pipe throughout entire home. (See Notes)

All plumbing pipes/fittings installed will be Viega PEX brand and include a 25-year manufacturer's warranty. Both hot/cold water lines in the attic area and were exposed on the exterior will be insulated. New shut off valves with stainless steel jacketed supply lines will be installed on all applicable plumbing fixtures.

(JBP will not be responsible for any preexisting plumbing fixture that are connected to).

A new shut off valve will be installed on the water main and at the water heater. Access holes will be cut in walls as needed and will be patched/textured to match existing walls once inspection has been completed. (New pipes will be installed utilizing existing penetrations where possible).

NOTES:

If the water main was not able to be located during the time of estimate, additional time may be required to identify its location. This may result in additional costs. Initial permitting/administrative fees are included in the total (this is non-refundable if permit has been applied for), permit extensions may incur additional costs. Touch-up painting is by owner and not included in this quote. Work not specified here in is not included in bid total. It is recommended that you review this proposal for accuracy and contact us regarding any questions or changes you may have. Changes must be in writing and signed as approved before implementation. It is the customer's responsibility to read and thoroughly understand the proposal before signing. Any verbal discussions, not incorporated into the contract, are not valid.

Some piping will need to be done DWV piping For the addition upstairs will be a new bathroom complete install with one toilet a double vanity and a walk in shower A new drain will need to be installed to connect the vanity and the shower drain to a vent stack running through the second floor wall down through the floor and into through the wall of the 1st floor. And exit underneath the home to tie into the existing sewer line under the home.

Some of the floor on the second floor will have to be removed to be able to access a new drain for the shower and for the vanity and for the new toilet install Johnson Brothers Plumbing is not responsible for replacing the original flooring that will be

removed in order to gain access to run our plumbing. Johnson Brothers Plumbing will do everything possible to minimize damages to the older floors while removing portions to be able to gain access for our drains to be installed.

Also there will be a toilet install in a new location of the home on the second floor so an additional 3 inch drain pipe will be needed and be run from the upstairs down the wall of the interior to the first floor and poke through the floor of the 1st floor and tie into the existing 4 inch PVC DWV line that is for the drainage under the home

50% DOWN PAYMENT DUE UPON ACCEPTANCE OF PROPOSAL.
40% DUE UPON PLUMBING COMPLETION, BALANCE DUE AFTER INSPECTION.

Sub-Total	\$27,550.00
Tax	\$0.00
Total	<u>\$27,550.00</u>

We Work to Brighten Your Day.
Thank you for your business!

CFC1431381

The above prices, specifications and conditions are satisfactory and hereby accepted. You are authorized to do the work as specified. You may CANCEL this transaction, without any Penalty or Obligation, within THREE (3) BUSINESS DAYS from the contract date. I understand that due to a volatile supply chain, Johnson Brothers Plumbing, Inc. ("JBP") cannot guarantee pricing for items purchased more than thirty days after the date of the estimate. Therefore, there may or may not be adjustments for price changes. JBP is also not responsible for backorder delays from suppliers for unique items specific to the job. I understand that during the time the work is being completed, there may be drop cloths, tools, supplies, machinery and equipment in and around my property and that it is my responsibility to make sure that I and everyone else in or visiting the home use extra care and caution around these items. Additionally, I understand that JBP will not be liable for any accidents or injuries that may result from residents or visitors not using proper care around these items.

Payments will be made as outlined above; if not, you are entitled to place a lien on my property and I agree to pay attorney's fees, costs of collections and interest at 1.5% per month on unpaid balances.

IN THE EVENT OF CANCELLATION PRIOR TO THE START DATE, 10% OF THE PROPOSAL PLUS ANY EXPENSES INCURRED IS NON-REFUNDABLE. IF CANCELLATION IS WITHIN 24 HOURS OF THE START DATE, THE ENTIRE DEPOSIT IS NON-REFUNDABLE.

If applicable, I have received information regarding the Florida Homeowner's Construction Recovery Fund as well as the Construction Lien Law Advisory (required for any agreements and/or contracts in the amount \$2,500.00 and up).



4380 SE 53rd Ave
Ocala, FL. 34480
Lic. CFC1431381
Ph: (352) 615-1250
Fax: (352) 694-3234
johnsonbrothersplumbing@gmail.com

Estimate 83056499
Job 73331
Estimate Date 11/13/2025
Technician Jeremy Diller
Customer PO

Billing Address
Dawson, Anton
721 Northeast 2nd Street
Ocala, FL 34470 USA

Job Address
Dawson, Anton
721 Northeast 2nd Street
Ocala, FL 34470 USA

Estimate Details

City water 50 gal water heater Replacement (Option 3)

Service #	Description	Quantity	Your Price	Your Total
TRIP1	Standard trip fee from 7 am - 4 pm.	1.00	\$79.00	\$79.00
WHEXTKRep	Remove the old expansion tank and Install a new one at the water heater	1.00	\$188.00	\$188.00
WHAOS50ME	One year warranty Supplied and installed a 50 gallon medium electric water heater. Hauled away old water heater.	1.00	\$1,470.00	\$1,470.00
WHE18	One year install warranty six year tank warranty Replace the water heater drip pan with a aluminum drip pan while replacing the water heater	1.00	\$60.00	\$60.00
Sub-Total				\$1,797.00
Tax				\$0.00
Total				\$1,797.00

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CFC1431381

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ESTIMATE

**Saving Grace Business Services,
LLC**
5282 SE 137 Pl
Summerfield, FL 34491

Mark@SavingGraceAC.com
+1 (352) 630-5556



Bill to
Anton Dawson
721 NE 2 St
Ocala, FL 34470

Ship to
Anton Dawson
721 NE 2 St
Ocala, FL 34470

Estimate details

Estimate no.: 1022
Estimate date: 10/31/2025
Expiration date: 11/06/2025

#	Product or service	Description	Amount
1.	Services	1st floor: Goodman 14.5seer2 Heat Pump changeout, connecting to existing ductwork/boots/grilles; installing on metal stand in existing closet, new copper refrigerant lines, new Honeywell pro 9000 wifi thermostat, filter at unit, new drain line, new hurricane pad for condensing unit, connect to existing electrical (electricians responsible for wiring to disconnect including all breakers) unit to be installed as designed by Marrs HVACR Design, includes permitting (unless under contractors master permit)	\$25,870.00
		2nd floor: 3 individual 9k Mitsubishi Head Units (Msx-gs06) with Single Condensing Unit (Mxz-3c24na3) as designed by Marrs HVACR Design, each unit to have own lineset and gravity drain, installed with lineset covers, includes surge protector and hurricane pad, condensing unit to be installed in marked picture, includes permitting (unless under contractors master permit)	
2.	Warranty	10 year parts	\$0.00
3.	Services	To limit the length of linesets for more efficiency, it will be an additional \$1,890 for an individual 9k Mitsubishi on opposite side of the house, as shown in pictures	\$0.00
This is an estimate, unforeseen circumstances during construction process could accrue more costs to be quoted before proceeding.			

Total **\$25,870.00**

Note to customer



Sign and Approve



Print



Download

ESTIMATE

Aire Masters Heating & Air Conditioning LLC #CAC1815401

Rochester, NY 14609 Box 642

721 N. E. 2nd St. #32617

Phone: (352) 414-6556 (tel: (352) 414-6556)

Email: airemasters1@aol.com (mailto:airemasters1@aol.com)

Web: airemasters.com (//airemasters.com)

1766

Date

10/22/2025

Description	Total
2 Ton Goodman	\$6,000.00
Install a new 2 ton heat pump split horizontal on the second floor We propose the Air handler be installed vertically, wall mounted near the top of the stairs to the right. All duct work will remain the same in the attic. New cement pad New copper lines (ran down through floor to crawl space like the other lines, as discussed) Line set cover New thermostat, thermostat wire Drain Float switches Permits	
3 Ton Heat Pump System	\$7,200.00

Install a new 3 ton (previously 2.5 before we eliminated the mini split option) heat pump split horizontal right side of the home, 1st floor

Air handler will be installed same location of the prior unit that is no longer in the home. All duct work will remain the same.

New pad

New copper lines

New thermostat

Drain

Flow switch

Permits

Duct Repairs	\$1,800.00
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At least one of the systems (upstairs) will need some ductwork. I noticed some of the flex ducts in the attic were torn. A new plenum needs to be built and at least 3 flex ducts replaced. The cost for this may vary depending on how much damage we find but will probably be around \$1,350-\$1,800.

Subtotal	\$15,000.00
Total	\$15,000.00

Notes:

Deposit of at least 50% needed to order equipment and schedule work. Remaining balance is to be paid when job is completed per above description.

Your new system would have 10 Years Functional Parts and Compressor Warranty AFTER ONLINE REGISTRATION and 1 year Labor Warranty. These warranties cover manufacturer defects. However, if the system fails due to lack of maintenance, improper use, failure to change filters regularly or similar causes, this will NOT be covered by the Labor Warranty and, in some cases, could also void the Parts Warranty.

Recommended Accessories

STRUCTURAL SCOPE OF WORK:
THE STRUCTURAL SCOPE OF WORK IS INTENDED TO ADDRESS THE PROPOSED LEVEL 3 ALTERATION AND RENOVATIONS AT THE EXISTING DAWSON RESIDENCE LOCATED AT 721 NE 2ND STREET, OCALA, MARION CO., FL 34470
JOB NO: FE25-166

THE ENGINEERED DRAWINGS (PLANS) HERE-IN PROVIDE FOR THE STRUCTURAL WORK AT THE ADDRESS ABOVE, AND IS NOT VALID FOR ANY OTHER PURPOSES.

PLUMBING, MECHANICAL, & ELECTRICAL (PME) COMPONENTS ARE OUTSIDE THE SCOPE OF THIS WORK. PLEASE CONSULT APPROPRIATE TRADE FOR PME INFORMATION.

- GENERAL NOTES:
- STRUCTURAL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST FLORIDA BUILDING CODE (FBC 2023 - 8TH EDITION).
 - THE MOST STRINGENT REQUIREMENTS APPLY IN CASE OF CONFLICT BETWEEN STANDARDS, LOCAL CODES, AND THESE DRAWINGS.
 - OBTAIN ALL REQUIRED PERMITS FOR THE PROPER LEGAL EXECUTION OF THE WORK DESCRIBED IN THESE DRAWINGS.
 - CONTRACTOR TO PROVIDE A CONTINUOUS LOAD PATH FROM RAFTERS TO FOUNDATION FOR ALL NEW CONSTRUCTION AND PROPER SHORING/RESHORING OF LOAD-BEARING ELEMENTS DURING CONSTRUCTION.
 - ALL DIMENSIONS INDICATED ON THESE DRAWINGS ARE APPROXIMATE AND REQUIRE FIELD VERIFICATION.
 - CONTACT THE ENGINEER OF RECORD (EOR) IF ANY UNFORESEEN CONDITIONS ARE ENCOUNTERED. FAILURE BY THE CLIENT OR CONTRACTOR TO NOTIFY THE EOR, RELIEVES THE EOR OF COSTS OF REMEDYING THE DEFECT.
 - THE EOR SHALL NOT BE RESPONSIBLE FOR AND WILL NOT HAVE CONTROL OR CHARGE OVER THE CONTRACTOR'S MEANS AND METHODS OF CONSTRUCTION, NOR WILL THE EOR BE RESPONSIBLE FOR CONTRACTOR'S SAFETY PRECAUTIONS OR FAILURE TO PERFORM THE WORK IN ACCORDANCE WITH THESE DRAWINGS. FURTHERMORE, THE EOR SHALL NOT BE RESPONSIBLE FOR THE OMISSIONS AND ERRORS OF THE CONTRACTOR, SUB-CONTRACTORS, OR ANY OF THEIR RELATED AGENTS.

- CODES AND DESIGN CRITERIA:
ALL CONSTRUCTION IS TO BE PERFORMED IN CONFORMANCE WITH THE BUILDING AND DESIGN CODES REFERENCED WITHIN THESE DOCUMENTS. THE PROJECT DOCUMENTS REFER TO THE FOLLOWING CODES AND STANDARDS, UNLESS NOTED OTHERWISE (UNO.):
- AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE), ASCE 7-22: "MINIMUM DESIGN LOADS AND ASSOCIATED CRITERIA FOR BUILDINGS AND OTHER STRUCTURES"
 - AMERICAN CONCRETE INSTITUTE (ACI), ACI 318-19: "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE"
 - AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC), "STEEL CONSTRUCTION MANUAL, 2017" - 15TH EDITION
 - NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION WITH COMMENTARY - 2018 EDITION
 - THE MASONRY SOCIETY (TMS) 402/602-16 - BUILDING CODE REQUIREMENTS AND SPECIFICATION FOR MASONRY STRUCTURES.

- FOUNDATION NOTES:
- FOUNDATION DESIGN IS BASED ON 2,000 PSF MINIMUM SOIL BEARING PRESSURE. CONTRACTOR TO CONFIRM FOUNDATION BEARING CAPACITY. PROVIDE TESTING ON SOIL COMPACTION PRIOR TO CONCRETE PLACEMENT OPERATIONS. SOIL COMPACTION SHOULD ACHIEVE 95% MODIFIED PROCTOR DENSITY.
 - BEARING SOILS SHALL BE FREE OF ORGANIC MATERIAL AND FREE OF WATER PRIOR TO CONCRETE PLACEMENT.
 - FOUNDATIONS SHALL BE ALLOWED TO SETTLE PRIOR TO VERTICAL CONSTRUCTION.
 - SLAB FOUNDATION SUBGRADE SOILS SHALL BE TERMITE TREATED.

- CAST-IN-PLACE CONCRETE:
- CAST-IN-PLACE CONCRETE WORK SHALL BE DONE IN ACCORDANCE TO ACI 318-19 - BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE. CAST-IN-PLACE CONCRETE SHALL BE NORMAL WEIGHT STRUCTURAL CONCRETE WITH A 28-DAY COMPRESSIVE STRENGTH (f'_c) OF 3,000 PSI. CONCRETE SHALL HAVE A MAXIMUM W/C RATIO OF 0.50 FOR FOOTINGS AND 0.45 FOR ALL OTHER CONCRETE.
 - DEFORMED REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 40 WITH A YIELD STRENGTH (f_y) OF 40 KSI.
 - WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM A185. SUPPORT WWF WITH CHAIRS DURING CONCRETE PLACEMENT TO INSURE MID-DEPTH PLACEMENT IN SLAB.
 - DESIGN, CONSTRUCTION, AND SAFETY VERIFICATION OF ALL CONCRETE FORMWORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

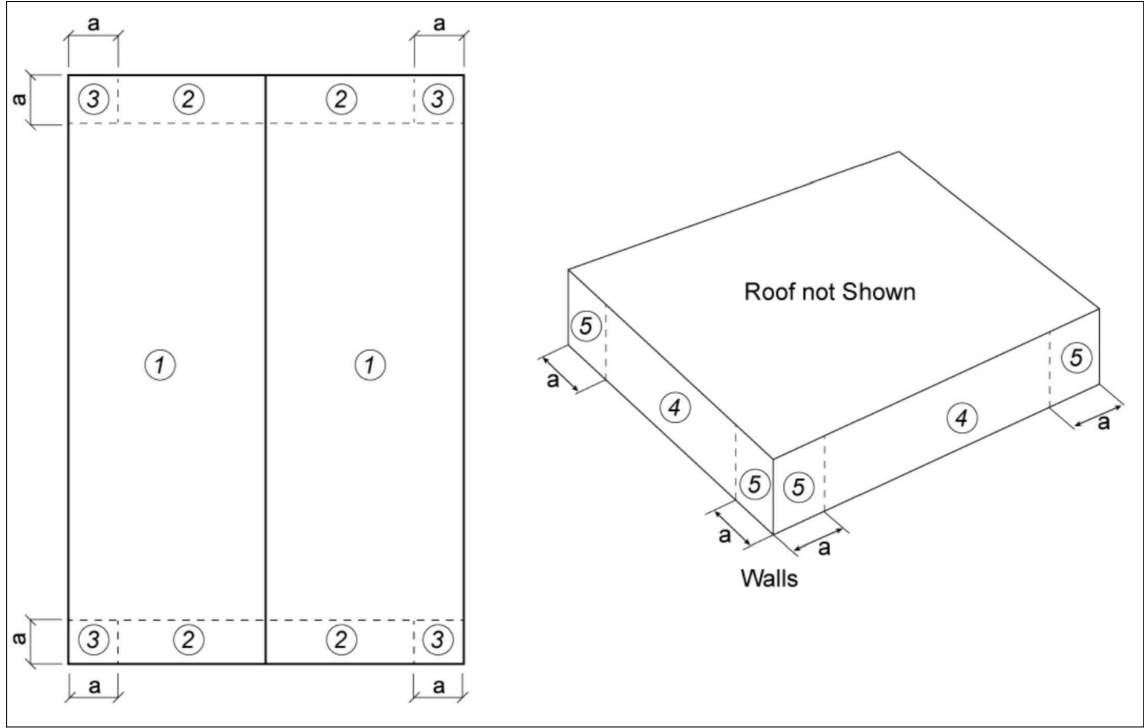
- CONCRETE MASONRY:
- CONCRETE MASONRY WORK SHALL BE DONE IN ACCORDANCE WITH TMS 402/602-16 - BUILDING CODE REQUIREMENTS AND SPECIFICATION FOR MASONRY STRUCTURES.
 - THE MINIMUM COMPRESSIVE STRENGTH OF CONCRETE MASONRY (f_m) SHALL BE 1,500 PSI.
 - CONCRETE BLOCK SHALL BE NORMAL WEIGHT (MINIMUM 125 PCF) CONFORMING TO ASTM C90.
 - #5 VERTICALS SHALL BE PLACED IN MID-DEPTH OF FULLY GROUTED CELL WITH A STANDARD HOOK TO FOOTING BELOW, TYP.
 - MORTAR SHALL BE TYPE S, M, OR N IN CONFORMANCE WITH ASTM C476.
 - USE GALVANIZED HORIZONTAL LADDER TYPE JOINT REINFORCEMENT SPACED AT 16" O.C. VERTICALLY CMU WALL CONSTRUCTION.
 - PROVIDE FULL MORTAR COVERAGE ON FACESHELL AND WEBS.

- WOOD FRAMING:
- WOOD FRAMING SHALL BE IN CONFORMANCE WITH THE NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION - 2018.
 - UTILIZE DRESSED SEASONED LUMBER, S4S, 19% MAX. MOISTURE CONTENT AT TIME OF DRESSING.
 - ALL WOOD FRAMING SHALL CONSIST OF SOUTHERN YELLOW PINE (SYP) #2 OR BETTER UNLESS NOTED OTHERWISE (UNO).
 - REPLACEMENT ROOF SHEATHING SHALL CONSIST OF 7/16" APA RATED STRUCTURAL SHEATHING ATTACHED WITH 8d (0.131" Ø) x 2 1/2" L RINGSHANK NAILS @ 6" O.C. ALONG EDGES & 6" O.C. IN FIELD (ALL ZONES).
 - REPLACEMENT WALL SHEATHING SHALL CONSIST OF 7/16" APA RATED STRUCTURAL SHEATHING ATTACHED WITH 8d (0.131" Ø) x 2 1/2" L RINGSHANK NAILS @ 6" O.C. ALONG EDGES & 12" O.C. IN FIELD (ALL ZONES).
 - ALL LAMINATED VENEER LUMBER (LVL) BEAMS SHALL BE MANUFACTURED BY WEYERHAEUSER WITH A BENDING STRESS OF 2600 PSI AND MODULUS OF ELASTICITY OF 2000 KSI BEARING MARK 2600Fb-2.0E, OR OTHER ENGINEER OF RECORD APPROVED LVL PRODUCT.
 - WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED (P.T.) LUMBER. USE GALVANIZED NAILS IN P.T. LUMBER.
 - ALL FRAMING ANCHORS, CLIPS, STRAPS, ETC., SHALL BE MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY OR APPROVED EQUAL. ALL SPECIFIED FASTENERS MUST BE INSTALLED PER WRITTEN MANUFACTURER'S INSTRUCTIONS.

- STRUCTURAL STEEL:
- STRUCTURAL STEEL SHALL CONFORM TO ASTM A992 (WIDE-FLANGE), ASTM A500 GRADE B (HSS), ASTM A572 GRADE 50 (STEEL ANGLE), OR A36 (ALL OTHER SHAPES), UNO.
 - FIELD CONNECTIONS SHALL BE WELDED WITH 3/16" FILLET WELDS MIN. OR HIGH STRENGTH BOLTED AS DETAILED.
 - ALL BOLTS SHALL BE ASTM A325 STRUCTURAL BOLTS, OR EQUAL.
 - FIELD MODIFICATION OF STRUCTURAL STEEL IS PROHIBITED WITHOUT EOR APPROVAL.
 - ALL STRUCTURAL STEEL SHALL BE TREATED WITH ZINC-RICH PRIMER OR POWDER COATED, UNO.
 - ALL WELDING SHALL CONFORM TO THE REQUIREMENTS OF AWS D1.1. ALL WELD SIZES SHALL BE THE LARGER OF THE SIZE REQUIRED BY THE CONNECTION FORCES, THE MINIMUM SIZE PER AWS D1.1, OR 3/16" MINIMUM FILLET WELD UNO. WELD SIZES SHOWN ARE CONSIDERED EFFECTIVE WELD SIZES AND SHALL BE INCREASED IN ACCORDANCE WITH AWS D1.1 AS REQUIRED BY GAPS OR SKEWS BETWEEN COMPONENTS.

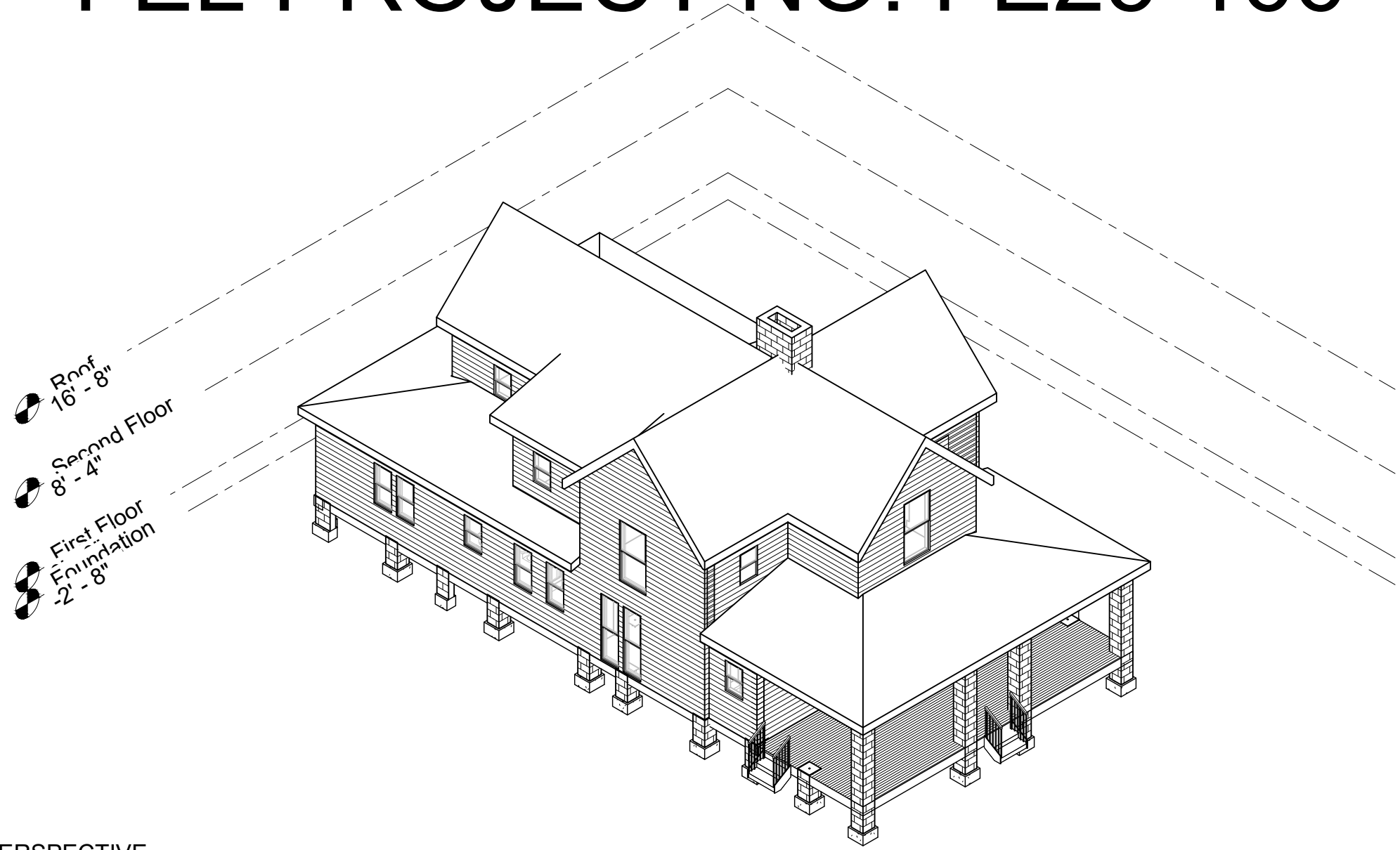
- WIND LOAD NOTES:
- ULTIMATE WIND PRESSURES TO BE USED IN THE DESIGN OF ALL COMPONENTS AND CLADDING ELEMENTS.
 - REFER TO WIND PRESSURE DIAGRAM FOR ZONE LOCATIONS AND EXTENTS.
 - POSITIVE PRESSURES ACT TOWARD COMPONENT SURFACES AND NEGATIVE PRESSURES ACT AWAY FROM COMPONENT SURFACES.
 - VALUES FOR OVERHANGS INCLUDE PRESSURE CONTRIBUTIONS FROM BOTH UPPER AND LOWER SURFACES.
 - LINEAR INTERPOLATION BETWEEN EFFECTIVE WIND AREA VALUES IS PERMITTED.

GABLE ROOF							
C&C Wind Roof & Wall Summary per Ch 30 Pt 1 (Table 1)							
All wind pressures include a Load Factor (LF) of 1.0							
Zone	Reference	P _{max} A ≤ 10 ft ² psf	P _{min} A ≤ 10 ft ² psf	P _{max} A = 20 ft ² psf	P _{min} A = 20 ft ² psf	P _{max} A = 50 ft ² psf	P _{min} A = 50 ft ² psf
1	F:30.3-2D	24.62	-45.14	22.51	-38.28	19.72	-29.21
2	F:30.3-2D	24.62	-49.70	22.51	-44.43	19.72	-37.45
3	F:30.3-2D	24.62	-61.10	22.51	-53.19	19.72	-42.73
4	F:30.3-1	26.90	-29.18	25.69	-27.97	24.09	-26.37
5	F:30.3-1	26.90	-36.02	25.69	-33.60	24.09	-30.39
Zone	Reference	P _{max} A = 100 ft ² psf	P _{min} A = 100 ft ² psf	P _{max} A = 200 ft ² psf	P _{min} A = 200 ft ² psf	P _{max} A > 500 ft ² psf	P _{min} A > 500 ft ² psf
1	F:30.3-2D	17.61	-22.34	16.00	-22.34	16.00	-22.34
2	F:30.3-2D	17.61	-32.18	16.00	-26.90	16.00	-26.90
3	F:30.3-2D	17.61	-34.82	16.00	-26.90	16.00	-26.90
4	F:30.3-1	22.88	-25.16	21.67	-23.95	20.06	-22.34
5	F:30.3-1	22.88	-27.97	21.67	-25.55	20.06	-22.34



ROOF SLOPE: 12 : 12

EXISTING DAWSON RESIDENCE PROPOSED RENOVATION 721 NE 2ND STREET OCALA, MARION CO., FL 34470 FEL PROJECT NO: FE25-166



① PERSPECTIVE
NOT TO SCALE LOW HIP ROOF

C&C Wind Roof & Wall Summary per Ch 30 Pt 1 (Table 2)							
All wind pressures include a Load Factor (LF) of 1.0							
Zone	Reference	P _{max} A ≤ 10 ft ² psf	P _{min} A ≤ 10 ft ² psf	P _{max} A = 20 ft ² psf	P _{min} A = 20 ft ² psf	P _{max} A = 50 ft ² psf	P _{min} A = 50 ft ² psf
1	F:30.3-2E	18.54	-41.71	16.00	-36.84	16.00	-30.40
2	F:30.3-2E	18.54	-54.36	16.00	-48.99	16.00	-41.90
3	F:30.3-2E	18.54	-58.57	16.00	-52.72	16.00	-44.99
4	F:30.3-1	24.86	-26.97	23.74	-25.85	22.26	-24.37
5	F:30.3-1	24.86	-33.29	23.74	-31.05	22.26	-28.09
Zone	Reference	P _{max} A = 100 ft ² psf	P _{min} A = 100 ft ² psf	P _{max} A = 200 ft ² psf	P _{min} A = 200 ft ² psf	P _{max} A > 500 ft ² psf	P _{min} A > 500 ft ² psf
1	F:30.3-2E	16.00	-25.52	16.00	-20.65	16.00	-20.65
2	F:30.3-2E	16.00	-36.54	16.00	-31.18	16.00	-31.18
3	F:30.3-2E	16.00	-39.14	16.00	-33.29	16.00	-33.29
4	F:30.3-1	21.14	-23.25	20.02	-22.13	18.54	-20.65
5	F:30.3-1	21.14	-25.85	20.02	-23.61	18.54	-20.65

WIND LOAD DESIGN CRITERIA:
PRESSURES DETERMINED FROM:
ASCE 7-22 CH. 30 PART 1: WIND LOADS COMPONENTS & CLADDING (C&C)
FROM FIGURES 30.3-1 & 30.3-2B & 30.3-2E
ROOF SLOPE
ULTIMATE WIND VELOCITY (V_w)
RISK CATEGORY
WIND EXPOSURE CATEGORY
ENCLOSURE CLASSIFICATION
INTERNAL PRESSURE COEFFICIENT (GC_p)
MEAN ROOF HEIGHT (h)
WIND VELOCITY PRESSURE (q_f)
DIMENSION 'A'

VARIES
130 MPH
II
B
ENCLOSED
+/- 0.18
20.17 FT
26.82 PSF
3.00 FT

Sheet List	
Sheet Number	Sheet Name
S1	General Notes & Specifications
S2	Foundation Plan Floor Framing Plan
S3	Existing First & Second Floor Plans
S4	Proposed First & Second Floor Plans
S5	Roof Framing
S6	North & South Elevations
S7	East & West Elevations
S8	Structural Details

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FL CA# 34626
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E: jsfielden@gmail.com

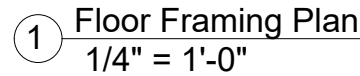
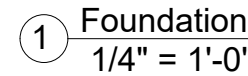
EXISTING DAWSON RESIDENCE
PROPOSED RENOVATION
721 NE 2ND ST.
OCALA, MARION CO., FL 34470

Roof Framing

Project number FE25-166
Date 11/12/2025
Drawn by JSF
Checked by JSF

S1

Scale 1/4" = 1'-0"



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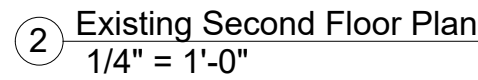
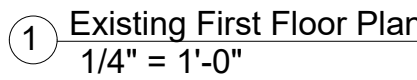
FIELDEN ENGINEERING, LLC.
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FL CA# 34626
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Foundation Plan
Floor Framing Plan

S2

Scale $1/4" = 1'-0"$



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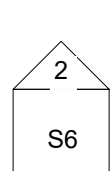
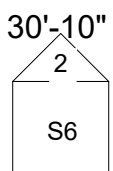
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PROPOSED RENOVATION
721 NE 2ND ST.
OCALA, MARION CO., FL 34470

Existing First and Second Floor Plans

Project number	FE25-166
Date	11/12/2025
Drawn by	JSF
Checked by	JSF

S3

Scale	1/4" = 1'-0"
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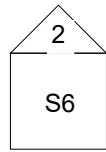
EXISTING DAWSON RESIDENCE
PROPOSED RENOVATION
721 NE 2ND ST.
OCALA, MARION CO., FL 34470

Proposed First & Second Floor Plans

Project number	FE25-166
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Drawn by	JSF
Checked by	JSF

S4

Scale	1/4" = 1'-0"
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DESIGNED BY:
FELDEN ENGINEERING
LLC.

EXISTING DAWSON RESIDENCE
PROPOSED RENOVATION
721 NE 2ND ST.
OCALA, MARION CO., FL 34470

Roof Framing

Project number	FE25-166
Date	11/12/2025
Drawn by	JSF
Checked by	JSF

S5

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DESIGNED BY:
FELDEN ENGINEERING LLC.

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EXISTING DAWSON RESIDENCE
PROPOSED RENOVATION
721 NE 2ND ST.
OCALA, MARION CO., FL 34470

North & South Elevations

Project number	FE25-166
Date	11/12/2025
Drawn by	JSF
Checked by	JSF

S6

Scale $1/4" = 1'-0"$



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East & West Elevations

S7

Scale	1/4" = 1'-0"
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EXISTING DAWSON RESIDENCE
PROPOSED RENOVATION
721 NE 2ND ST.
OCALA, MARION CO., FL 34470

Structural Details

Project number	FE25-166
Date	11/12/2025
Drawn by	JSF
Checked by	JSF

S8

Scale

721 NE 2nd St Before Photos



721 NE 2nd St Before Photos



721 NE 2nd St Before Photos



721 NE 2nd St Before Photos



721 NE 2nd St Before Photos

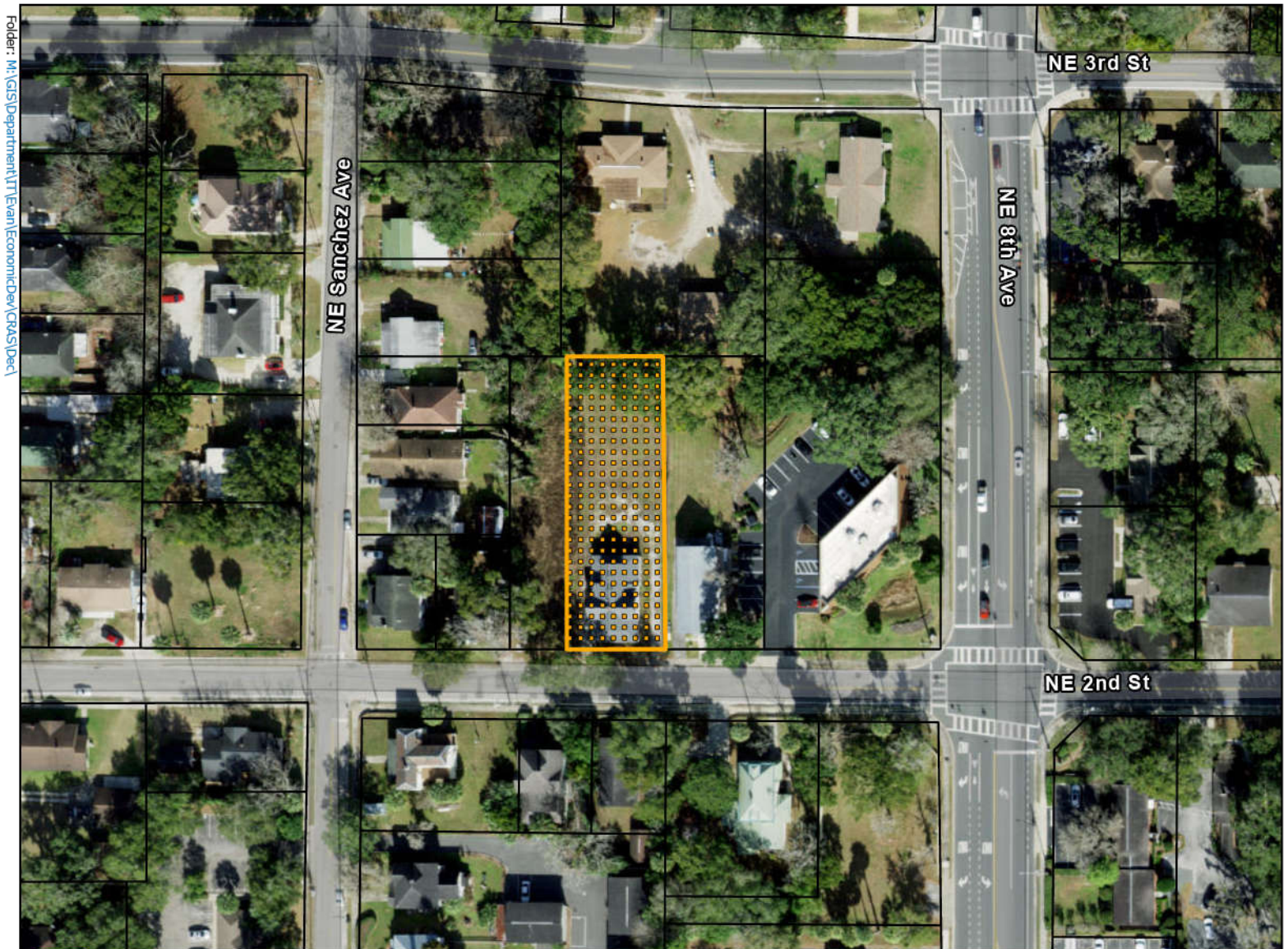
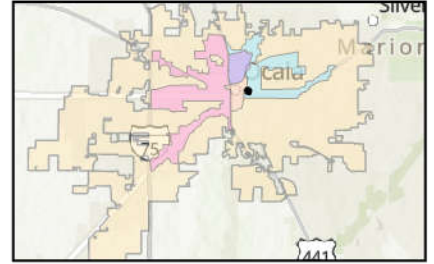



721 NE 2nd St Before Photos



AERIAL MAP

Parcel: 2820-045-006
Case Number: CRA25-0044
Property Size: Approximately 0.34 acres
CRA Location: East Ocala
Proposal: A Request for CRA fund use.



 Subject Parcel

 Parcels

0 125 250 500 Feet

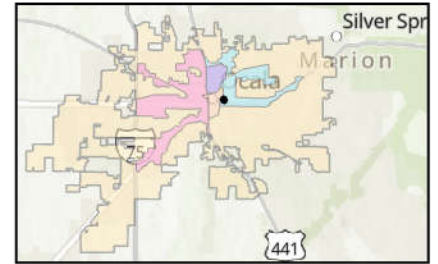


This information is provided as a visual representation only and is not intended to be used as a legal or official representation of legal boundaries. All GIS data which is provided by the City of Ocala should be considered a generalized spatial representation which may be subject to revisions. The feature boundaries are not to be used to establish legal boundaries. For specific information contact the appropriate City of Ocala department or agency.

Prepared by the City of Ocala
Growth Management Department
by ekrepps on 12/1/2025









CASE MAP

Parcel: 2820-045-006
Case Number: CRA25-0044
Property Size: Approximately 0.34 acres
CRA Location: East Ocala
Proposal: A Request for CRA fund use.



Folder: M:\GIS\Department\Urban\EconomicDev\CRA\Spec\



-  Subject Parcel
-  Parcels
-  B-1: Neighborhood Business
-  R-1A: Single Family Residential
-  R-3: Multi-Family Residential
-  RBH-2: Residential Business Historic-2
-  RBH-3: Residential Business Historic-3
-  RO: Residential Office

0 125 250 500 Feet



Jimmy H. Cowan, Jr., CFA

Marion County Property Appraiser



501 SE 25th Avenue, Ocala, FL 34471 Telephone: (352) 368-8300 Fax: (352) 368-8336

2025 Certified Assessment Roll

2820-045-006

[GOOGLE Street View](#)

Prime Key: 1220351

[MAP IT+](#)

Property Information

CAPE SABLE CONSULTING LLC
217 SE 1ST AVE STE 200-59
OCALA FL 34471-2161

Taxes / Assessments: \$4,567.64

Map ID: 179

Millage: 1001 - OCALA

M.S.T.U.

PC: 08

Acres: .34

More Situs

Situs: 721 NE 2ND ST ALL UNITS
OCALA

Current Value

Land Just Value	\$33,322
Buildings	\$188,692
Miscellaneous	\$805
Total Just Value	\$222,819
Total Assessed Value	\$222,819
Exemptions	\$0
Total Taxable	\$222,819

Ex Codes:

History of Assessed Values

Year	Land Just	Building	Misc Value	Mkt/Just	Assessed Val	Exemptions	Taxable Val
2025	\$33,322	\$188,692	\$805	\$222,819	\$222,819	\$0	\$222,819
2024	\$33,322	\$185,618	\$805	\$219,745	\$219,745	\$0	\$219,745
2023	\$14,810	\$162,369	\$1,869	\$179,048	\$168,300	\$0	\$168,300

Property Transfer History

Book/Page	Date	Instrument	Code	Q/U	V/I	Price
8743/0789	10/2025	07 WARRANTY	4 V-APPRAISERS OPINION	Q	I	\$210,000
8026/0240	04/2023	07 WARRANTY	4 V-APPRAISERS OPINION	Q	I	\$190,000
7520/1699	06/2021	07 WARRANTY	4 V-APPRAISERS OPINION	Q	I	\$180,000
7520/1697	06/2021	41 CORP	0	U	I	\$100
7520/1695	06/2021	77 AFFIDAVIT	0	U	I	\$100
7520/1694	03/2018	77 AFFIDAVIT	0	U	I	\$100
7520/1692	03/2018	06 SPECIAL WARRANTY	9 UNVERIFIED	U	I	\$55,600
6795/0029	03/2018	03 LIFE EST	1 LIFE ESTATE	U	I	\$100
6740/1202	03/2018	41 CORP	7 PORTIONUND INT	U	I	\$55,600
7520/1687	06/2017	71 DTH CER	0	U	I	\$100
6341/0011	12/2015	71 DTH CER	0	U	I	\$100
7520/1690	10/2015	77 AFFIDAVIT	0	U	I	\$100

7520/1688	10/2015	06 SPECIAL WARRANTY	9 UNVERIFIED	U	I	\$59,000
6740/1199	10/2015	06 SPECIAL WARRANTY	7 PORTIONUND INT	U	I	\$55,200
6333/1629	10/2015	03 LIFE EST	1 LIFE ESTATE	U	I	\$100
6303/0705	10/2015	03 LIFE EST	1 LIFE ESTATE	U	I	\$100
6295/1941	10/2015	41 CORP	7 PORTIONUND INT	U	I	\$60,000
6293/1680	10/2015	41 CORP	7 PORTIONUND INT	U	I	\$100
6264/0642	08/2015	02 DEED NC	7 PORTIONUND INT	U	I	\$15,300
6295/1939	03/2010	06 SPECIAL WARRANTY	7 PORTIONUND INT	U	I	\$68,800
5334/0099	03/2010	02 DEED NC	7 PORTIONUND INT	U	I	\$68,800
6293/1678	02/2010	06 SPECIAL WARRANTY	7 PORTIONUND INT	U	I	\$66,300
5323/0099	02/2010	02 DEED NC	7 PORTIONUND INT	U	I	\$66,300
5305/1934	01/2010	57 TRANSFER FROM BANK	4 V-APPRAISERS OPINION	U	I	\$63,000
5225/1117	06/2009	56 TRANSFER TO BANK	0	U	I	\$100
4411/1528	04/2006	07 WARRANTY	2 V-SALES VERIFICATION	Q	I	\$218,400
4411/1526	04/2006	07 WARRANTY	4 V-APPRAISERS OPINION	U	I	\$155,100
4046/0001	05/2005	07 WARRANTY	7 PORTIONUND INT	U	I	\$100
3289/0969	12/2002	07 WARRANTY	7 PORTIONUND INT	U	I	\$100
2452/0472	01/1998	07 WARRANTY	2 V-SALES VERIFICATION	Q	I	\$75,000
2444/0649	12/1997	70 OTHER	0	U	I	\$100
2414/1049	09/1997	07 WARRANTY	0	U	I	\$100
2445/1003	05/1996	74 PROBATE	0	U	I	\$100

Property Description

SEC 17 TWP 15 RGE 22
PLAT BOOK E PAGE 004
CALDWELLS ADD OCALA
E 1/3 OF SW 1/4 LOT 45

Land Data - Warning: Verify Zoning

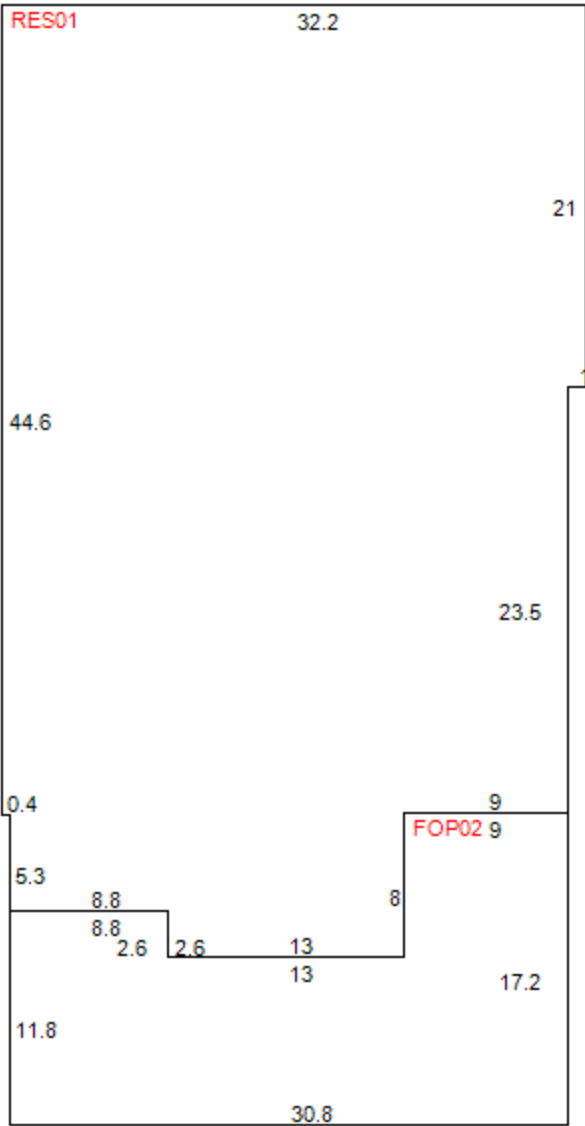
Use	CUse	Front	Depth	Zoning	Units	Type	Rate	Loc	Shp	Phy	Class Value	Just Value
GCNF	0830	70.0	214.0	R3	14,810.00	SF	2.2500	1.00	1.00	1.00	33,322	33,322
Neighborhood 9981											Total Land - Class \$33,322	
Mkt: 2 70											Total Land - Just \$33,322	

Traverse

Building 1 of 1

RES01=L9D8L13U2,6L8,8U5,3L0,4U44,6R32,2D21L1D23,5.

FOP02=L9D8L13U2,6L8,8D11,8R30,8U17,2.U24R1



Building Characteristics

Improvement	3F - TRIPLEX- 03 FAMILY RESID	Year Built	1918
Effective Age	6 - 25-29 YRS	Physical Deterioration	0%
Condition	0	Obsolescence: Functional	0%
Quality Grade	600 - AVERAGE	Obsolescence: Locational	0%
Inspected on	12/12/2024 by 254	Architecture	H - HISTORICAL RESIDENCE
		Base Perimeter	169

TypeID	Exterior Walls	Stories	Year Built	Finished Attic	Bsmt Area	Bsmt Finish	Ground Floor Area	Total Flr Area
RES 0126	- SIDING-NO SHTG	1.57	1918	N	5 %	100 %	1,561	2,451
FOP 0201	- NO EXTERIOR	1.00	1918	N	0 %	0 %	378	378

Section: 1

Roof Style: 10 GABLE	Floor Finish: 32 HARDWD ON WOOD	Bedrooms: 5	Blt-In Kitchen: Y
Roof Cover: 08 FBRGLASS SHNGL	Wall Finish: 20 PLASTER	4 Fixture Baths: 0	Dishwasher: N
Heat Meth 1: 22 DUCTED FHA	Heat Fuel 1: 10 ELECTRIC	3 Fixture Baths: 4	Garbage Disposal: N
Heat Meth 2: 00	Heat Fuel 2: 00	2 Fixture Baths: 0	Garbage Compactor: N
Foundation: 3 PIER	Fireplaces: 0	Extra Fixtures: 6	Intercom: N
A/C: Y			Vacuum: N

Miscellaneous Improvements

Type	Nbr Units	Type	Life	Year In	Grade	Length	Width
144 PAVING ASPHALT	592.00	SF	5	1977	1	0.0	0.0
114 FENCE BOARD	160.00	LF	10	1990	4	0.0	0.0
156 PAVING BRICK	60.00	SF	20	1987	1	0.0	0.0
Total Value - \$805							

Appraiser Notes

APT A=2 BED/2 BATH
APT B=2 BED/1 BATH
APT C=1 BED/1 BATH

Planning and Building

** Permit Search **

Permit Number	Date Issued	Date Completed	Description
BLD23-2561	4/15/2024	-	CAPE SABLE CONDOS/INT RENO
BLD21-1883	8/2/2021	-	HALO REALTY / REROOF
OC01294	8/1/1985	-	BLDG01=REMODEL

Cost Summary

Buildings R.C.N.	\$263,958	4/11/2024				
Total Depreciation	(\$105,584)					
Bldg - Just Value	\$158,374		Bldg Nbr	RCN	Depreciation	Depreciated
Misc - Just Value	\$805	4/11/2024	1	\$263,958	(\$105,584)	\$158,374
Land - Just Value	\$33,322	12/31/2019				
Total Just Value	\$192,501	.				